

CITY OF CONCORD
J.E. "JIM" RAMSEUR PARK
PARKS & RECREATION DEPARTMENT

1252 Cox Mill Rd, Concord, NC 28027

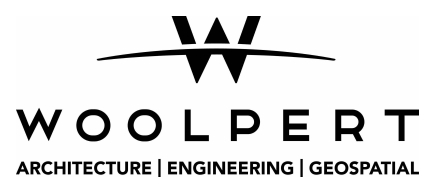
ISSUED FOR BIDDING
01/14/25

WOOLPERT
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13860 BALLANTYNE CORPORATE PLACE
SUITE 425
CHARLOTTE, NC 28227
800.414.1045



PROJECT TEAM

CIVIL ENGINEERING | LANDSCAPE ARCHITECTURE | STRUCTURAL | ARCHITECTURAL



13860 Ballantyne Corporate Place, Suite 425
Charlotte, NC 28277
800-414-1045
www.woolpert.com

MECHANICAL | ELECTRICAL | PLUMBING | TELECOMMUNICATION



1927 South Tryon Street, Suite 300
Charlotte, NC 28203
704-338-1292
www.optimaengineering.com

MECHANICALLY STABILIZED EARTH RETAINING WALLS



4685 South Ash Ave, Suite H4
Tempe, AZ 85282
480-897-8200
www.terracon.com

COST ESTIMATING

Harris Cost, LLC

PO Box 14979
Surfside Beach, SC 29587
864-307-0021
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AQUATIC DESIGNER

