



GEORGE W. LILES PKWY SMALL AREA PLAN

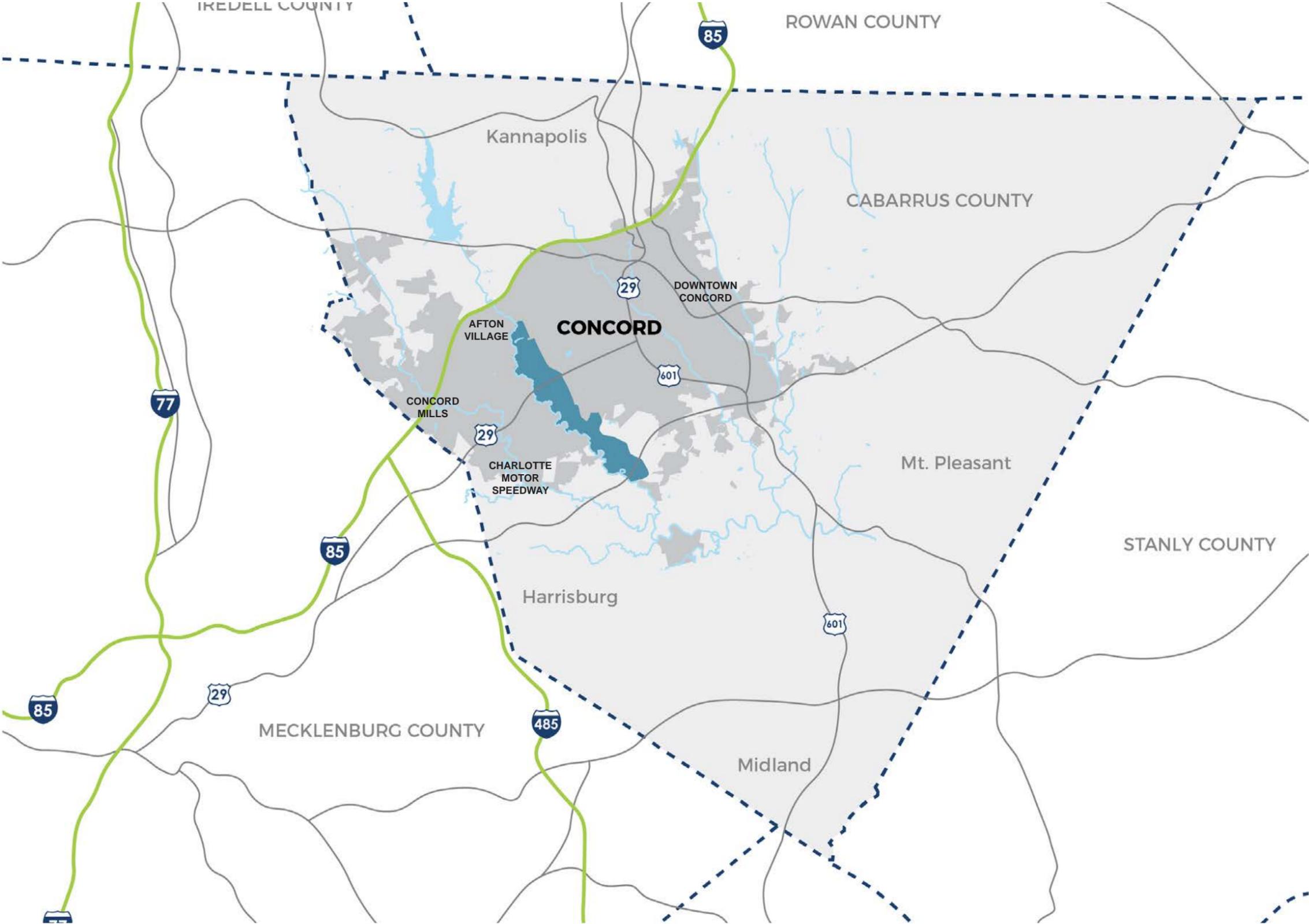
Concord
NORTH CAROLINA



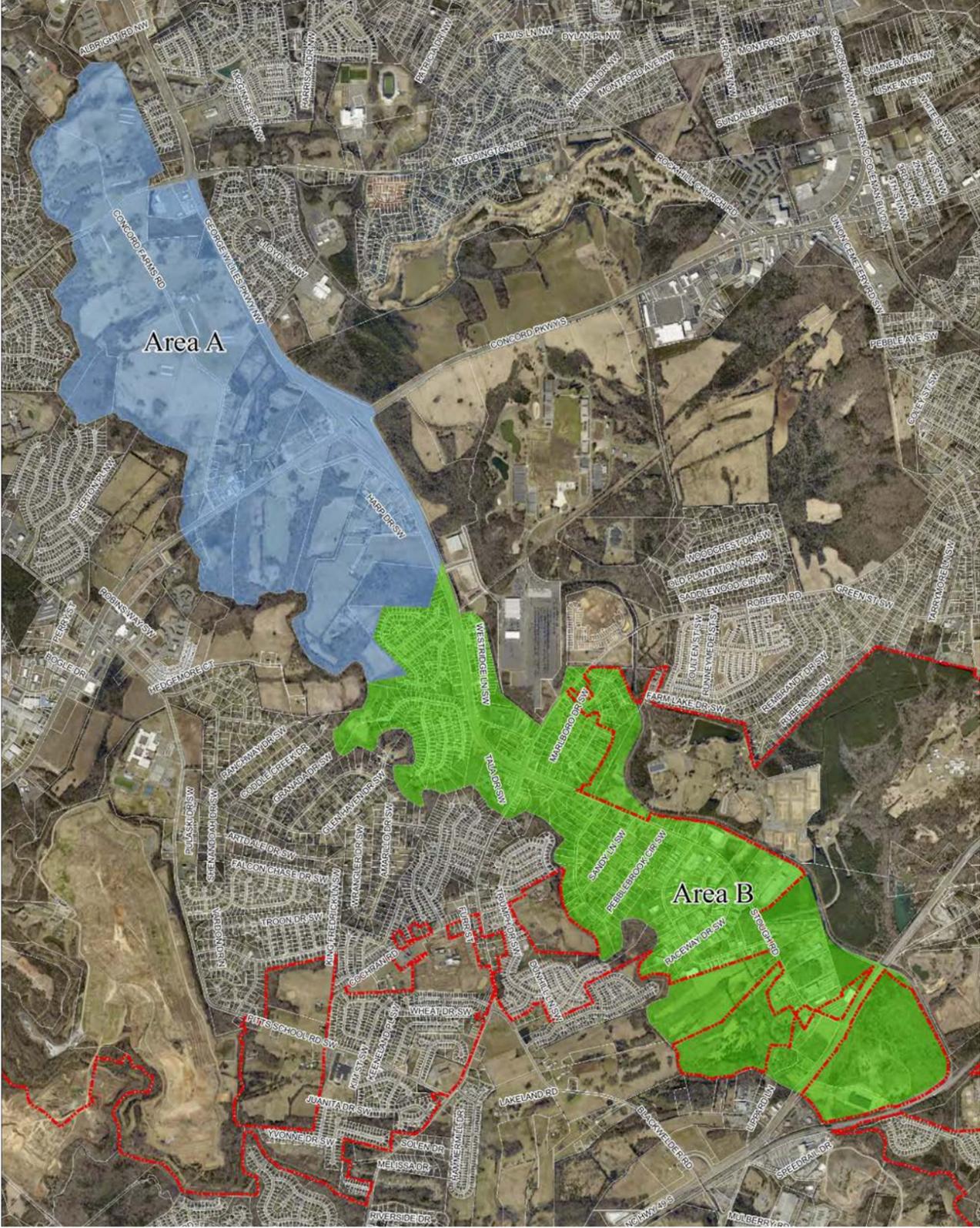
CITY COUNCIL REGULAR SESSION

Thursday - August 11, 2022

REGIONAL CONTEXT



STUDY AREA BOUNDARIES





APRIL 2022 COMMUNITY MEETING

Project Engagement

VEWS	PARTICIPANTS	RESPONSES	COMMENTS	SUBSCRIBERS
1,601	246	5,356	371	128



80% Reside in Concord, NC
35% Reside in the Study Area



What services would you like to see in Area A?

- 1 Recreation
- 2 Dining
- 3 Entertainment

What services would you like to see in Area B?

- 1 Recreation
- 2 Dining
- 3 Workplace/Employment

What kind of Shopping Experience do you prefer?

- 1 Main Street
- 2 Outdoor Mall
- 3 Specialty Shops

If family/friends/business associates are visiting you in Concord, where do you go with them for shopping, dining and entertainment?

	Shopping	Dining	Entertainment
Concord Mills	61% ★	24%	16%
Downtown Concord	8%	74% ★	17%
Afton Village	24%	69% ★	7%
Charlotte	15%	33%	52% ★
Huntersville/Cornelius	38%	48%	14%
Harrisburg	18%	70% ★	12%
Kannapolis	22%	27%	51% ★
Other	27%	38%	35%

Other: Birkdale, Blakeney, Belmont, Whitewater Center, Salisbury, Greensboro, Raleigh, Other Areas in Concord, UNCC University Area, Winston-Salem

If family/friends/business associates are visiting you in Concord, where do you go with them for recreation?



Frank Liske Park



Dorton Park



Other



Concord Greenways

What is your Vision for Area A?



Sports & Recreation



Shopping & Dining



Lifestyle (Mixed-Use)



Entertainment

What is your Vision for Area B?



Sports & Recreation



Lifestyle (Mixed-Use)



Shopping & Dining



Employment Campus

Define your Vision:

STUDY AREA A:

- Green Space/Leave it Natural
- No Apartments or High Density Housing
- More Parks & Recreation
- More Shopping & Dining
- Mixed-Use Development

STUDY AREA B:

- Green Space/Open Space
- No Apartments
- Stay-As-Is/Limit New Development
- More Shopping & Dining
- Corporate Office/Employment

Which architectural style do you prefer?



◀ **BAXTER TOWN CENTER & VILLAGE**
Fort Mill, South Carolina
Main Street Town Center
Walkable Mixed-Use Community

▼ **SERENBE**
Chattahoochee Hills, Georgia
Arts & Crafts Style Architecture
Agriculture, Arts & Health Focus



WANT

- Green Space/Open Space
- Parks, Recreation and Greenways
- Pedestrian & Bike Friendly
- Walkable Community
- Entertainment Options
- More Shopping & Dining Options
- Mixed-Use Development
- Employment Opportunities
- Boutique/Specialty Shops
- Mom-and-Pop Dining Options
- Small Town Character/Feel
- Controlled Development

DON'T WANT

- Apartments
- Increased Traffic Congestion
- Strip Mall Shopping
- Car-Dependent Development
- Industrial Development (north of Hwy 29)
- High Density Development

*Reflects some (not all) of the comments received.