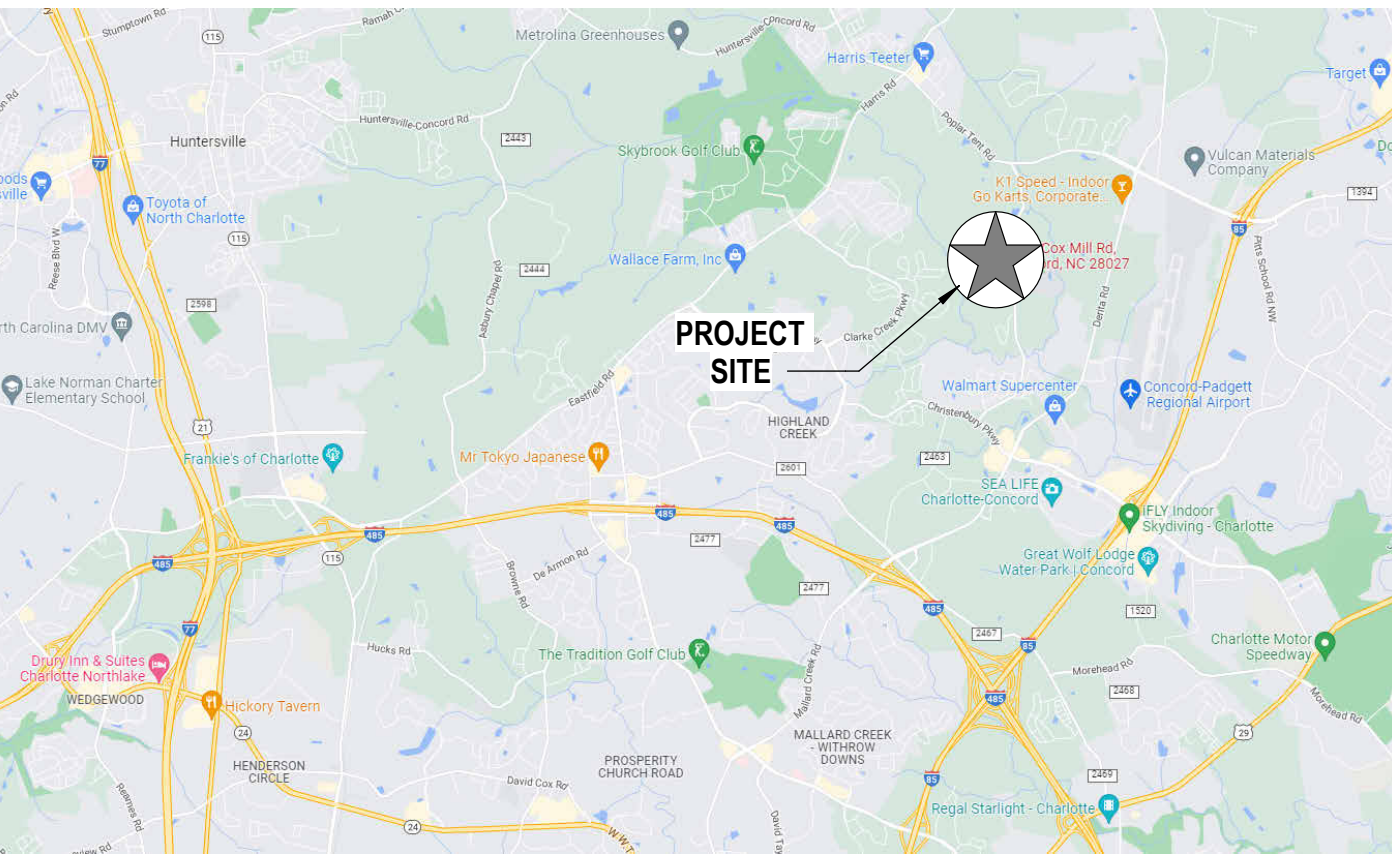


80 West Group LLC

CORY ANDERSON
Aquatic Play Solution Expert

22214 Market St
Cornelius, NC, 28031

LOCATION MAP



PROJECT IMAGE



PICKLEBALL - OPEN LAWN CONCEPT RENDERING

GENERAL NOTES

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN THE FIELD PRIOR TO ORDERING OR FABRICATION OF MATERIALS OR THE BEGINNING OF CONSTRUCTION. NOTIFY ARCHITECT AND OWNER REPRESENTATIVE OF ALL DISCREPANCIES. ALL WORK REQUIRING MEASURING TO BE DONE ACCORDING TO FIGURES ON DRAWINGS. DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND DRAWINGS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT AND OWNER REPRESENTATIVE. CONTRACTOR TO SUBMIT SPECIFIC DISCREPANCY FOR ARCHITECT REVIEW, PRIOR TO COMMENCING WITH THE WORK IN QUESTION.
2. ALL WORK TO CONFORM TO STATE AND LOCAL CODES, ORDINANCES, REQUIREMENTS AND APPLICABLE STANDARDS.
3. THE CONTRACTOR SHALL ARRANGE FOR THE PREMISES TO BE MAINTAINED IN AN ORDERLY MANNER, FREE OF DUST AND DEBRIS, THROUGHOUT THE COURSE OF THE WORK. PROVIDE AND MAINTAIN TEMPORARY BARRICADES AS REQUIRED TO PROTECT THE PUBLIC AND OWNERS PERSONNEL DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING STRUCTURE OR EQUIPMENT. ANY SUCH DAMAGE SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL FOLLOW THE REQUIREMENTS OF CHAPTER 33, FIRE SAFETY DURING CONSTRUCTION AND DEMO OF THE 2018 IFC.
4. CONTRACTOR TO REVIEW OTHER DRAWINGS ISSUED FOR THIS PROJECT FOR ADDITIONAL INFORMATION FROM OTHER TRADES TO COORDINATE THE REQUIRED SCOPE OF WORK.
5. DO NOT SCALE FROM THE DRAWINGS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE. THE OWNER'S REPRESENTATIVE MUST BE NOTIFIED OF ANY CONFLICTS IN DIMENSIONING.
6. EXTERIOR DIMENSIONS ARE TO FACE OF CMU, FACE OF METAL STUD, OR COLUMN CENTERLINE UNLESS OTHERWISE NOTED. INTERIOR DIMENSIONS ARE TO FACE OF EXTERIOR STUD, FACE OF CMU, CENTERLINE OF COLUMNS, OR FACE OF INTERIOR STUD UNLESS OTHERWISE NOTED.
7. ALL MATERIALS, FIXTURES AND EQUIPMENT INDICATED IN THE CONSTRUCTION DOCUMENTS SHALL BE NEW AND AS SPECIFIED, UNLESS IDENTIFIED OTHERWISE.
8. ALL NEW FINISHED AND PATCHED SURFACES SHALL BE SMOOTH, CONTINUOUSLY FREE OF IMPERFECTIONS AND IN PROPER CONDITION TO RECEIVE THE SPECIFIED FINISH. PATCHED AREAS SHALL MATCH THE ADJACENT MATERIALS CONSTRUCTION AND FINISH.
9. ALL FLOORS ON EITHER SIDE OF A DOORWAY OR OPENING SHALL BE LEVEL AND HAVE MAXIMUM ELEVATION DIFFERENCE OR THRESHOLD HEIGHT OF 1/2".
10. DOOR OPENINGS NOT LOCATED BY DIMENSION SHALL BE 8" FROM THE FACE OF CMU TO FACE OF CMU OF DOOR FRAME JAMB UNLESS NOTED OTHERWISE.
11. DOOR SIZES, STYLES, AND SPECIFICATIONS, ROUGH OPENING SIZES AND EXACT LOCATIONS TO BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE ORDERING AND BEFORE CONSTRUCTION BEGINS.
12. ALL PENETRATIONS OF FIRE RATED FLOORS, WALLS AND CEILINGS TO BE SEALED WITH PROPER APPROVED MATERIALS TO THE FULL THICKNESS OF THE CONSTRUCTION ELEMENTS.
13. FIRE STOP ALL FLOORS, WALLS AND CEILINGS AS REQUIRED BY APPLICABLE CODE.
14. ALL WOOD BLOCKING IN EXTERIOR WALLS TO BE MOISTURE RESISTANT TREATED IN ACCORDANCE WITH SPECIFICATIONS. WHERE REQUIRED BY CODE, ALL WOOD BLOCKING IN INTERIOR WALLS TO BE FIRE RETARDANT TREATED IN ACCORDANCE WITH SPECIFICATIONS.
15. INSTALL SEALANT AT EXTERIOR SIDE OF ALL JOINTS, SEAMS, CONNECTIONS OR OPENINGS WHICH WOULD ALLOW WATER OR AIR INFILTRATION EXCEPT AS NOTED OTHERWISE. SEALANT COLOR TO MATCH ARCHITECT'S SAMPLE. COLOR REQUIRES ARCHITECT'S APPROVAL.
16. THE CONTRACTOR SHALL VERIFY AND COORDINATE, WITH ALL TRADES, THE SIZES AND LOCATIONS OF ALL OPENINGS FOR MECHANICAL, PLUMBING, AND ELECTRICAL EQUIPMENT, EQUIPMENT PADS, OR BASES AS WELL AS POWER, WATER, AND DRAIN INSTALLATIONS BEFORE PROCEEDING WITH WORK. SUBCONTRACTOR SHALL PROVIDE COORDINATION DRAWINGS FOR PROPER PLACEMENT OF ALL TRADES' WORK. ALL CONCERNS, SPACE LIMITATIONS OR STRUCTURAL CONFLICTS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT, PRIOR TO COMMENCING WITH THE WORK IN QUESTION.
17. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE AND LOCATE ELECTRICAL, DATA, AND PHONE RECEPTACLES, SWITCHES, ETC. TO AVOID CONFLICTS WITH CASEWORK, DOORS, AND OTHER TRADES.
18. ALL APPLICABLE BUILDING COMPONENTS SHALL BE ATTACHED TO MEET SEISMIC LOADS AND SEISMIC DESIGN CATEGORY AS NOTED ON THE CODE SUMMARY FOR EACH BUILDING.

VICINITY MAP



ISSUANCE SCHEDULE

DESCRIPTION

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VOLUME I

SHEET NO SHEET NAME

GENERAL

G-001.1 COVER SHEET
G-002.1 SHEET INDEX
G-003.1 SITE LOADING CALCULATIONS

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C-002 GENERAL NOTES
C-003 ADDITIONAL NOTES
C-004 ADDITIONAL NOTES
C-100 EXISTING CONDITIONS
C-101 OVERALL DEMOLITION PLAN
C-102 DEMOLITION PLAN
C-103 DEMOLITION PLAN
C-104 DEMOLITION PLAN
C-200 OVERALL SITE PLAN
C-201 SITE PLAN
C-202 SITE PLAN
C-210 PAVEMENT JOINT PLAN
C-220 SPLASH PAD PLAN
C-300 OVERALL GRADING & DRAINAGE PLAN
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C-302 GRADING & DRAINAGE PLAN
C-303 GRADING & DRAINAGE PLAN
C-304 GRADING & DRAINAGE PLAN
C-305 GRADING & DRAINAGE PLAN
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C-307 GRADING & DRAINAGE PLAN
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C-309 DRAINAGE PROFILES
C-310 DRAINAGE PROFILES
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C-312 E&S PLAN PHASE 1
C-313 E&S PLAN PHASE 1
C-314 E&S PLAN PHASE 1
C-315 E&S PLAN PHASE 2
C-316 E&S PLAN PHASE 2
C-317 E&S PLAN PHASE 2
C-318 E&S PLAN PHASE 3
C-319 E&S PLAN PHASE 3
C-320 E&S PLAN PHASE 3
C-321 PIPE & STRUCTURE TABLE
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C-401 UTILITY PLAN
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C-403 UTILITY PLAN
C-404 FIRE EXHIBIT
C-405 UTILITY PLAN AND PROFILE
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C-421 PRIVATE FORCE MAIN PROFILES
C-430 PRIVATE WATER PROFILES
C-431 PRIVATE WATER PROFILES
C-800 EROSION CONTROL DETAILS
C-801 EROSION CONTROL DETAILS
C-802 EROSION CONTROL DETAILS
C-803 EROSION CONTROL DETAILS
C-810 SITE DETAILS
C-811 SITE DETAILS
C-812 SITE DETAILS
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C-814 SITE DETAILS
C-815 SITE DETAILS
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C-817 SITE DETAILS
C-818 SITE DETAILS
C-819 SITE DETAILS
C-830 DRAINAGE DETAILS
C-831 DRAINAGE DETAILS
C-832 DRAINAGE DETAILS
C-833 DRAINAGE DETAILS
C-834 DRAINAGE DETAILS
C-835 DRAINAGE DETAILS
C-836 DRAINAGE DETAILS
C-837 DRAINAGE DETAILS
C-840 PRIVATE PUMP STATION DETAILS
C-850 UTILITY DETAILS
C-851 UTILITY DETAILS
C-852 UTILITY DETAILS
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C-854 TRAFFIC CONTROL PLAN DETAILS

VOLUME I

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L-102 ENLARGED LANDSCAPE PLAN
L-103 ENLARGED LANDSCAPE PLAN
L-104 ENLARGED LANDSCAPE PLAN
L-105 ENLARGED LANDSCAPE PLAN
L-106 ENLARGED LANDSCAPE PLAN
L-107 ENLARGED LANDSCAPE PLAN
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L-109 SPLASH PAD RENDERINGS

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B-003 BUILDING CODE / APPENDIX B
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B-301 TYPICAL MSE WALL A, B, AND C CROSS SECTION
B-501 TYPICAL MSE WALL CONSTRUCTION DETAILS
B-502 TYPICAL MSE WALL CONSTRUCTION DETAILS

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SP100 SPLASH PAD CONTEXT
SP101 SPLASH PAD PLAN
SP102 SPLASH PAD DETAILS
SP103 SPLASH PAD DETAILS
SP104 SPLASH PAD DETAILS
SP105 SPLASH PAD DETAILS
SP106 SPLASH PAD DETAILS
SP107 SPLASH PAD DETAILS
SP108 SPLASH PAD DETAILS
SP109 SPLASH PAD DETAILS
SP110 SPLASH PAD DETAILS
SP111 SPLASH PAD DETAILS
SP112 SPLASH PAD DETAILS
SP113 SPLASH PAD DETAILS

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PG102 ADVENTURE PLAYGROUND
PG103 NATURE PLAYGROUND
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VOLUME II

SHEET NO SHEET NAME

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G-001.1 COVER SHEET
G-002.1 SHEET INDEX
G-003.1 SITE LOADING CALCULATIONS

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S-002 STRUCTURAL GENERAL NOTES
S-003 SPECIAL INSPECTION
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S-101-SP SPLASHPAD PAVILION - FOUNDATION PLAN
S-102-SP SPLASHPAD PAVILION - ROOF FRAMING PLAN

BASKETBALL RESTROOM (BB)

S-101-BB BASKETBALL RESTROOM FOUNDATION AND ROOF FRAMING

MAINTENANCE BUILDING (MB)

S-101-MB MAINTENANCE BUILDING FOUNDATION AND ROOF FRAMING PLAN

SHELTER PAVILIONS (PV)

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S-102-PV SMALL PAVILION FLOOR PLANS

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S-101-SS PICKLEBALL SHADE STRUCTURE AND GATE FOUNDATION AND FRAMING PLAN

BOARDWALK & BRIDGE (BW)

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S-102-BW BRIDGE PLAN AND SECTIONS

S-501 FOUNDATION DETAILS
S-502 FOUNDATION DETAILS
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VOLUME II

SHEET NO SHEET NAME

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A-002 PARTITION TYPES
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A-101-PB FLOOR PLAN & CLERESTORY WINDOWS
A-102-PB REFLECTED CEILING PLAN & ROOF PLAN
A-201-PB BUILDING ELEVATIONS
A-301-PB BUILDING SECTIONS
A-311-PB WALL SECTIONS

SPLASHPAD PAVILION (SP)

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A-101-SP FLOOR PLAN
A-102-SP ROOF PLAN
A-111-SP REFLECTED CEILING PLAN
A-201-SP BUILDING ELEVATIONS
A-202-SP BUILDING ELEVATIONS
A-301-SP BUILDING SECTIONS
A-311-SP WALL SECTIONS

BASKETBALL RESTROOM (BB)

A-100-BB CODE SUMMARY AND LIFE SAFETY PLAN
A-101-BB FLOOR PLAN, ROOF PLAN, & RCP
A-201-BB BUILDING ELEVATIONS & SECTIONS
A-301-BB WALL SECTIONS

MAINTENANCE BUILDING (MB)

A-100-MB CODE SUMMARY AND LIFE SAFETY PLAN
A-101-MB FLOOR PLAN
A-102-MB ROOF PLAN
A-111-MB REFLECTED CEILING PLAN
A-201-MB BUILDING ELEVATIONS
A-202-MB BUILDING ELEVATIONS
A-301-MB BUILDING SECTIONS
A-311-MB WALL SECTIONS
A-401-MB INTERIOR ELEVATION AND CASEWORK DETAILS
A-501-MB PLAN DETAILS
A-502-MB DOOR AND STOREFRONT DETAILS

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A-101-PV MAIN PAVILION FLOOR PLAN AND ROOF PLAN
A-102-PV SMALL PAVILIONS PLANS, ELEVATIONS, & BUILDIN...
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A-501 TYPICAL ROOF DETAILS

A-502 TYPICAL DETAILS
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VOLUME II

SHEET NO SHEET NAME

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P-201-PB SUPPLY PIPING FLOOR PLANS

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P-101-SP SANITARY WASTE FLOOR PLANS
P-201-SP SUPPLY PIPING FLOOR PLANS

BASKETBALL RESTROOM (BB)

P-101-BB SANITARY WASTE FLOOR PLANS
P-201-BB SUPPLY PIPING FLOOR PLANS

MAINTENANCE BUILDING (MB)

P-101-MB SANITARY WASTE FLOOR PLANS
P-201-MB SUPPLY PIPING FLOOR PLANS

P-501 PLUMBING DETAILS

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SPLASHPAD PAVILION (SP)

M-101-SP MECHANICAL FLOOR PLANS

BASKETBALL RESTROOM (BB)

M-101-BB MECHANICAL FLOOR PLANS

MAINTENANCE BUILDING (MB)

M-101-MB MECHANICAL FLOOR PLANS

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E-003 ELECTRICAL SPECIFICATIONS
E-100 ELECTRICAL SITE PLAN
E-101 ELECTRICAL SITE PLAN
E-102 ELECTRICAL SITE PLAN
E-103 ELECTRICAL SITE PLAN
E-104 ELECTRICAL SITE PLAN
E-105 ELECTRICAL SITE PLAN
E-106 ELECTRICAL SITE PLAN
E-107 ELECTRICAL TELE/COM SITE PLAN
E-108 ELECTRICAL TELE/COM SITE PLAN
E-109 ELECTRICAL TELE/COM SITE PLAN
E-110 ELECTRICAL TELE/COM SITE PLAN

PICKLEBALL RESTROOM (PB)

E-121-PB ELECTRICAL FLOOR PLAN

SPLASHPAD PAVILION (SP)

E-121-SP ELECTRICAL FLOOR PLAN

BASKETBALL RESTROOM (BB)

E-121-BB ELECTRICAL FLOOR PLAN

MAINTENANCE BUILDING (MB)

E-121-MB ELECTRICAL FLOOR PLAN - POWER
E-122-MB ELECTRICAL FLOOR PLAN - LIGHTING

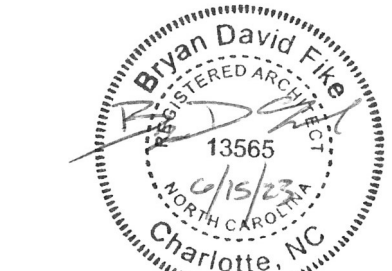
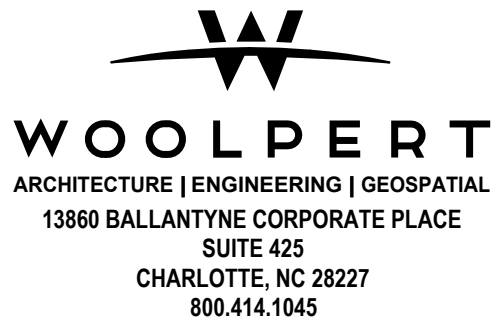
SHELTER PAVILIONS (PV)