REAL ESTATE MARKET ANALYSIS SUMMARY

Community Snapshot

Market Dynamics

- Changing Markets
- Cabarrus County
- George Liles Parkway

Key themes in the Real Estate and Land Use Strategy:

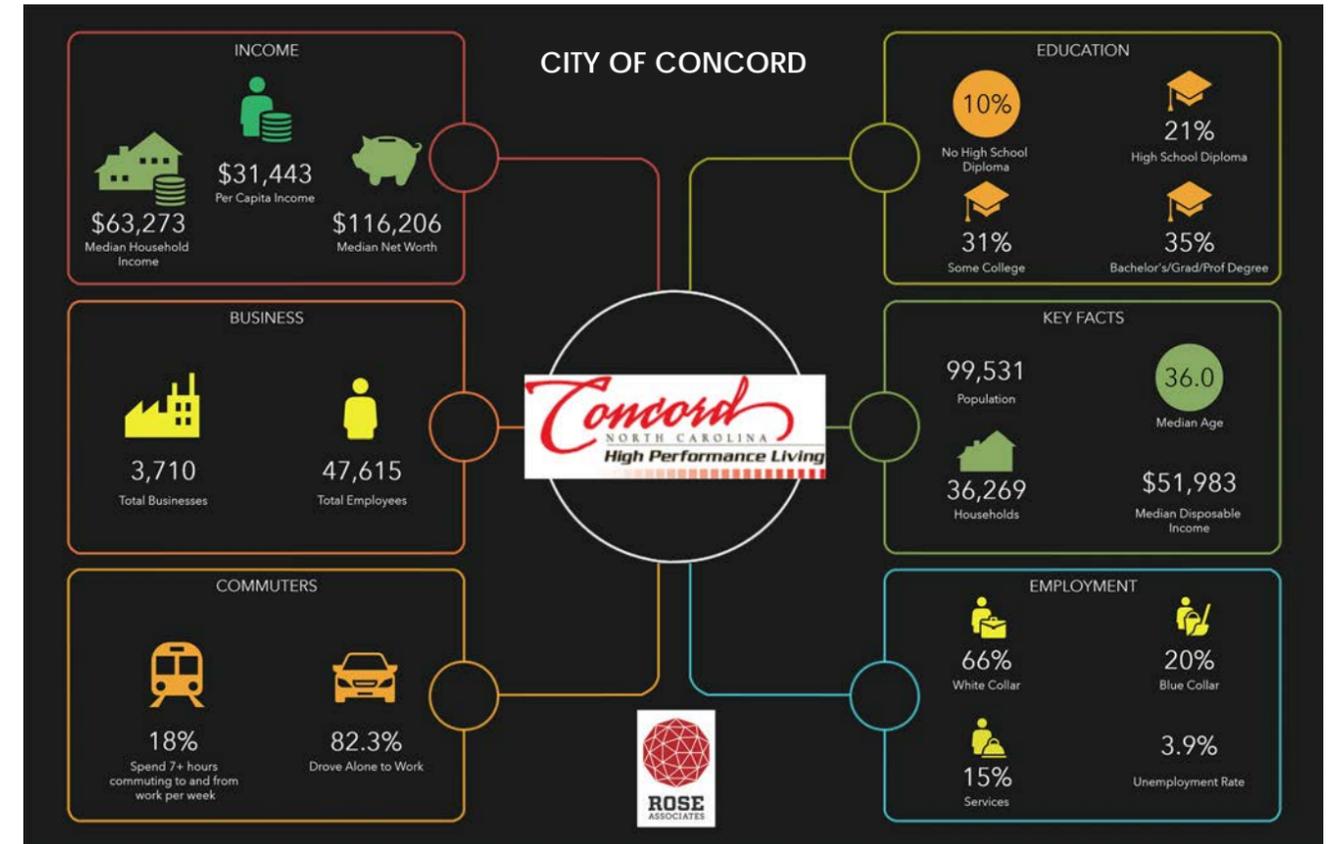
- Lifestyle Options
- Workspace Options
- Healthy Community Focus

Estimated Market Demand* By Land Use

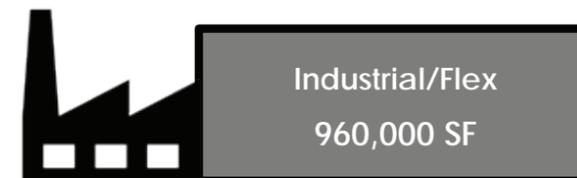
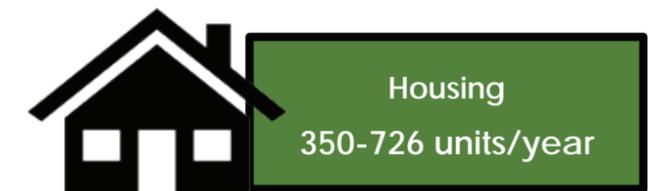
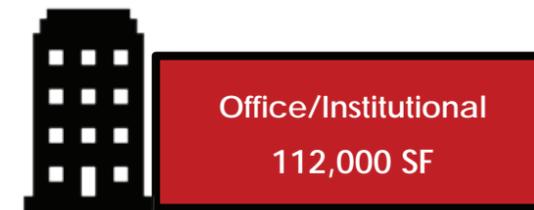
- Housing 350-726 units/year
- Retail/Entertainment 105,000 SF
- Office/Institutional 112,000 SF
- Industrial/Flex 960,000 SF

*Estimated market demand is over a 10-15 year period for commercial and employment uses and units per year for residential.

COMMUNITY SNAPSHOT



ESTIMATED MARKET DEMAND BY LAND USE

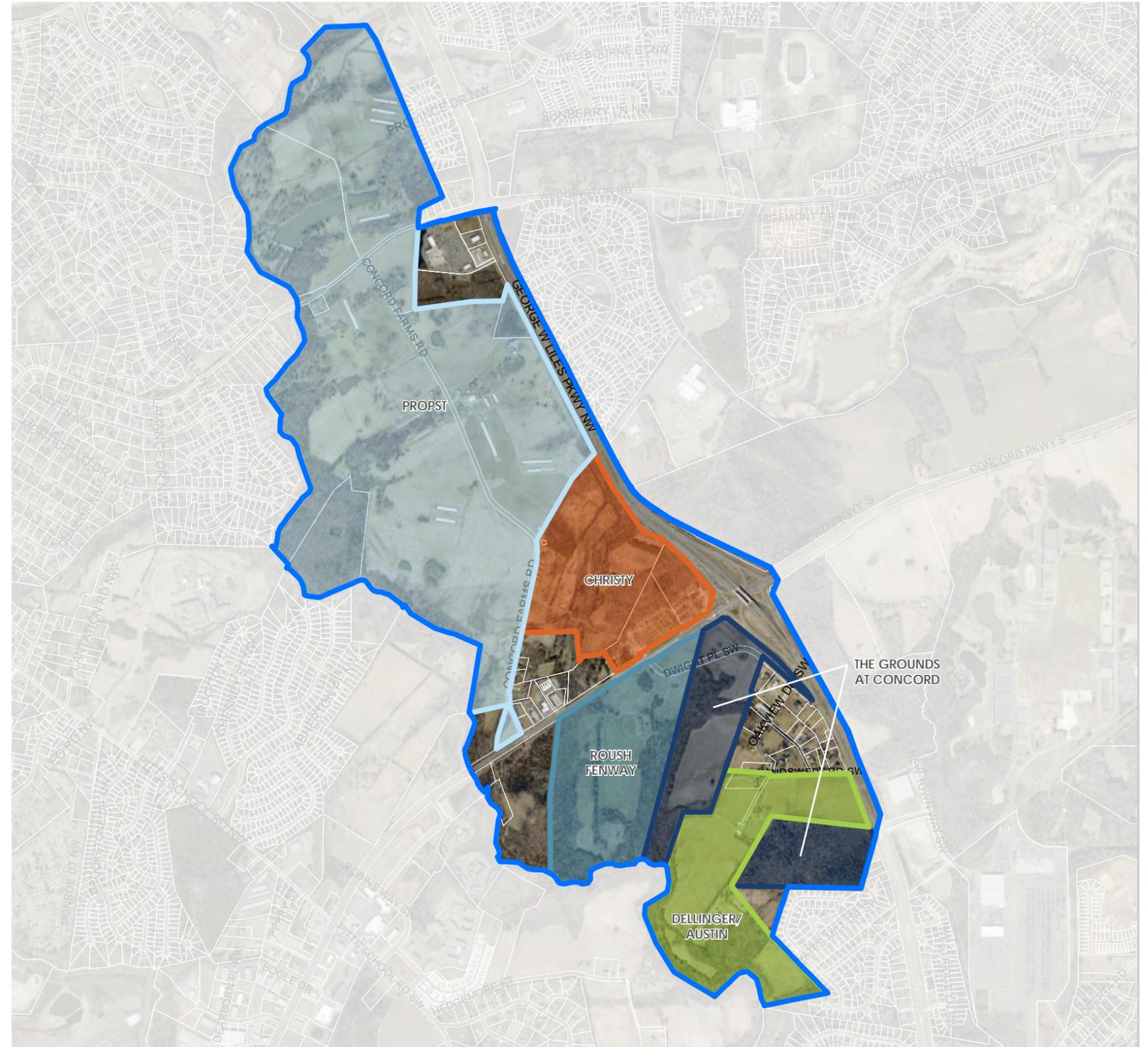
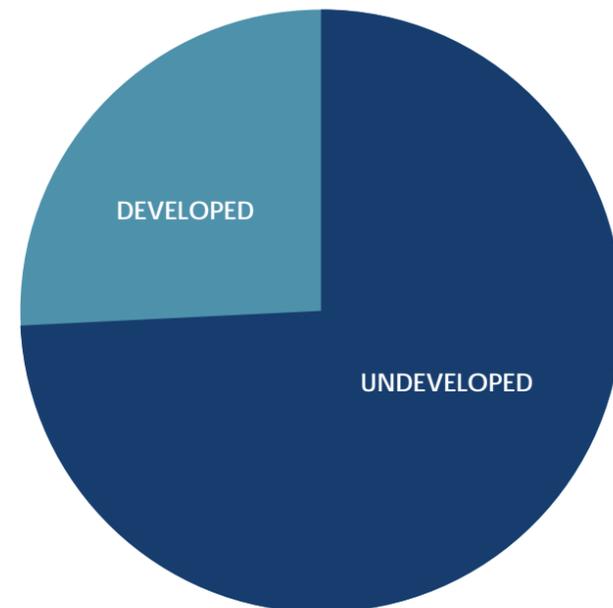


AREA A EXISTING CONDITIONS

Area A comprises approximately 1,214 acres located between the Coddle Creek floodplain to the west, George Liles Pkwy to the east, Cannon School to the north, and the Roberta Farms neighborhood.

Existing Development:

- Propst Farm
- Willow Oaks Crossing
- Christy's Nursery
- North Side of Concord Parkway
- South Side of Concord Parkway/The Grounds at Concord
 - Roush Fenway Racing (Vacant 101 acres)
 - The Grounds at Concord (Vacant 86 acres)
 - Low-Density Residential and Light Industrial

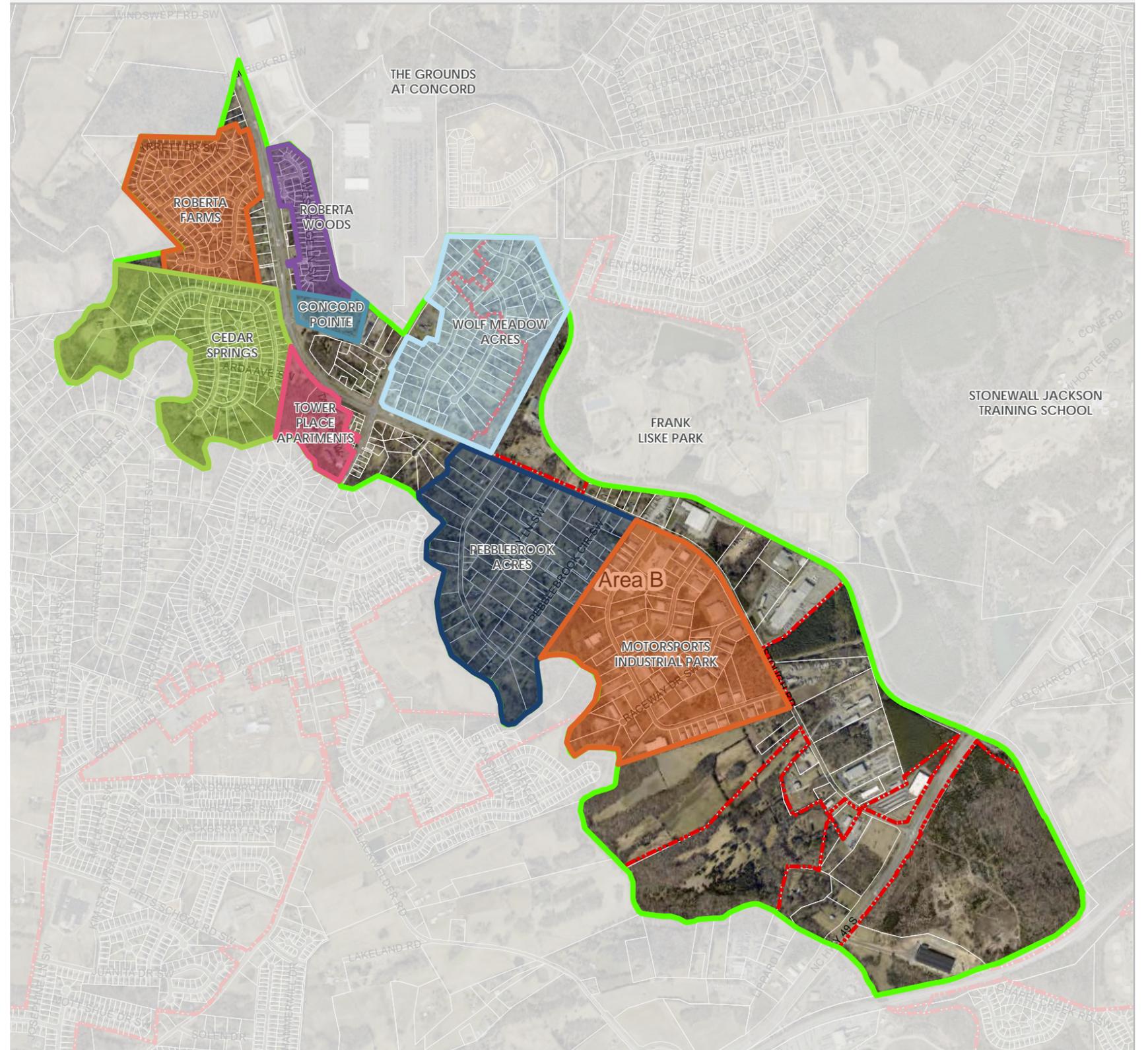
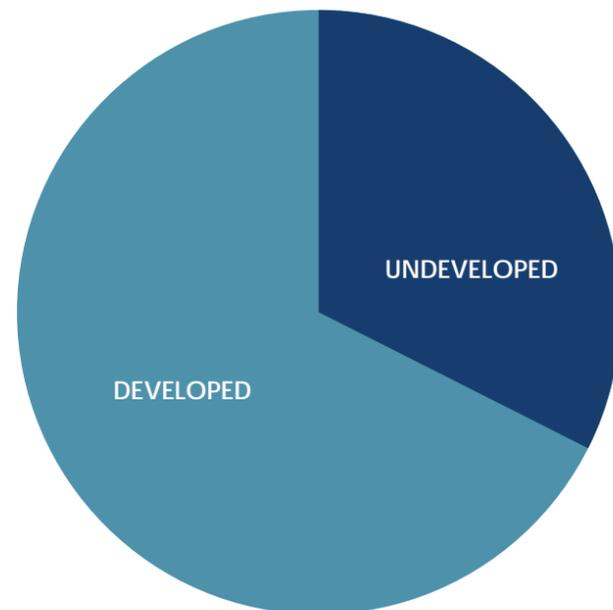


AREA B EXISTING CONDITIONS

Area B comprises approximately 1,214 acres located between the Coddle Creek floodplain to the west, the Bootsmead Rail Spur to the East, Area A to the north, and parcels just south of Hwy 49. Unlike Area A, much of Area B is already developed, with a few notable exceptions.

Existing Development:

- Roberta Farms
- Roberta Woods
- Concord Pointe
- Cedar Springs
- Tower Place Apartments
- Wolf Meadow Acres
- Pebblebrook Acres
- Motorsports Industrial Park
- Miscellaneous Industrial



AREA A ZONING DISTRICTS

I-1: Light Industrial

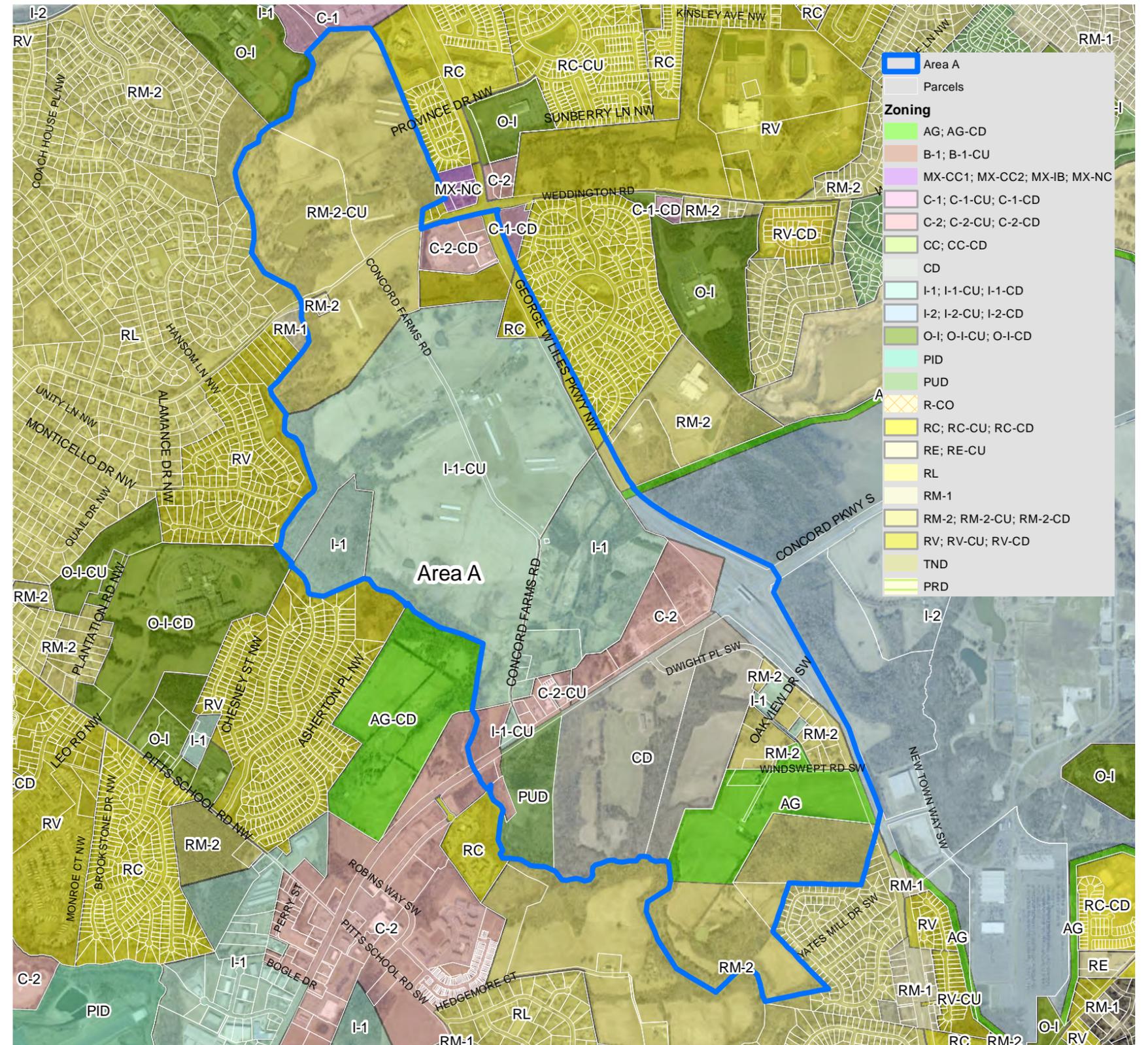
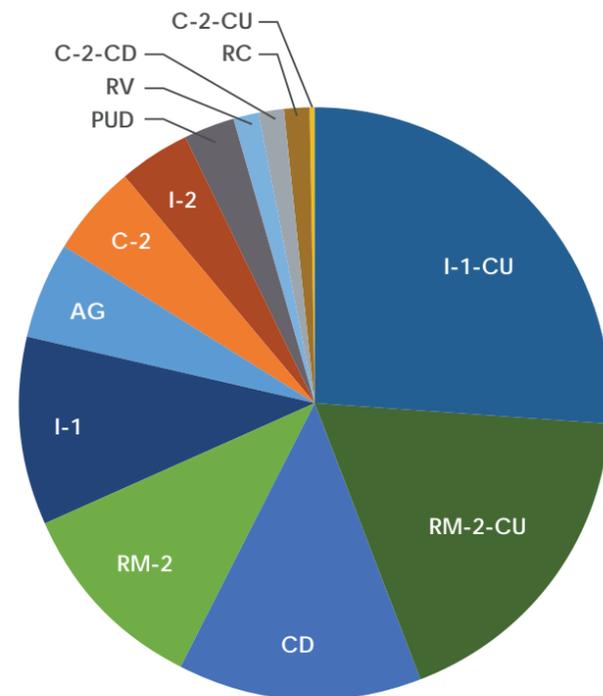
Mix of light manufacturing uses, office park and limited retail and services in business park setting. Should have direct access to thoroughfare. **442.1 acres.**

RM-2: Residential Medium Density

Medium density Single Family; 4 dwelling units per acre (dua) max., where adequate public facilities exist. **350.1 acres.**

CD: Campus District

Mixture of employment and/or institutional uses; may include light manufacturing, office, warehousing, distribution, institutional and limited retail in campus setting with architectural design standards. **162.1 acres.**



AREA B ZONING DISTRICTS

RM-2: Residential Medium Density

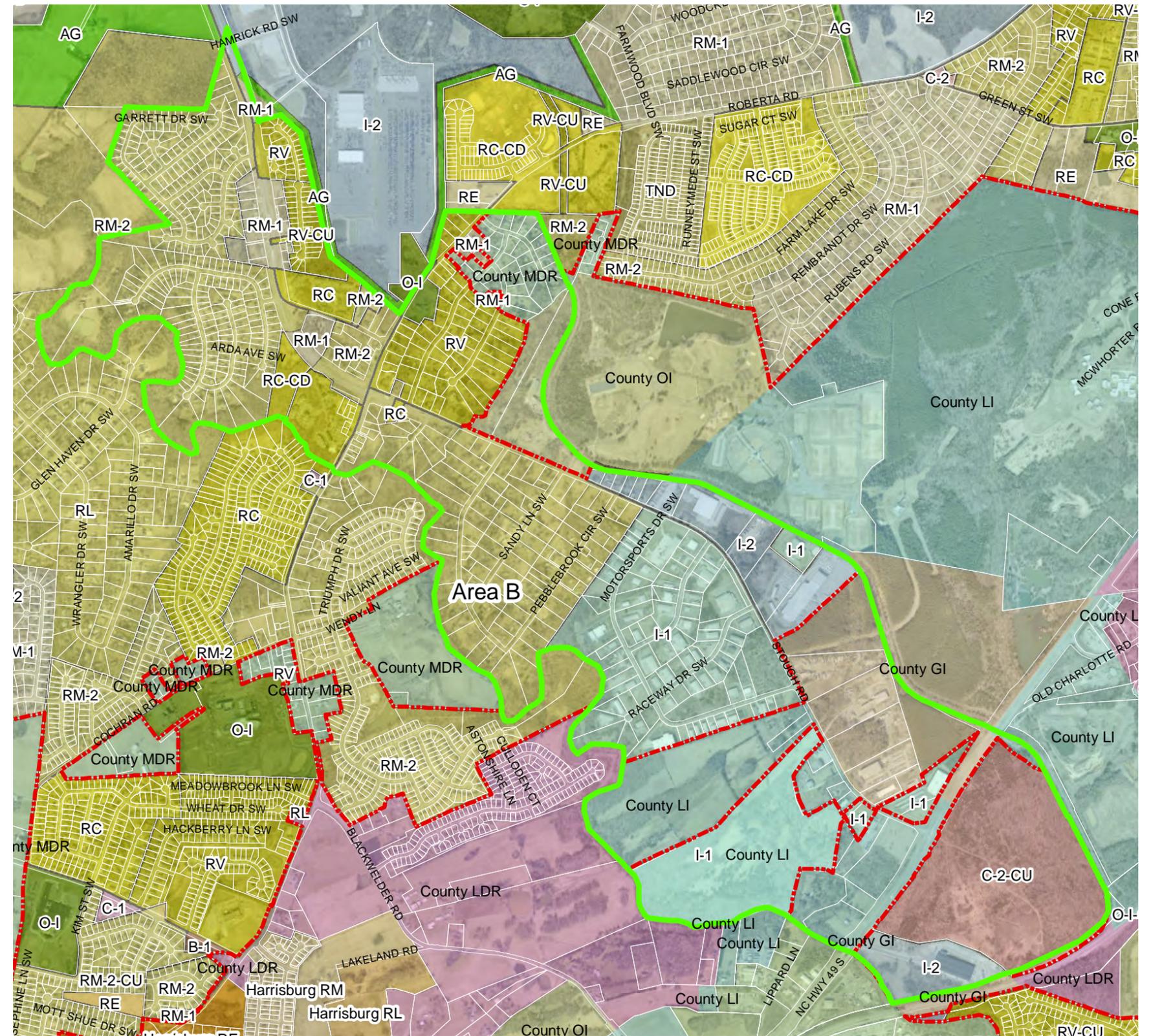
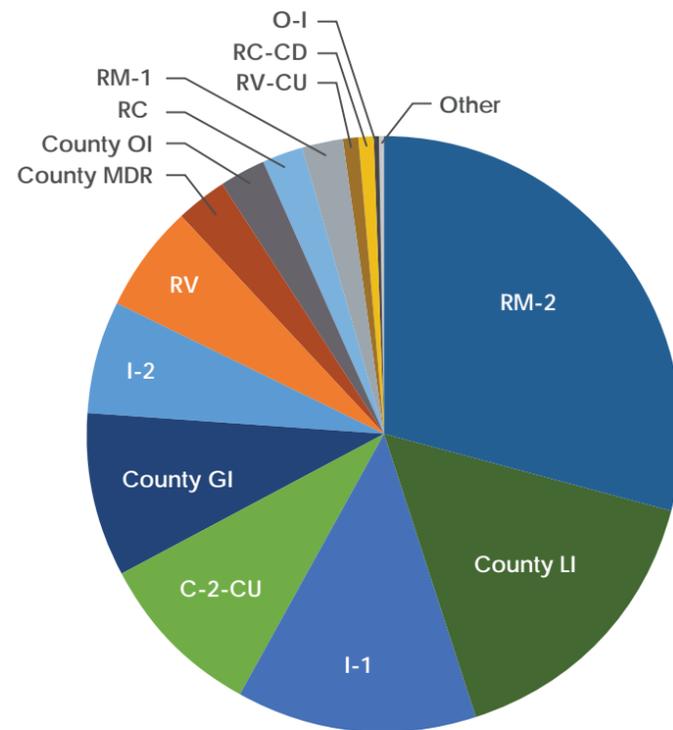
Medium density Single Family; 4 dwelling units per acre (dua) max., where adequate public facilities exist. **360.3 acres.**