E-121-PV ELECTRICAL FLOOR PLAN
E-122-PV ELECTRICAL FLOOR PLAN

SHADE STRUCTURES, KIOSKS & GATES (SS)

E-121-SS ELECTRICAL FLOOR PLAN

E-501 ELECTRICAL DETAILS
E-502 ELECTRICAL DETAILS
E-503 ELECTRICAL DETAILS
E-504 ELECTRICAL DETAILS
E-601 ELECTRICAL DETAILS
E-701 POWER RISER DIAGRAMS
E-702 PANEL SCHEDULES
E-703 PANEL SCHEDULES



ISSUANCE SCHEDULE		
NUMBER	DATE	DESCRIPTION
1	06/20/2023	REV 1 Agency Review

CITY OF CONCORD
J.E. "JIM" RAMSEUR PARK
PARKS & RECREATION DEPARTMENT

1252 Cox Mill Rd
Concord, NC 28027

PROJECT NO: 081197
DATE ISSUED: 06/15/2023
DESIGNED BY: BF
DRAWN BY: BF
CHECKED BY: BB

SHEET NAME:
SHEET INDEX

SHEET NO:

G-002.2

01/14/25 - ISSUED FOR BIDDING

J.E. "Jim" Ramseur Park - City of Concord - Site Loading Estimates																
Key Note	Site Function	Approx. Square Feet	Occupancy Loading		Plumbing Fixtures			Vehicle Spaces (Parking)							Concord UDO Land Use per Table 10.3.1	Notes
			Required	Proposed/Ca lculated	Male	Female	Lavs	Proposed Parking	*Parking Occupancy	Range	Minimum	Factor per SF (1 per)	Maximum	Factor per SF (1 per)		
1	Dog Park	60,000		30	0.20	0.375	0.175	10	300	100-120	100	600	120	500	Retail - Amusement Park	
2	Open Event Lawn	19,000		96	0.64	1.2	0.56	32	96	32-38	32	600	38	500	Retail - Amusement Park	
3	Open Splashpad Lawn3	6,000		30	0.20	0.375	0.175	10	30	10-12	10	600	12	500	Retail - Amusement Park	
4	Pickleball Courts (6)			24	0.16	0.3	0.14	18	54	18-24	18	3	24	4	Charlotte Precedent Used	Tennis or Racquet Courts (City of Charlotte)
5	Pickleball Spectator Seating	Per Seats1	144	72	0.48	0.9	0.42	24	72	24-36	24	6	36	4	Institutional and Civic - Public Assembly	Non-simultaneous loading during rare spectator events
6	Splashpad	3,600		36	0.24	0.45	0.21	12	36	12-29	12	300	29	125	Institutional and Civic - All other Institutional Uses	
7	Adventure Playground	18,000		90	0.60	1.125	0.525	30	90	30-36	30	600	36	500	Retail - Amusement Park	
8	Small Amphitheater	Per Seats2	45	45	0.30	0.5625	0.2625	8	24	8-12	8	6	12	4	Auditorium/ Public Assembly	
9	Basketball Courts (2)			24	0.16	0.3	0.14	8	18	6-8	6	3	8	4	Charlotte Precedent Used	Proposed 3on3 per hoop x 4 hoops
10	Outdoor Education Pad	400	27	24	0.16	0.3	0.14	2	6	2-4	2	300	4	125	Institutional and Civic - All other Institutional Uses	4 picnic tables @6ppl ea
11	Shelter - Splashpad (35x35)	1,225	82	48	0.32	0.6	0.28	5	15	5-10	5	300	10	125		8 picnic tables @6ppl ea
12	Shelter - Dog Park (16x20)	320	22	24	0.16	0.3	0.14	2	6	2-3	2	300	3	125		4 picnic tables @6ppl ea
13	Shelter - Event Lawn (40x30)3	1,200	80	72	0.48	0.9	0.42	4	12	4-10	4	300	10	125		12 picnic tables @6ppl ea
14	Shelter - Rentable (16x20)	320	22	24	0.16	0.3	0.14	2	6	2-3	2	300	3	125		4 picnic tables @6ppl ea
15	Shelter - Rentable (16x20)	320	22	24	0.16	0.3	0.14	2	6	2-3	2	300	3	125		4 picnic tables @6ppl ea
16	Shelter - Rentable (16x20)3	320	22	24	0.16	0.3	0.14	2	6	2-3	2	300	3	125		4 picnic tables @6ppl ea
17	Greenway Trails															Convenience Access, not dedicated trailhead
18	Phase 2 - Recreation Center	51,500	1024					78	234	78-412	78	666.667	412	125	"Other" Institutional Uses" for maximum; Retail - Health Clubs and Fitness Centers for minimum.	53,350 Total SF minus 1,850 spectator zone calculated as actual seats
18	Phase 2 - Rec Center Spectator Seating	1,850	264					44	132	44-66	44	6	66	4	Auditorium/ Public Assembly	
19	Phase 2 - Outdoor Education	900	60						6	2-8	2	666.667	8	125	"Other" Institutional Uses" for maximum; Retail - Health Clubs and Fitness Centers for minimum.	Calculated as same as interior classrooms @ 15sf/pp - Duplicate occupancy from within rec center
	Proposed Site Occupancy			687												
	Plumbing Fixtures Required				5	9	5									
	Plumbing Fixtures Provided				5	9	12									
	Pickleball Restroom				3	4	5									1 All Gender/Family
	Splashpad Restroom				1	3	4									2 All Gender/Family
	Basketball Restroom				1	2	3									1 All Gender/Family
	Total Parking Req'd Phase 1							171	777	259-351	259		351			
	Total Parking Req'd Phase 1 + Phase 2							277	1101	367-812	367		812			Numbers exclude program being demolished to make way for new rec center
	Proposed Parking Spaces on Site							278								
	Difference							1								

*Parking Occupancy is based on 3 people per parking space using the minimum number of spaces. U.S. Census Bureau indicates the avg. household from 2016-2020 has 2.6 persons per household.

- 1Estimated 72LF of fixed seating per court x 4 courts = 288LF of seating @ 2' width per person = 144 people
2Estimated 90LF of fixed seating @ 2' width per person = 45 people
3Program Space will be demolished to make way for future rec center, thus may overlap with rec center parking

Notes:
1) Site Restroom Facilities not calculated since they serve the surrounding amenities

Drinking Fountains:
Assembly A5 for outdoor park/amusement facilities
Required: 1 DF per 1,000 Occupants
687-777 Total Occupants = 1 DF Required
Actual: 4 Regular DF
4 Accessible DF
8 Total DF



ISSUANCE SCHEDULE

NUMBER DATE DESCRIPTION

CITY OF CONCORD
J.E. "JIM" RAMSEUR PARK
PARKS & RECREATION DEPARTMENT

1252 Cox Mill Rd
Concord, NC 28027

PROJECT NO: 081197
DATE ISSUED: 06/15/2023
DESIGNED BY: BF
DRAWN BY: BF
CHECKED BY: BB

SHEET NAME:
SITE LOADING
CALCULATIONS

SHEET NO:

G-003.2

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FOUNDATION/ UNDERGROUND MECHANICAL COORDINATION

CONCRETE

CONCRETE JOINTS

REINFORCING FOR CONCRETE

ROUGH CARPENTRY:

DOUGLAS FIR - LARCH:

SOUTHERN PINE:

STRUCTURAL STEEL

ISSUANCE SCHEDULE

CITY OF CONCORD

J.E. "JIM" RAMSEUR PARK

DESIGN DEVELOPMENT DRAWINGS

1252 COX MILL ROAD

CONCORD, NC 28027

PROJECT NO:

DATE ISSUED:

DESIGNED BY:

DRAWN BY:

CHECKED BY:

SHEET NAME:

STRUCTURAL GENERAL NOTES

SHEET NO:

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GENERAL STRUCTURAL NOTES

DESIGN CRITERIA

1. 2018 NORTH CAROLINA STATE BUILDING CODE / ASCE 7-16

2. ROOF UNIFORM LIVE LOAD: (REDUCED AS ALLOWED BY THE BUILDING CODE)

3. FLOOR UNIFORM LIVE LOADS: (REDUCED AS ALLOWED BY THE BUILDING CODE)

4. SNOW LOADS:

5. WIND LOADS:

6. SEISMIC LOADS:

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3. FLOOR UNIFORM UN

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REINFORCED MASONRY

- ALL REINFORCED CONCRETE MASONRY MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE LATEST EDITION OF THE FOLLOWING:
 - TMS 602 "SPECIFICATION FOR MASONRY STRUCTURES", LATEST EDITION.
 - TMS 402 "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES", LATEST EDITION.
- NOTES APPLY TO MASONRY SHOWN ON STRUCTURAL DRAWINGS AND SHALL BE THE MINIMUM REQUIREMENTS FOR MASONRY SHOWN ON THE ARCHITECTURAL DRAWINGS.
- CONCRETE MASONRY:
 - COMPRESSIVE STRENGTH OF MASONRY, UNIT STRENGTH METHOD f_m = 2000 PSI.
 - CONCRETE MASONRY UNITS (HOLLOW): ASTM C90 MEDIUM WEIGHT, 2 CELL UNITS.
 - COURSE CONVENTIONAL GROUT: 3000 PSI IN ACCORDANCE WITH ASTM C1019. SLUMP OF 8" TO 11", USING 3/8" PEA GRAVEL AND CONFORMS TO ASTM C476. MIN STRENGTH AT 28 DAYS = 2000 PSI MINIMUM.
 - MORTAR: ASTM C270, LATEST EDITION.
 - TYPE - M, AT BELOW GRADE, HYDRATE LIME REQUIRED.
 - TYPE - N, AT INTERIOR NON-LOAD BEARING WALLS.
 - TYPE - S, TYPICAL.
- ALL CMU SHALL BE LAID IN RUNNING BOND, UNLESS NOTED OTHERWISE.
- REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 60, UNLESS NOTED OTHERWISE.
- CONTINUOUS WIRE REINFORCING (LADDER JOINT REINFORCING) SHALL BE GALVANIZED FABRICATED UNITS WITH A SINGLE PAIR OF 9 GAUGE SIDE RODS AND 9 GAUGE CROSS RODS WIRE COMPLYING WITH ASTM A82. JOINT REINFORCING SHALL BE SPACED AT 16" OC VERTICALLY IN MASONRY WALLS AND AT 8" OC VERTICALLY IN PARAPETS.
- DOWELS FROM CAST-IN-PLACE CONCRETE SHALL MATCH THE VERTICAL REINFORCEMENT IN THE WALL ABOVE UNLESS OTHERWISE NOTED. SUCH DOWELS SHALL BE FURNISHED BY THE CONCRETE CONTRACTOR.
- WHEN A FOUNDATION DOWEL DOES NOT LINE UP WITH A VERTICAL CMU CELL, IT SHALL NOT BE SLOPED MORE THAN ONE HORIZONTAL IN 6 VERTICAL. DOWELS MAY BE GROUTED INTO A WALL REINFORCING.
- SPLICING REINFORCING SHALL BE LAPPED 48 BAR DIAMETERS OR 24", WHICHEVER IS GREATER. MECHANICAL SPLICES MAY BE USED IN LIEU OF LAP SPLICES.
- VERTICAL BARS SHALL BE HELD IN POSITION, USING BAR POSITIONERS AT INTERVALS NOT EXCEEDING 200 DIAMETERS OF THE REINFORCING, AND AT TOP OF WALL.
- VERTICAL REINFORCING BARS SHALL HAVE A MINIMUM CLEARANCE OF 3/4" FROM THE MASONRY OR ADJACENT BARS AND NOT LESS THAN ONE BAR DIAMETER BETWEEN BARS NOT SPLICED. HORIZONTAL STEEL SHALL MAINTAIN 1" MINIMUM CLEARANCE FROM THE MASONRY.
- VERTICAL GROUTING MAY BE EITHER "LOW LIFT" OR "HIGH LIFT" AT THE CONTRACTOR'S OPTION.
- VERTICAL CELLS THAT WILL BE GROUTED SHALL HAVE VERTICAL ALIGNMENT TO MAINTAIN A CONTINUOUS UNOBSTRUCTED CELL AREA NOT LESS THAN 2" x 3".
- GROUTING SHALL BE STOPPED 1 1/2" BELOW THE TOP OF A COURSE SO AS TO FORM A KEY AT THEIR FOUR JOINT.
- GROUTING OF MASONRY BEAMS OVER OPENINGS SHALL BE DONE IN A CONTINUOUS OPERATION.
- ALL STEEL BEAMS BEARING ON MASONRY WALLS SHALL HAVE 3 COURSES MINIMUM FILLED WITH GROUT DIRECTLY BELOW THE BEARING POINT UNLESS NOTED OTHERWISE.
- ALL BOLTS, ANCHORS, ETC., INSERTED IN THE WALLS, SHALL BE GROUTED SOLID INTO POSITION.
- ALL HORIZONTAL REINFORCING (JOINT REINFORCING AND REBAR) SHALL STOP AT CONTROL JOINTS EXCEPT BOND BEAMS CONTINUOUS AT FLOORS AND ROOFS.
- REFER TO ARCHITECTURAL DRAWINGS FOR LOCATIONS AND DETAILS OF DOOR AND WINDOW OPENINGS FOR SPECIAL COURSING AND OTHER MASONRY DETAILS. THE INFORMATION SHOWN ON THE STRUCTURAL DRAWINGS IS INTENDED TO DEFINE THE STRUCTURAL REQUIREMENT ONLY.
- PROVIDE BOND BEAMS AT TOP AND BOTTOM OF OPENINGS (EXTEND MINIMUM OF 2'-0" PAST OPENING); TOP OF WALLS, FLOOR LINES, ROOF LINES, TOP OF PARAPETS, BELOW JOIST AND TRUSS BEARING, FLOOR AND ROOF DECK CONNECTIONS TO WALLS, AND WHERE JOIST, TRUSS, DECK, AND ETC. HAVE SLOPING BEARING ELEVATIONS, PROVIDE MULTIPLE BOND BEAMS. BOND BEAMS SHALL BE CONTINUOUS UNLESS NOTED OTHERWISE.
- IN SHEAR WALLS, PROVIDE VERTICAL WALL REINFORCING, SAME SIZE AS ADJACENT BEAR, AT CORNERS, ENDS, JAMBS, EACH SIDE OF OPENING, AND EACH SIDE OF CONTROL JOINTS.
- CONTINUE VERTICAL REINFORCING FLOOR TO FLOOR (OR ROOF) AND EXTEND TO TOP OF PARAPET.
- PROVIDE STANDARD HOOKS ON BARS TERMINATING INTO MASONRY FACE: IN WALLS AT OPENING, HEADS, JAMBS, EXPANSION JOINTS, ENDS IN BEAMS AT TOP, BOTTOM, AND ENDS.
- COORDINATE BLOCKOUTS, REVEALS, HOLES, OPENINGS, AND BUILT IN ITEMS WITH ALL CONTRACT DOCUMENTS AND TRADES.
- GROUT SOLID MASONRY AT BOND BEAMS, CELLS CONTAINING VERTICAL REINFORCING, PARTIAL HEIGHT COURSES BETWEEN BOND BEAMS AND JOIST, TRUSS, DECK, BEARING, BELOW BEAMS AND LINTELS FOR FULL HEIGHT OF WALL x 24" WIDE, COLUMNS & PILASTERS AND MASONRY BELOW FINISHED GRADE OR FINISHED FLOOR.
- SEE ARCHITECTURAL DRAWINGS FOR MOVEMENT JOINT LOCATIONS, UNLESS NOTED OTHERWISE.
- INTERIOR NON-LOAD BEARING MASONRY WALLS THAT ARE NOT LATEROALLY BRACED PER THE ABOVE NOTE SHALL BE REINFORCED WITH #5 BARS AT 48" O.C. FULL HEIGHT OF WALL AND DOWELED INTO THE THICKENED SLAB BELOW. COORDINATE LOCATIONS WITH THE GENERAL CONTRACTOR. THE REINFORCEMENT MAY BE OMITTED FOR 6" WALL LESS THAN 5'-0" HIGH, 8" WALLS LESS THAN 7'-0" HIGH, 10" WALLS LESS THAN 8'-6" HIGH AND 12" WALLS LESS THAN 7'-0" HIGH.
- NON-LOAD BEARING INTERIOR MASONRY WALLS THAT ARE NOT LATEROALLY BRACED AT OR NEAR THE TOP OF THE WALL SHALL BE REINFORCED AS FOLLOWS FOR CORRESPONDING WALL HEIGHTS (REINFORCEMENT SHALL BE CENTERED IN THE WALL):