County LI: Limited Industrial

This district provides for both large and small scale industrial and office development geared to indoor industrial activities. **194.8 acres.**

I-1: Light Industrial

Mix of light manufacturing uses, office park and limited retail and services in business park setting. Should have direct access to thoroughfare. **159.5 acres.**



AREA A 2030 LAND USE PLAN

Mixed Use Activity Center

The majority of land is designated as Mixed Use Activity Center: *715.4 acres, or 58.9% of the land area of Area A.*

Industrial Employment

The second largest land area in Area A of the Small Area Plan is Industrial/Employment: *192.2 acres, or 15.8% of Area A.*

Suburban Neighborhood

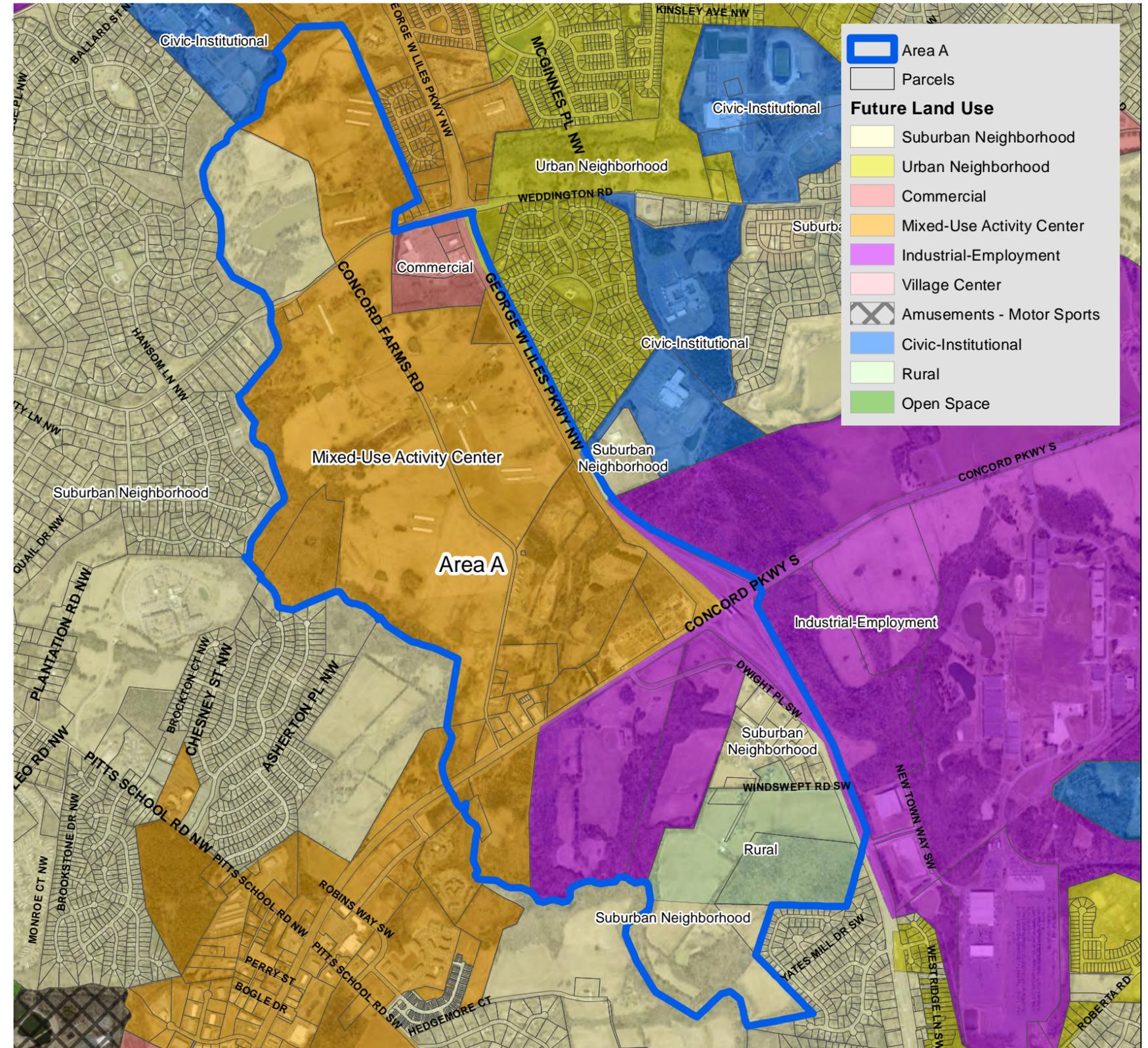
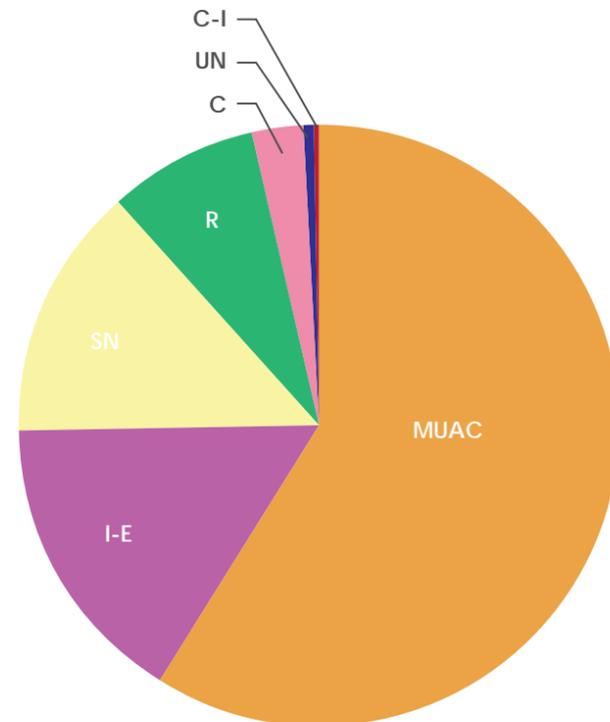
The third largest land area in Area A is Suburban Neighborhood: *167.2 acres, or 13.8% of Area A.*

Rural

The Rural area consists of a small area of about *97.2 acres, or 8% of Area A.*

Commercial

Willow Oaks Crossing Shopping Center



AREA B 2030 LAND USE PLAN

Industrial Employment

In the southern area of the small area plan, the majority of land is designated as Industrial Employment: **7,504.5 acres, or 41.9% of land area in Area B.**

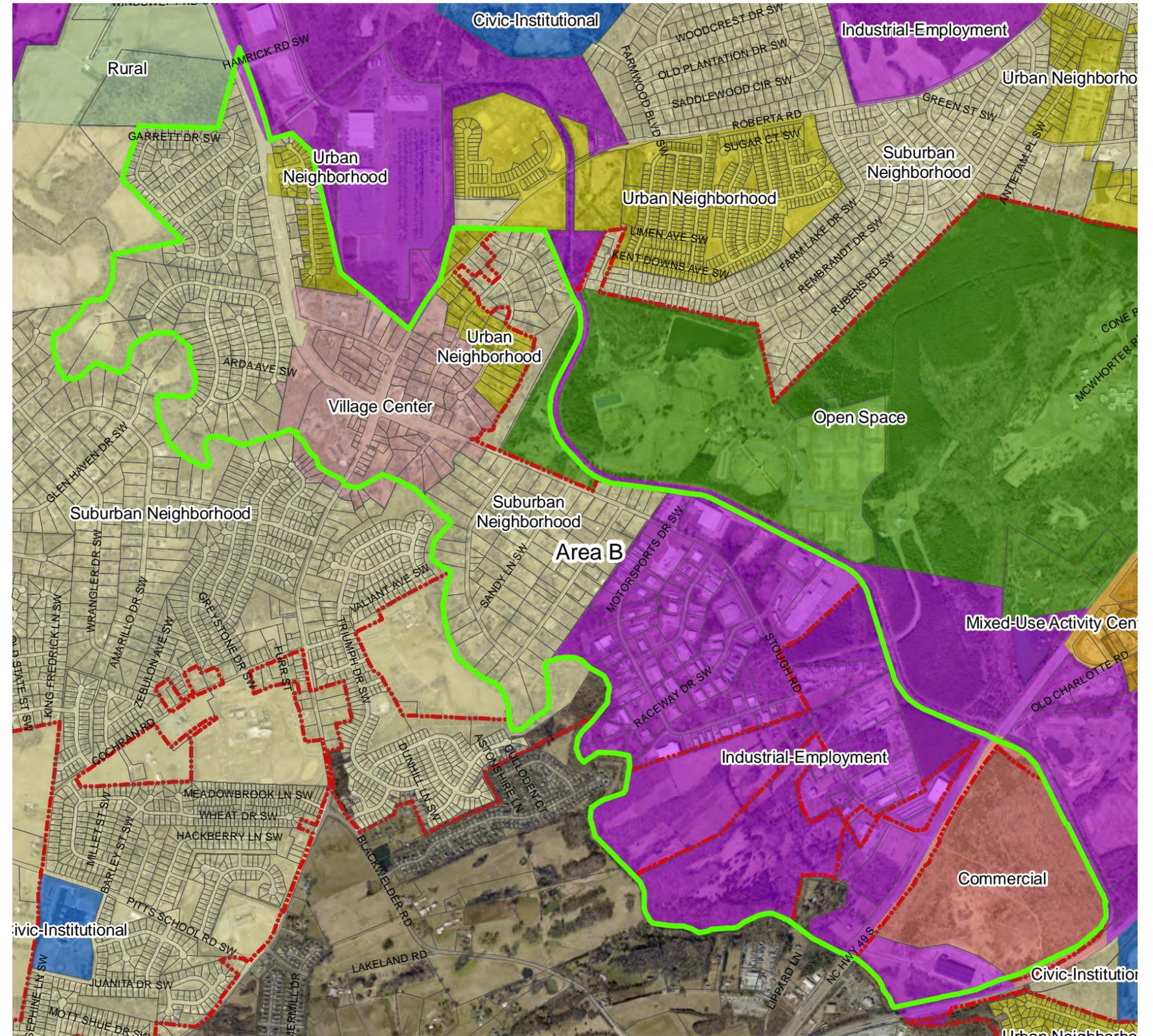
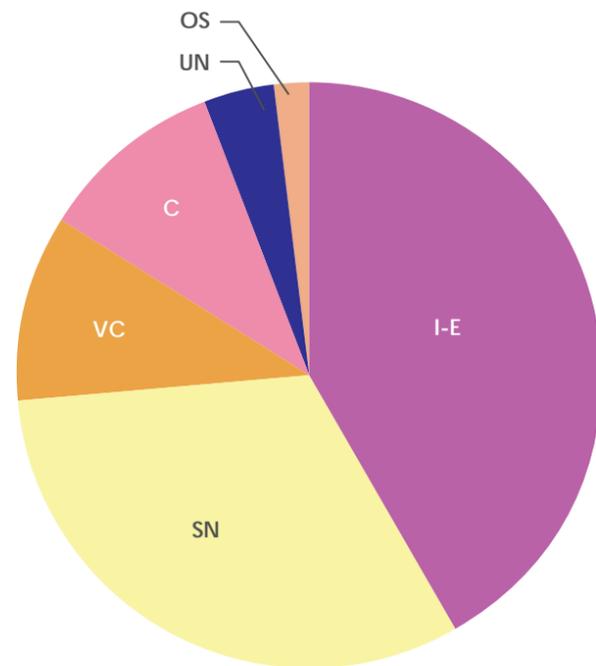
Suburban Neighborhood

The second largest land area in Area B of the Small Area Plan is designated Suburban Neighborhood: **383.7 acres, or 31.9% of Area B.**

Village Center & Commercial

Both the Village Center and Commercial Future Land Use categories have a substantial presence within the small area plan limits. **Village Center has 125.0 acres, or 10.4% and Commercial has 121.2 acres, or 10.1% of Area B.**

Urban Neighborhood & Open Space



SMALL AREA PLAN VISION

Live-Work-Play Community

Healthy & Active Living

Connected & Accessible Places

Enhanced Quality of Life

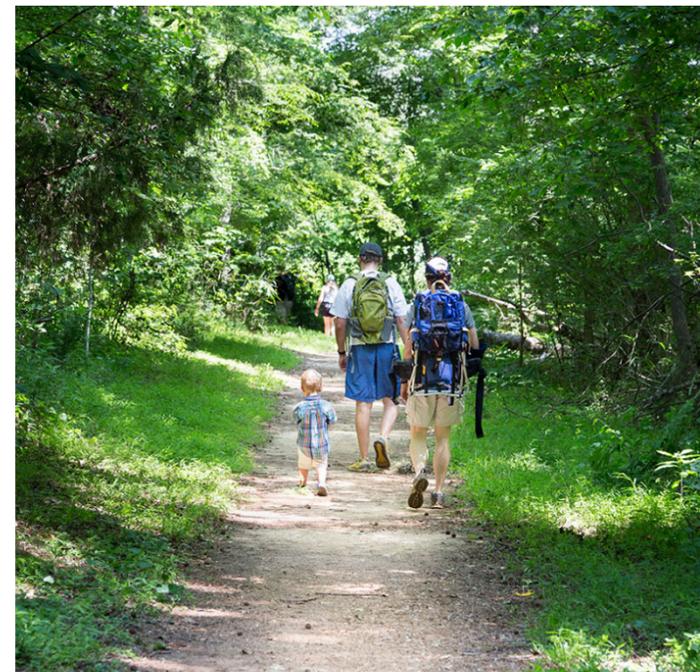


THE VISION: LIVE-WORK-PLAY COMMUNITY

Live-work-play communities provide benefits such as convenience for low-stress living, more walking, a healthier lifestyle, and greater connection with neighbors.



THE VISION: HEALTHY & ACTIVE LIVING



Healthy and active living choices, beyond their natural habits, involve the provision of infrastructure and amenities that encourage healthy activity and access to healthy food.

THE VISION: CONNECTED & ACCESSIBLE PLACES



The ideal transportation network will provide access from the neighborhood to employment and lifestyle centers and from employment and industrial centers to major transportation routes.



THE VISION: ENHANCED QUALITY OF LIFE



This Small Area Plan aims to layout growth and future development along the George W. Liles Parkway in such a manner as to enhance the community's quality of life and position the Corridor as a place people want to live, work and visit.



AREA A LAND USE & BUILT FORM

Lifestyle Focus

Feedback from stakeholders and a review of the housing market suggest that a key component missing from the local market includes a master planned community with lifestyle amenities such as connected greenways, public gathering space and historical relevance (e.g. Great Wagon Trail, Coddle Creek and other historical/agricultural elements).

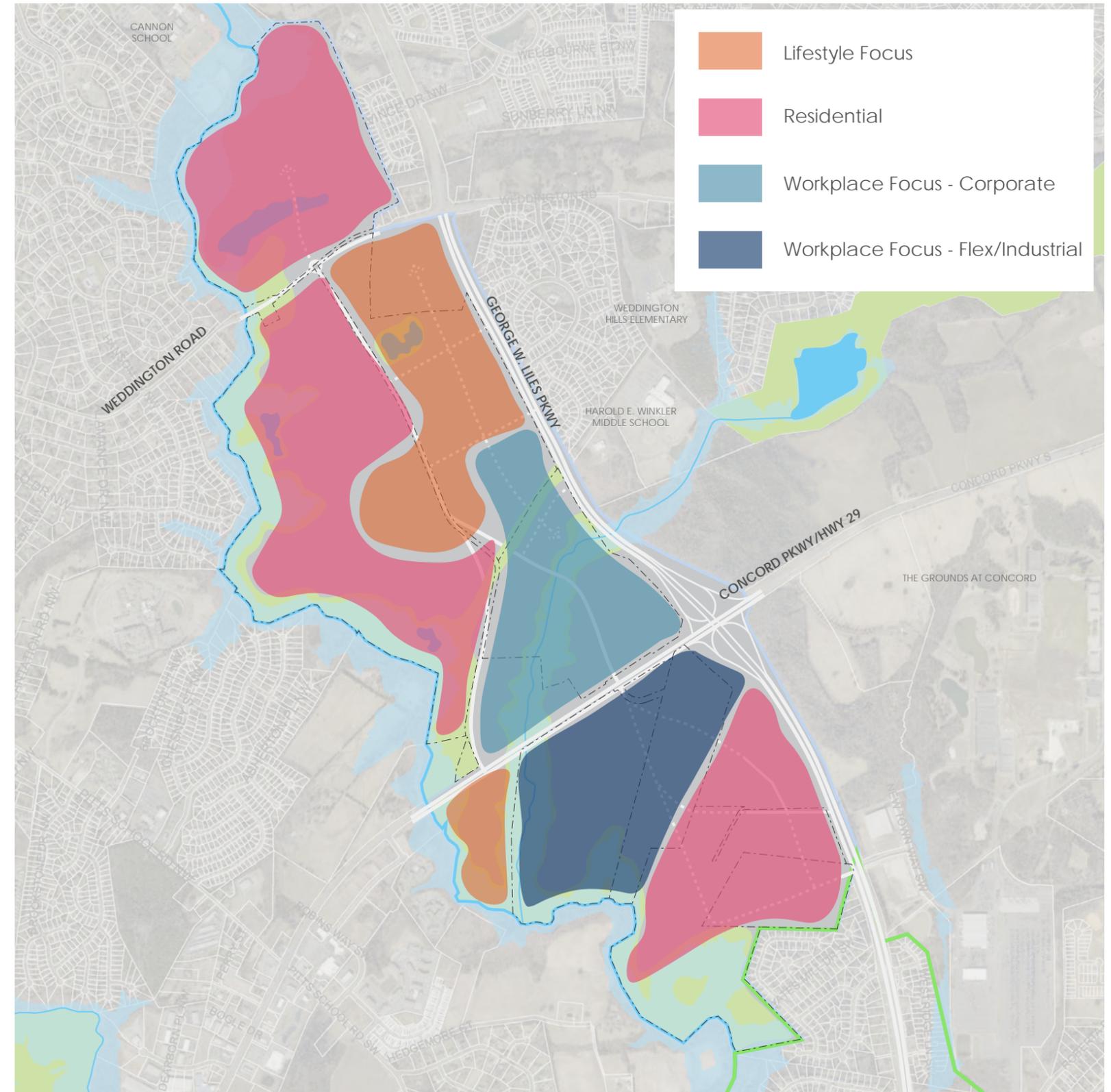
Workplace Focus

Concord's position as the county seat, adjacent to major educational and health institutions suggest a strategy to attract both small and larger office investment – in tandem with targeted industries identified with local/regional Economic Development organizations. Master planned campuses focused on employment must include unique amenities to attract future forward companies and their discerning employees.

Residential

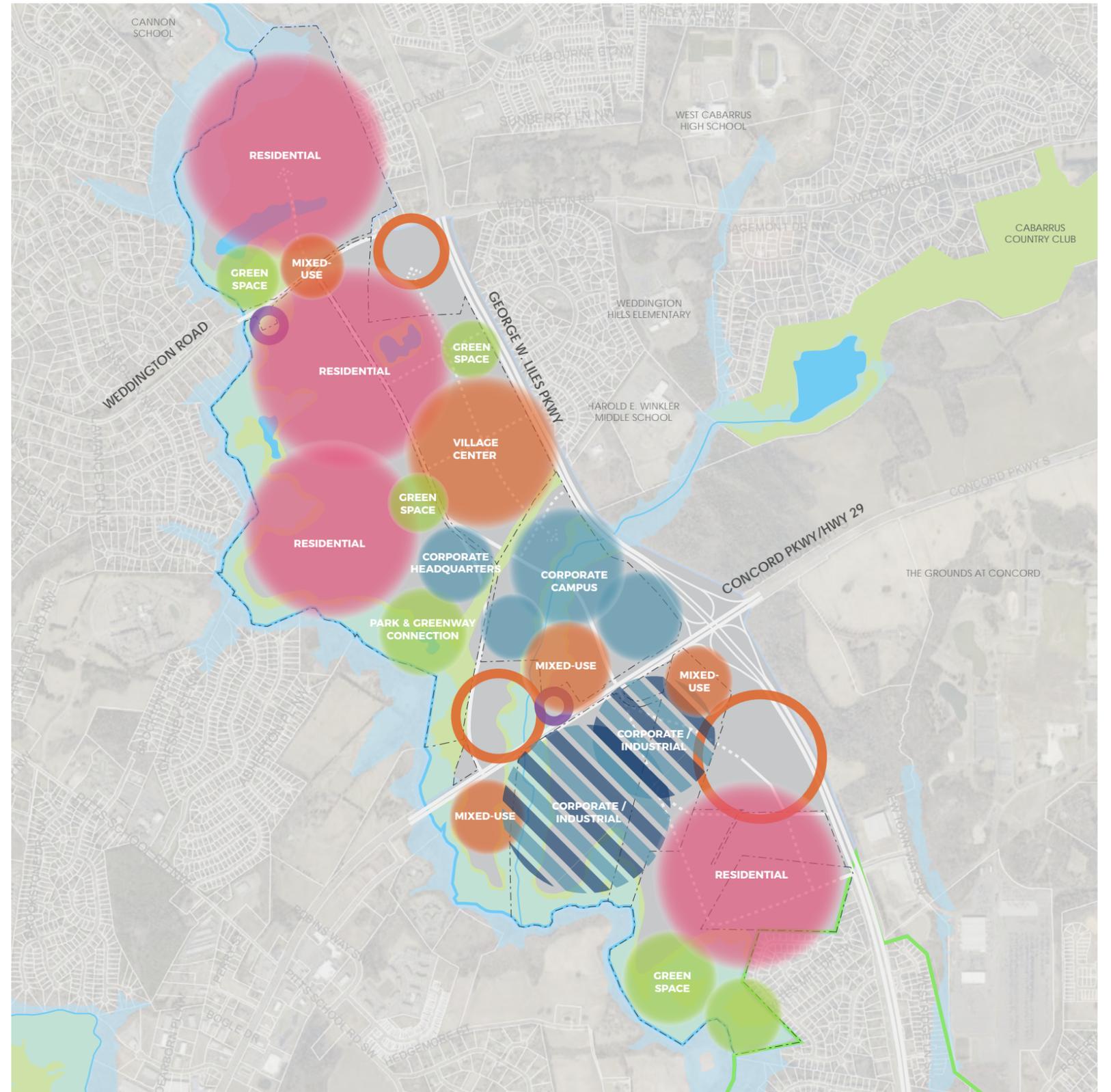
Housing of all price ranges from affordable to executive housing for working age generations and retirees, both consumer markets that are seeking similar live-work-play community experiences.