6" WALLS:	
FOR WALLS UP TO 7'-4"	NO REINFORCEMENT REQUIRED
FOR WALLS 7'-4" TO 12'-0"	#6 @ 48" O.C. FULL HEIGHT
8" CMU:	
FOR WALLS UP TO 9'-4"	NO REINFORCEMENT REQUIRED
FOR WALLS 9'-4" TO 15'-4"	#6 @ 48" O.C. FULL HEIGHT
FOR WALLS OVER 15'-4"	#6 @ 40" O.C. FULL HEIGHT
- MASONRY WALLS ARE DESIGNED FOR IN PLACE LOADS. MASONRY CONTRACTOR SHALL PROVIDE ADEQUATE TEMPORARY BRACING OF WALLS UNTIL ALL CONNECTIONS ARE COMPLETE AND MORTAR AND GROUT HAVE CURED. NOTE THAT INTERIOR WALLS ARE NOT DESIGNED FOR EXTERIOR WIND LOADS SO CARE SHOULD BE TAKEN TO ADEQUATELY BRACE WALL FOR EXTERIOR WIND LOADS DURING CONSTRUCTION.

GENERAL REQUIREMENTS

- CONTRACTOR AGREES THAT CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF THE WORK, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD OWNER AND STRUCTURAL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF THE WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF OWNER OR STRUCTURAL ENGINEER.
- THE CONTRACT DOCUMENTS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INCLUDE THE METHOD OF CONSTRUCTION. CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO: BRACING, SHORING FOR LOADS DUE TO CONSTRUCTION EQUIPMENT, TEMPORARY STRUCTURES, AND PARTIALLY COMPLETED WORK. OBSERVATION VISITS TO THE SITE BY STRUCTURAL ENGINEER SHALL NOT INCLUDE INSPECTION OF THE ABOVE ITEMS.
- WOOLPERT ENGINEERING SHALL NOT HAVE CONTROL OVER OR CHARGE OF AND SHALL NOT BE RESPONSIBLE IN ANY WAY FOR CONSTRUCTION MEANS, METHODS TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR SAFETY OR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH ANY CONSTRUCTION ACTIVITIES, SINCE THESE ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY UNDER THE CONTRACT.
- WOOLPERT ENGINEERING SHALL NOT BE RESPONSIBLE FOR CONTRACTOR'S SCHEDULE OR FAILURES TO CARRY OUT ANY CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. WOOLPERT ENGINEERING SHALL NOT HAVE CONTROL OVER OR CHARGE OF CONTRACTOR, CONTRACTOR'S SCHEDULE OR ANY OF THEIR AGENTS, OR EMPLOYEES, OR ANY OTHER PERSONS PERFORMING PORTIONS OF ANY CONSTRUCTION ACTIVITIES.
- THE STRUCTURE IS STABLE ONLY IN ITS COMPLETED FORM. TEMPORARY SUPPORTS REQUIRED FOR STABILITY OF THE STRUCTURE DURING ALL INTERMEDIATE STAGES OF CONSTRUCTION SHALL BE DESIGNED AND PROVIDED BY THE CONTRACTOR.
- REFERENCE TO STANDARD SPECIFICATIONS OR CODES OF ANY TECHNICAL SOCIETY, ORGANIZATION, OR ASSOCIATION OR TO CODES OF LOCAL OR STATE AUTHORITIES, SHALL MEAN THE STANDARDS IN EFFECT AS OF THE DATE OF THE CONTRACT DOCUMENTS, UNLESS OTHERWISE NOTED.
- CONTRACT DOCUMENTS SHALL GOVERN IN THE EVENT OF A CONFLICT WITH STANDARD SPECIFICATIONS OF ANY TECHNICAL SOCIETY, ORGANIZATION, OR ASSOCIATION.
- NO PROVISION OF ANY REFERENCED STANDARD SPECIFICATION OR CODE, WITHIN OR NOT SPECIFICALLY INCORPORATED BY REFERENCE IN THE CONTRACT DOCUMENTS, SHALL BE EFFECTIVE TO CHANGE THE DUTIES AND RESPONSIBILITIES OF THE OWNER, ARCHITECT, STRUCTURAL ENGINEER, CONTRACTOR OR ANY OF THEIR CONSULTANTS, AGENTS, OR EMPLOYEES FROM THOSE SET FORTH IN THE CONTRACT DOCUMENTS, NOR SHALL IT BE EFFECTIVE TO ASSIGN TO STRUCTURAL ENGINEER OR ANY OF STRUCTURAL ENGINEER'S CONSULTANTS, AGENTS, OR EMPLOYEES ANY DUTY OR AUTHORITY TO SUPERVISE OR DIRECT THE FURNISHING OR PERFORMANCE IF THE WORK OR ANY DUTY OR AUTHORITY TO UNDERTAKE RESPONSIBILITIES CONTRARY TO THE PROVISIONS OF THE CONTRACT DOCUMENT.
- ALL OMISSIONS AND CONFLICTS WITHIN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK. WHEN THIS PROCEDURE IS NOT FOLLOWED, THE CONTRACTOR WILL BE RESPONSIBLE FOR CORRECTING IN-PLACE WORK WHEN THE ENGINEER DETERMINES THAT WORK TO BE INADEQUATE.
- CONTRACTOR SHALL VERIFY DIMENSIONS AND CONDITIONS AT THE JOB SITE. ANY DISCREPANCIES BETWEEN THE CONDITIONS FOUND AND THOSE INDICATED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- SEE DOCUMENTS FROM OTHER DISCIPLINES FOR FLOOR, WALL, AND ROOF OPENINGS, TRENCHES, PITS, PIPE SLEEVES, EQUIPMENT PADS, METAL PAN STAIRS, MISCELLANEOUS IRON, ETC.
- DO NOT PLACE PIPES, DUCTS, CHASES, ETC. IN STRUCTURAL BEAM AND COLUMN MEMBERS. DO NOT CUT ANY STRUCTURAL MEMBER FOR PIPES, DUCTS, ETC., UNLESS NOTED OTHERWISE. NOTIFY STRUCTURAL ENGINEER WHEN DOCUMENTS BY OTHER DISCIPLINES SHOW OPENINGS, POCKETS, ETC. NOT INDICATED IN THE STRUCTURAL DRAWINGS BUT ARE LOCATED IN THE STRUCTURAL MEMBERS. CONTRACTOR SHALL OBTAIN PRIOR APPROVAL FROM STRUCTURAL ENGINEER (EOR) FOR INSTALLATION OF SUCH PIPES, DUCTS, CHASES, ETC.
- DETAILS LABELED "TYPICAL" ON THE STRUCTURAL DRAWINGS APPLY TO ALL SITUATIONS OCCURRING ON PROJECT THAT ARE THE SAME OR SIMILAR TO THOSE LOCATIONS SPECIFICALLY INDICATED. WHERE A DETAIL IS NOT INDICATED, THE DETAIL SHALL BE THE SAME AS FOR OTHER SIMILAR CONDITIONS.
- CONTRACTOR TO VERIFY ALL WEIGHTS, LOCATIONS & DIMENSIONS OF MECHANICAL EQUIPMENT SHOWN, NOTIFY THE EOR OF DISCREPANCIES, AND COORDINATE THIS INFORMATION WITH ALL NECESSARY INDIVIDUALS.