Flexibility built into the Plan.



AREA A FUTURE FOCUS LAND USE*

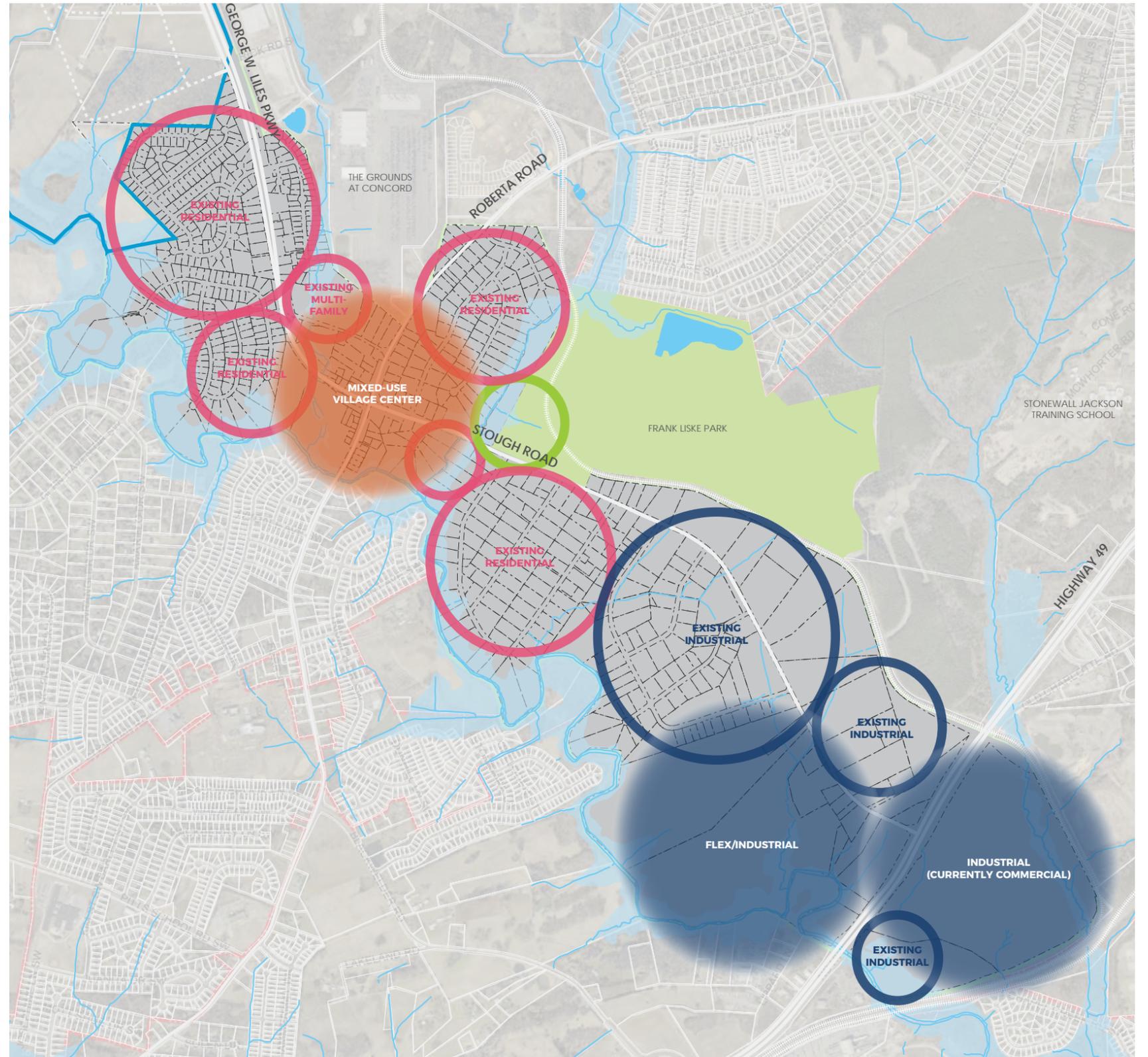
-  Existing Mixed-Use
-  Proposed Mixed-Use
-  Existing Electrical Substation
-  Proposed Residential
-  Proposed Corporate
-  Proposed Corporate/
Light Industrial/Flex
-  Proposed Park/Open Space



*There are many ways in which this area, as a Multi-Use Activity Center w/ Industrial Employment, could develop. The bubble diagram above is one out of many possibilities.

AREA B FUTURE FOCUS LAND USE

-  Existing Mixed-Use
-  Proposed Mixed-Use
-  Existing Industrial
-  Proposed Industrial
-  Existing Residential
-  Existing Green Space



*There are many ways in which this area, as a Multi-Use Activity Center w/ Industrial Employment, could develop. The bubble diagram above is one out of many possibilities.



BALLANTYNE

SCALE COMPARISONS

CORPORATE





BAXTER VILLAGE

SCALE COMPARISONS

RESIDENTIAL





KINGSLEY

SCALE COMPARISONS

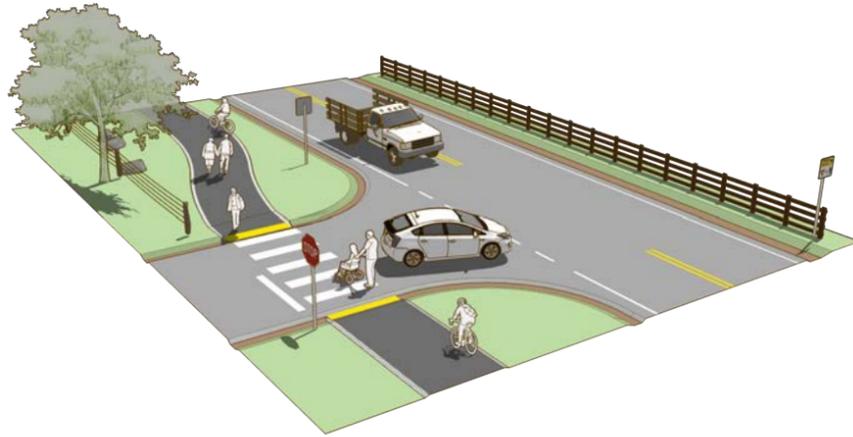
MULTI-USE CENTER





AREA A PARKS & RECREATION

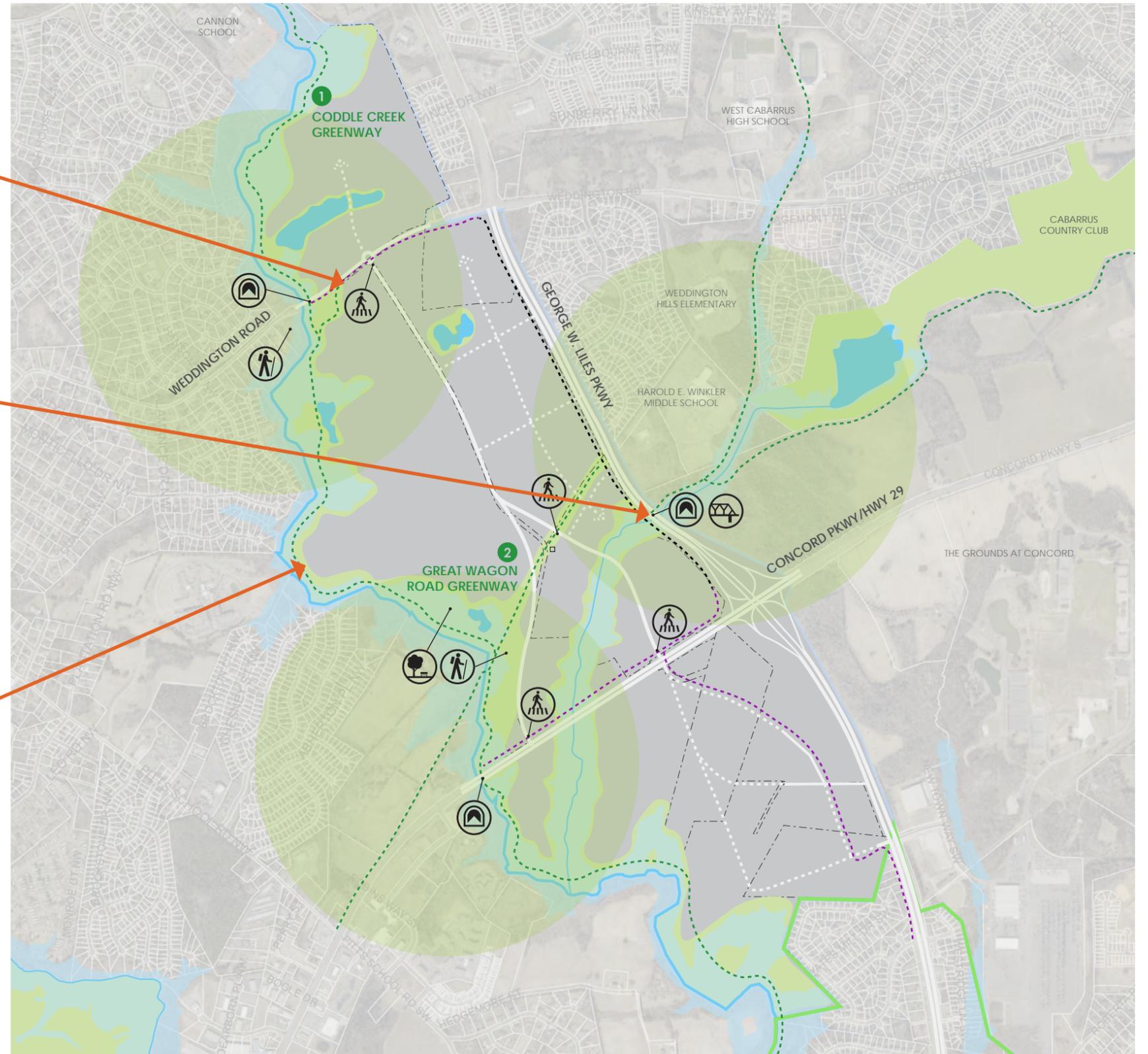
Multi-Use Path



Pedestrian Bridge



Greenway

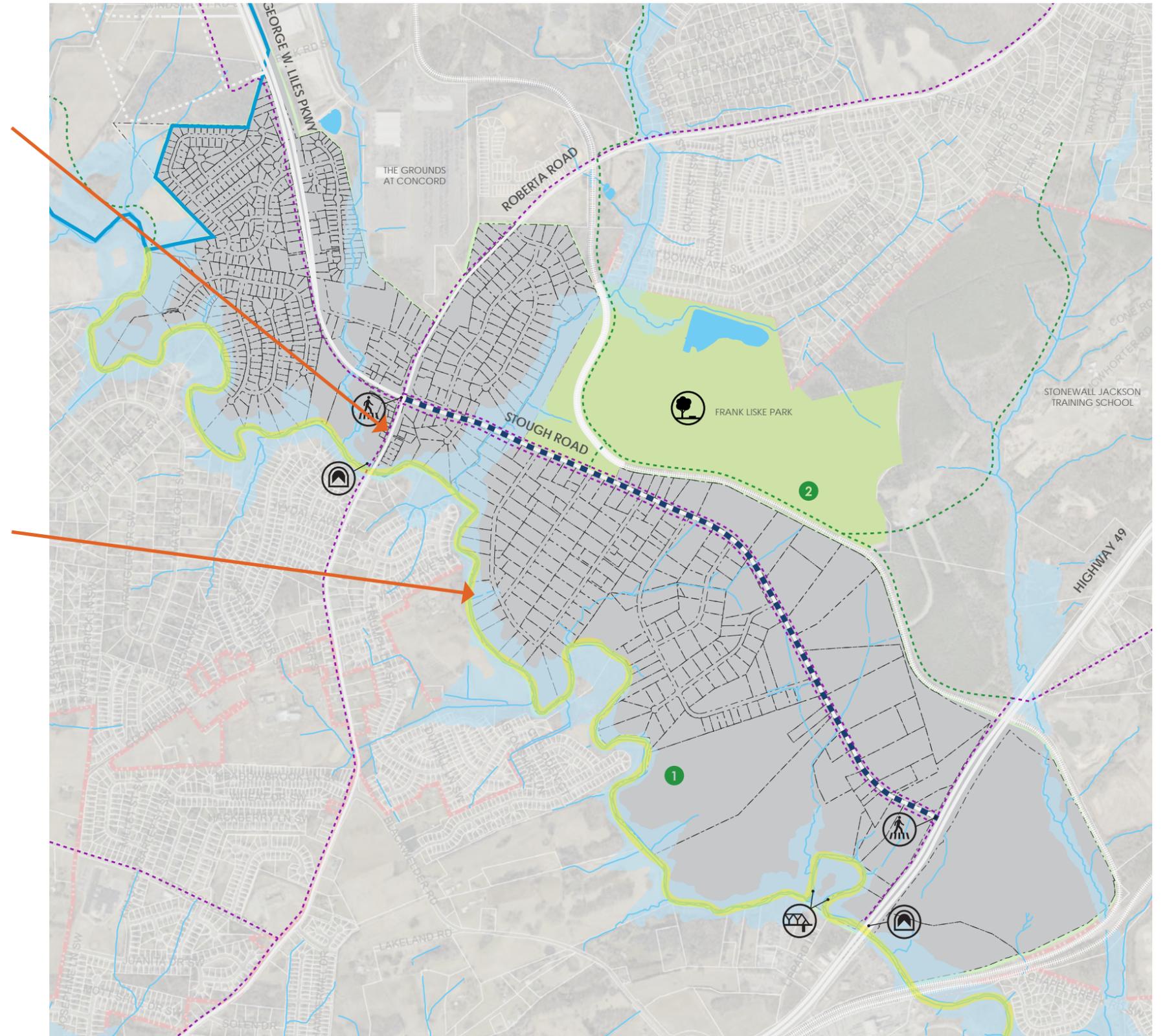


AREA B PARKS & RECREATION

Multi-Use Path

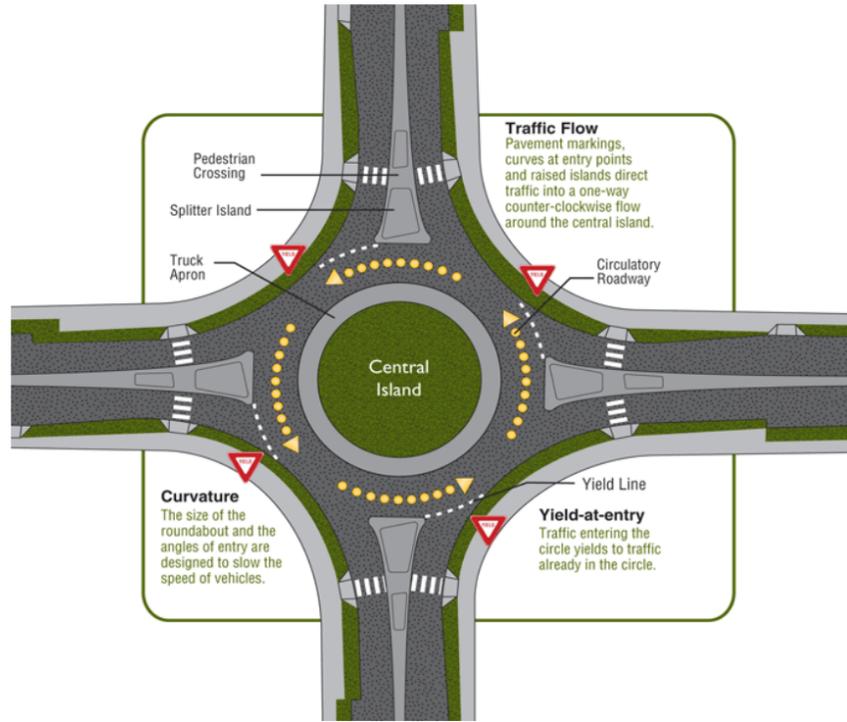


Greenway

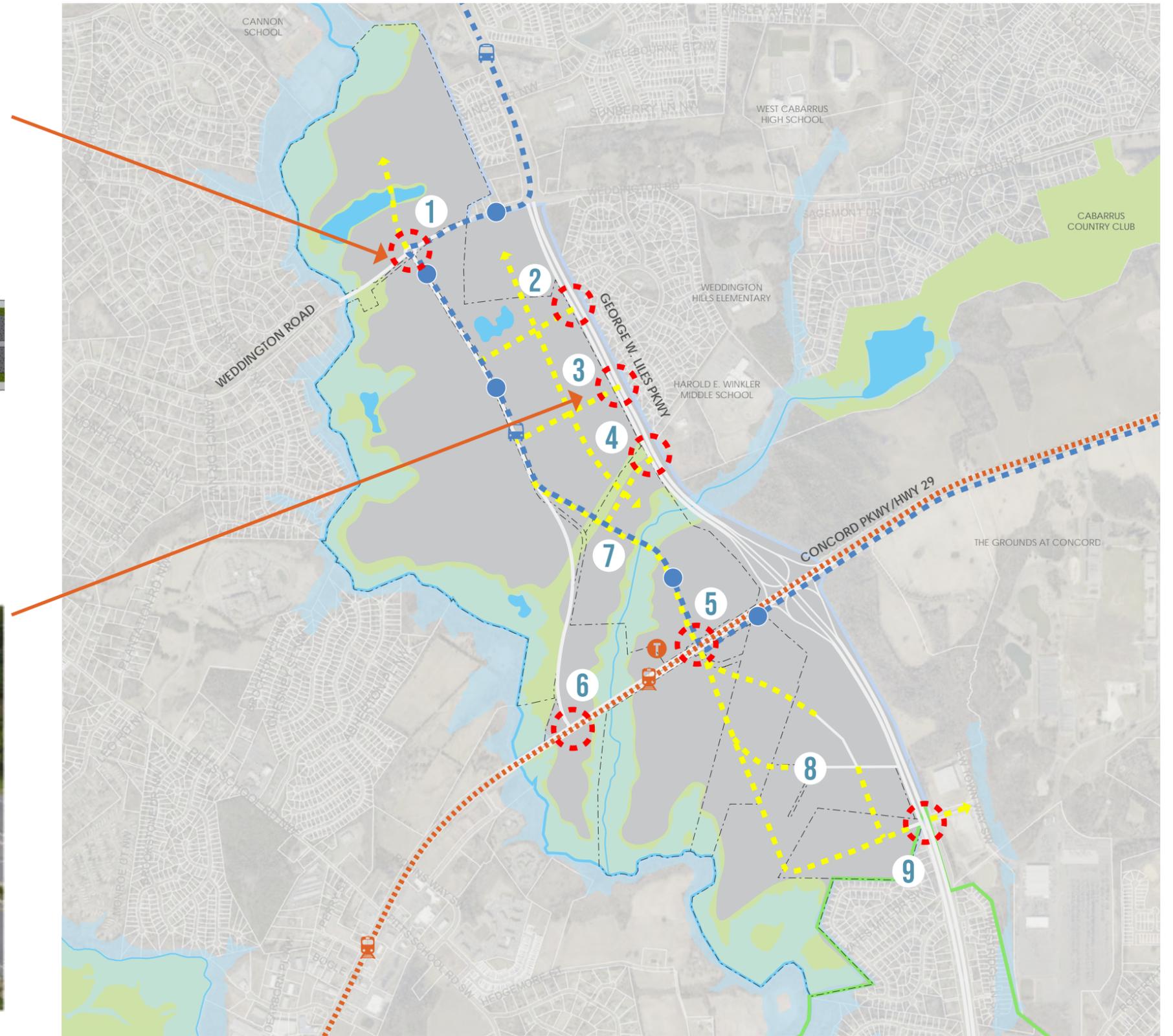


AREA A TRANSPORTATION & TRANSIT

Roundabout



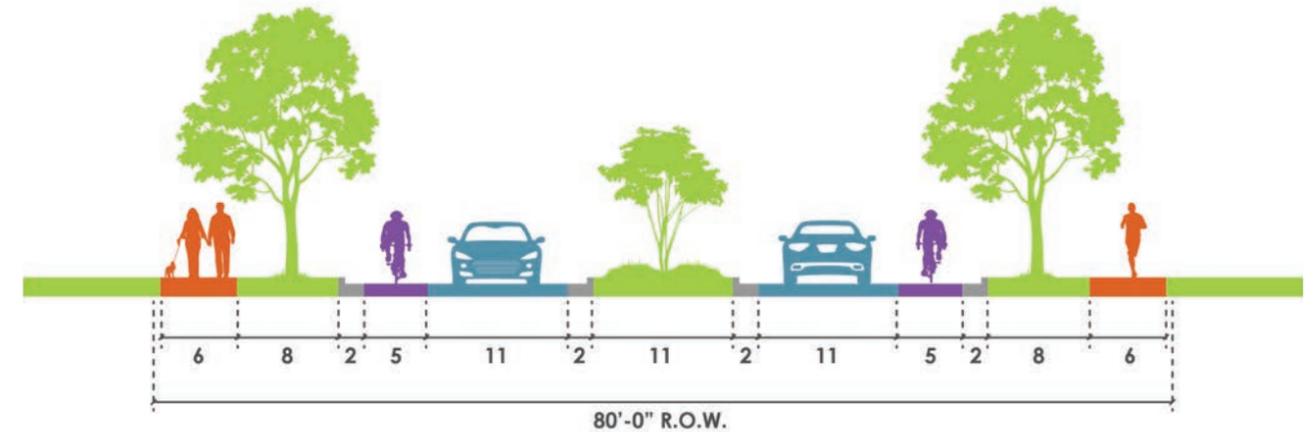
George W. Liles Intersections



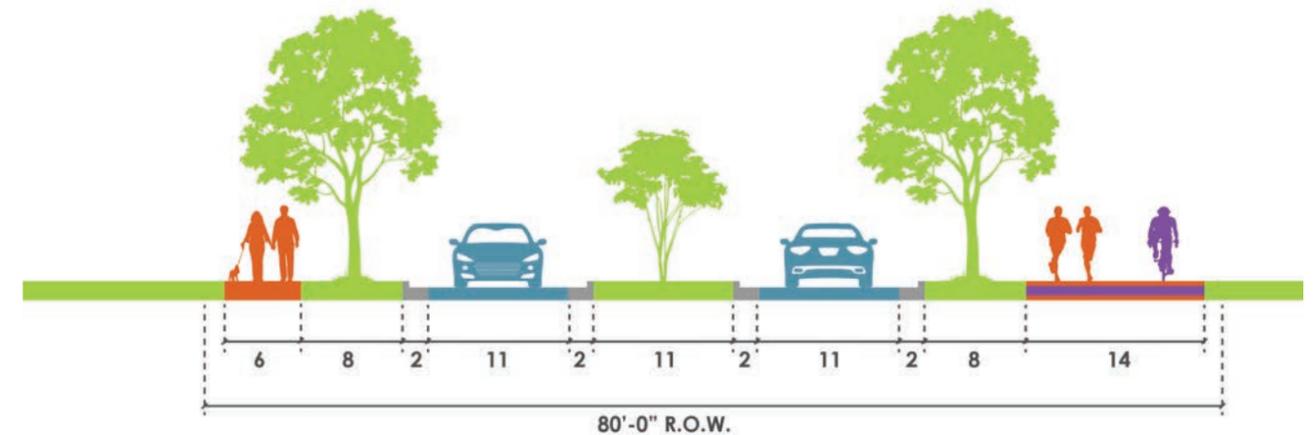
CONCORD FARMS ROAD CROSS SECTIONS

- 2 Lane Divided Roadway
- Boulevard with a Raised Median
- Focus on Multi-Modal Transportation (Bike, Pedestrian, & Automobile)
- 80'-0" Right of Way
- Curb & Gutter