SUBMITTALS

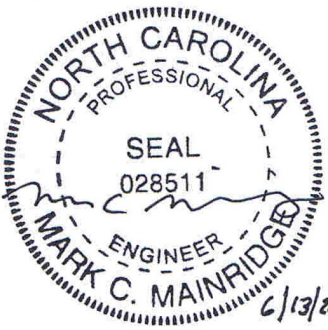
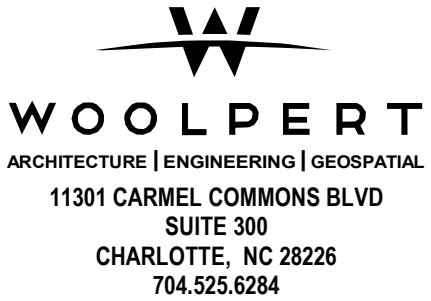
- SUBMITTALS PREPARED BY SUBCONTRACTORS SHALL BE REVIEWED BY CONTRACTOR PRIOR TO SUBMITTING TO ARCHITECT.
- WOOLPERT ENGINEERING ASSUMES NO RESPONSIBILITY FOR ANY MISUSE, MODIFICATION, OR MISREPRESENTATION OF ANY INFORMATION CONTAINED IN ANY ELECTRONIC MEDIA TRANSFERRED. WOOLPERT ENGINEERING SHALL BE HELD HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, OR COSTS ARISING OUT OF, OR RESULTING FROM THE USE OF SAID DOCUMENT(S). UTILIZATION OF THE ELECTRONIC DOCUMENTS IS AT RECIPIENT'S OWN RISK.
- CONTRACTOR SHALL VERIFY THE STRUCTURALLY SUPPORTED EQUIPMENT WEIGHTS, OPENING SIZES, AND LOCATIONS INDICATED ON THE STRUCTURAL DRAWINGS WITH DRAWINGS FROM OTHER DISCIPLINES AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS SHOWING SIZE, METHOD OF ANCHORAGE, WEIGHT, OPENINGS, AND LOCATIONS OF EQUIPMENT NOT INDICATED ON THE STRUCTURAL DRAWINGS PRIOR TO ORDERING FOR REVIEW BY STRUCTURAL ENGINEER TO DETERMINE ADEQUACY OF THE STRUCTURE.
- ALL SUBMITTALS REVIEWED BY STRUCTURAL ENGINEER ARE REVIEWED FOR GENERAL CONFORMANCE WITH THE DESIGN CONCEPT OF THE PROJECT AND GENERAL COMPLIANCE WITH THE INFORMATION INCLUDED IN THE CONTRACT DOCUMENTS. ANY ACTION INDICATED IS SUBJECT TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. CONTRACTOR IS RESPONSIBLE FOR CORRELATING PROCESSES AND TECHNIQUES OF CONSTRUCTION, AND COORDINATION OF THE WORK WITH THAT OF OTHER TRADES.
- ALL SUBMITTALS SHALL BE REVIEWED BY THE ENGINEER FOR COMPLIANCE AND CONFORMANCE TO THE CONTRACT DOCUMENTS. SUBMITTALS SHALL BE REVIEWED AND RETURNED WITHIN THE FOLLOWING PERIOD AFTER BEING RECEIVED BY THE ENGINEER:

STRUCTURAL STEEL	10 WORKING DAYS
REBAR	10 WORKING DAYS
CONCRETE MIX DESIGNS	10 WORKING DAYS
- CONTRACTOR DESIGNED ELEMENTS SHALL BE DESIGNED BY LICENSED PROFESSIONAL ENGINEERS REGISTERED IN THE STATE WHERE THE PROJECT IS LOCATED. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS, DESIGN LOAD DATA, SUPPORT REACTIONS, AND CERTIFICATION THAT ELEMENTS WERE DESIGNED FOR LOADS SPECIFIED IN THE CONTRACT DOCUMENTS OR IN THE BUILDING CODE. ALL DOCUMENTS NOTED SHALL BE SEALED BY THE LICENSED ENGINEER. IF CRITERIA INDICATED ARE NOT SUFFICIENT, SUBMIT A WRITTEN REQUEST FOR ADDITIONAL INFORMATION TO THE ARCHITECT. THE FOLLOWING ELEMENTS AND THEIR CONNECTIONS SHALL BE CONTRACTOR DESIGNED:

TRUSSES; (LIGHT GAUGE & WOOD)
STRUCTURAL STEEL CONNECTIONS NOT DETAILED OR SHOWN ON THE DRAWINGS.