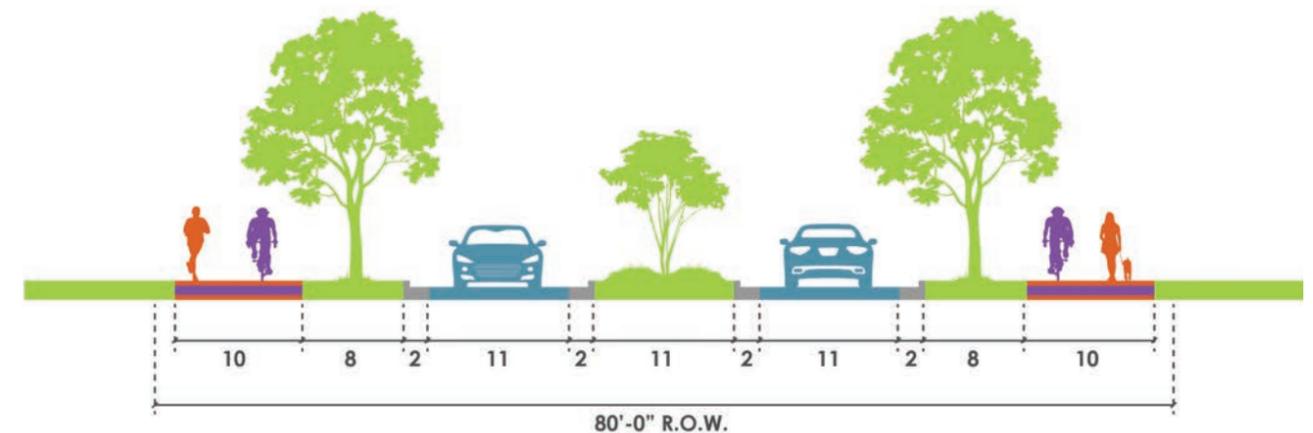
2 Lane Divided (11' Raised Median) w/ Curb & Gutter, Bike Lanes and Sidewalks Both Sides



2 Lane Divided (11' Raised Median) w/ Curb & Gutter and 14' Multi-Use Path One Side



2 Lane Divided (11' Raised Median) w/ Curb & Gutter and 10' Multi-Use Path Both Sides

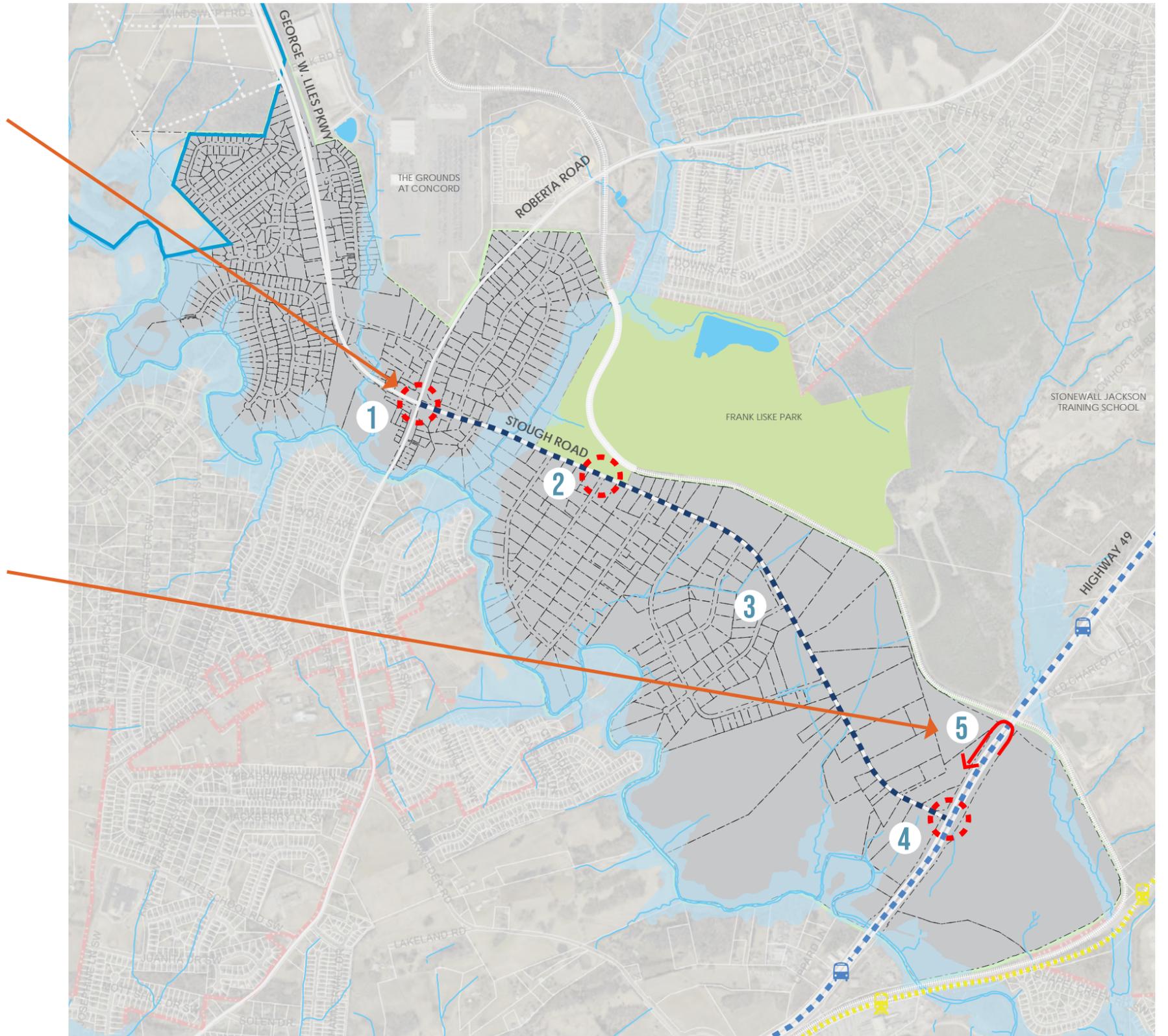


AREA B TRANSPORTATION & TRANSIT

Roberta Road
(EXISTING)



Hwy 49 U-Turn Area



IMPLEMENTATION

Types of Implementation

- **Regulatory**

- Land Use Amendments
- Zoning Changes
- Lifestyle Guidelines (Area A)
- Industrial Guidelines (Area B)

- **Public Infrastructure**

- Driven in Reaction to Demand or Proactive Infrastructure Investments
- George W. Liles Pkwy Extension (NCDOT)

- **Partnerships**

- Different forms of Public Private Partnership
- Mutually beneficial for the City & Development Team



IMPLEMENTATION

Key Variables & Constraints

- **Surrounding Development**
 - The Grounds at Concord
 - Frank Liske Park & Stonewall Jackson School
- **Sequencing**
 - Residential or Non-Residential?
- **Public Investment**
 - Multi-modal Transportation
 - Greenways & Multi-Use Paths
 - Creation of Affordable Housing & an Employment Base
- **Infrastructure**
 - Developments may test/strain capacity of existing City & State Infrastructure (e.g. roads, water, sewer, electric, etc.)



PUBLIC COMMENT PERIOD

Public Input Survey from June 23 - July 14, 2022

1,555 Views & 21 Total Participants

- **Positive Comments**

- Public Art & Performance/Gathering Spaces
- Greenways (Connection from Afton to Frank Liske Park)
- Walkable & Bikeable Communities
- Shopping, Dining & Family Friendly developments

- **Negative Comments**

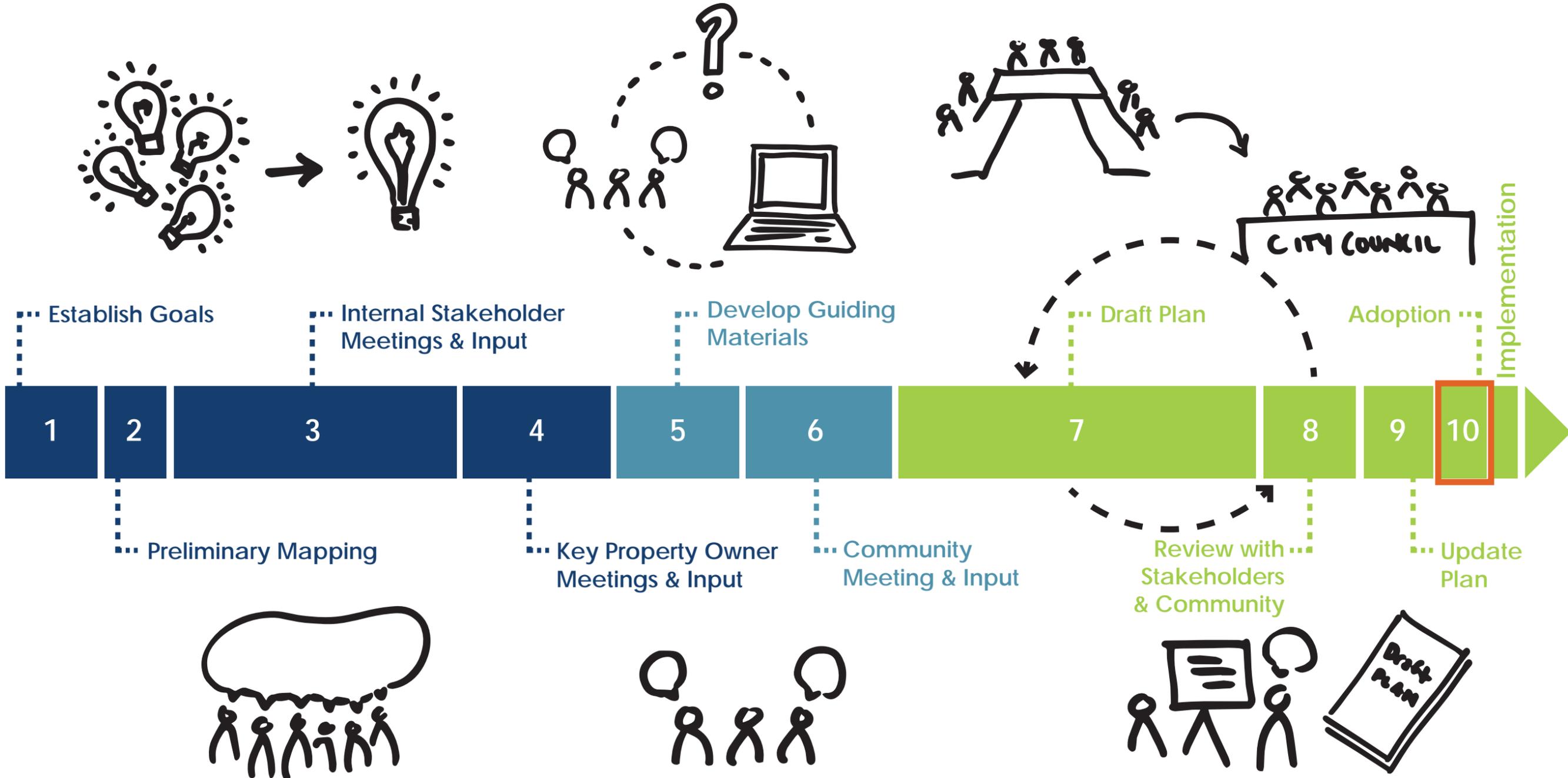
- Increased Traffic Concerns
- No more Apartments

- **Neutral Comments or Requests**

- New Library Branch in this Area (Afton Ridge)
- Public Swimming Pool
- Preservation of Open Space & Mature Trees
- Affordable Housing Considerations



PLANNING PROCESS - ADOPTION



NEXT STEPS

Conduct the Public Hearing

Approve a Statement of Consistency

Following is a draft that supports adoption:

- The proposal is consistent with the 2030 Land Use Plan as a Mixed Use Activity Center is indicated at the George W. Liles Parkway/Concord Parkway intersection, and the plan sets forth a framework for development of this area.
- The proposal is reasonable in that the development of the Plan has included substantial outreach to property owners, stakeholders and the general public.

Consider adopting the plan by Ordinance