STRUCTURAL ABBREVIATIONS

AB	ANCHOR BOLT	INCL	INCLUDE
ADDL	ADDITIONAL	INFO	INFORMATION
ADJ	ADJACENT	INS	INSULATION
AFF	ABOVE FINISH FLOOR	INT	INTERIOR
AHU	AIR HANDLING UNIT	JF	JOINT FILLER
ALT	ALTERNATE	JST	JOIST
APPROX	APPROXIMATE(LY)	JT	JOINT
ARCH	ARCHITECT/ARCHITECTURAL	K	KIP (OR 1000 POUNDS)
BRG	BRIDGING	KF	KIPS PER LINEAR FOOT
B/B	BACK TO BACK	LB, #	POUNDS
BL	BRICK LEDGE	LG	LEG
BLDG	BUILDING	LH	LEFT HAND
BM	BEAM	LL	LIVE LOAD
BOTT	BOTTOM	LLH	LONG LEG HORIZONTAL
BRG	BEARING	LLV	LONG LEG VERTICAL
BSMG	BASEMENT	LOC	LOCATION
BSMT	BASEMENT	LVL	LAMINATED VENEER LUMBER
C/C	CENTER TO CENTER	MATL	MATERIAL
C	COMPRESSION	MAU	MAKE-UP AIR UNIT
CA	CAISSON	MAX	MAXIMUM
CH	CHANNEL	MECH	MECHANICAL
CIP	CAST-IN-PLACE CONCRETE	MEP	MECHANICAL ELECTRICAL PLUMBING
CJ	CONTRACTION/CONSTRUCTION JOINT	MEZZ	MEZZANINE
CL	CENTER LINE	MFR	MANUFACTURER
CLG	CEILING	MIN	MINIMUM
CLR	CLEAR	MISC	MISCELLANEOUS
CM	CONSTRUCTION MANAGER	MO	MASONRY OPENING
CMU	CONCRETE MASONRY UNIT	MP	METAL PANEL
COL	COLUMN	MTL	METAL
CONC	CONCRETE	MTL	NOT APPLICABLE
CONF	CONFERENCE	NA	NOT IN CONTRACT
CONN	CONNECTION	NC	NUMBER
CONST	CONSTRUCTION	NO, #	NOMINAL
CONT	CONTINUE (D) (OUS)	NOM	NEAR SIDE
CONTR	CONTRACTOR	NS	NOT TO SCALE
COORD	COORDINATE	NTS	NORMAL WEIGHT CONCRETE
CTR	CENTER	NWC	ON CENTER
DBA	DEFORMED BAR ANCHOR	OC	OUTSIDE DIAMETER
DBL	DOUBLE	OD	OUTSIDE HAND
DET	DETAIL	OH	OPENING
DIA	DIAMETER	OPNG	PRECAST CONCRETE
DIAG	DIAGONAL	PC	PLATE
DIM	DIMENSION (S)	PL	POUNDS PER LINEAR FOOT
DL	DEAD LOAD	PLF	PLYWOOD
DPI	POUND PER PIER	PLYWD	PREFABRICATED
DWG	DRAWING	PREFAB	POUND PER SQUARE FOOT
DWL	DOWEL	PSF	POUND PER SQUARE INCH
EA	EACH	PSI	POST TENSIONED
ECC	ECCENTRICITY	PT	QUANTITY
EF	EACH FACE	QTY	RADIUS
EJ	EXPANSION JOINT	R	ROOF DRAIN
ELEV	ELEVATION	RD	REFERENCE
EOD	EDGE OF DECK	REF	REINFORCE (D)
EOR	ENGINEER OF RECORD	REINF	REQUIRE (D)
EOS	EDGE OF SLAB	REQ	REVISED/REVISION
EQ	EQUAL	REV	RIGHT HAND
EQUIP	EQUIPMENT	RH	ROOF TOP UNIT
EW	EACH WAY	RTU	SCHEDULE
EWEF	EACH WAY EACH FACE	SCHED	SECTION
EXCAV	EXCAVATE	SECT	SQUARE FOOT
EXIST	EXISTING	SF	SHEET
EXP	EXPANSION	SHT	SIMILAR
EXT	EXTERIOR	SIM	SNOW LOAD
F/F	FACE TO FACE	SL	SLAB ON GRADE
FAB	FABRICATOR	SOG	SPECIFICATION
FD	FLOOR DRAIN	SPEC	STAINLESS STEEL
FDN	FOUNDATION	SS	STANDARD
FF	FINISHED FLOOR	STD	STEEL
FL	FLOOR	STL	STRUCTURAL
FOC	FACE OF CONCRETE	STRUCT	TOP AND BOTTOM
FOW	FACE OF WALL	T&B	TONGUE AND GROVE
FP	FIREPROOFING	T&G	TOP OF
FS	FAR SIDE	T/	TENSION
FT	FEET OR FOOT	TCX	TOP CHORD EXTENSION
FTG	FOOTING	TD	TRENCH DRAIN
GA	GAUGE	THK	THICK
GALV	GALVANIZED	TYP	TYPICAL
GB	GRADE BEAM	V	SHEAR
GC	GENERAL CONTRACTOR	UNO	UNLESS NOTED OTHERWISE
GEN	GENERAL	VERT	VERTICAL
GL	GLUE LAMINATE TIMBER	VIF	VERIFY IN FIELD
GR	GRADE	W/	WITH
GYP	GYPSUM	W/O	WITHOUT
HOR	HORIZONTAL	WD	WOOD
HK	HOOK	WP	WORK POINT
HRD BD	HARD BOARD	WS	WATERSTOP
HS	HEADED STUD	WT	WEIGHT
HT	HEIGHT	WWR	WELDED WIRE REINFORCEMENT
ID	INSIDE DIAMETER		
IN, "	INCH OR INCHES		



ISSUANCE SCHEDULE

NUMBER	DATE	DESCRIPTION
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CITY OF CONCORD
J.E. "JIM" RAMSEUR PARK
DESIGN DEVELOPMENT DRAWINGS

PROJECT NO:	081197
DATE ISSUED:	06/15/2023
DESIGNED BY:	DM
DRAWN BY:	LB
CHECKED BY:	MM

SHEET NAME:
STRUCTURAL GENERAL
NOTES

SHEET NO:

S-002

SPECIAL INSPECTIONS

1. SPECIAL INSPECTIONS SHALL BE IN ACCORDANCE WITH CHAPTER 17 OF THE BUILDING CODE AND CHAPTER N OF AISC 360-10. (SEE INCLUDED TABLES AND NOTE 4. FOR SPECIAL INSPECTION REQUIREMENTS)
2. SPECIAL INSPECTION REPORTS SHALL BE FURNISHED TO BUILDING OFFICIAL, OWNER, ARCHITECT, STRUCTURAL ENGINEER, AND CONTRACTOR. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE CONTRACTOR, AND IF NOT CORRECTED, SHALL BE REPORTED TO BUILDING OFFICIAL, OWNER, ARCHITECT, AND STRUCTURAL ENGINEER.
3. THE SPECIAL INSPECTOR SHALL SUBMIT A FINAL REPORT STATING THAT THE STRUCTURAL WORK WAS TO THE BEST OF THE SPECIAL INSPECTOR'S KNOWLEDGE, PERFORMED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
4. THE FOLLOWING TYPES OF WORK REQUIRE SPECIAL INSPECTIONS: (REFER TO THE BUILDING CODE AND SPECIFICATIONS FOR DETAILED INSPECTION REQUIREMENTS.)

STEEL CONSTRUCTION

MASONRY CONSTRUCTION

WOOD CONSTRUCTION

CONCRETE CONSTRUCTION

SOILS

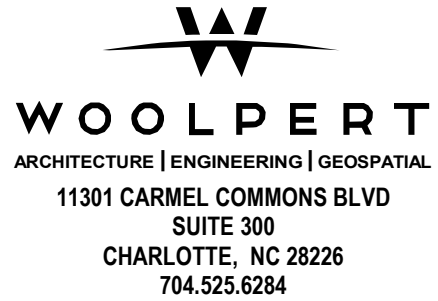
REQUIRED VERIFICATION AND INSPECTION OF CONCRETE CONSTRUCTION				
VERIFICATION AND INSPECTION	CONTINUOUS	PERIODIC	REFERENCED STANDARD	IBC REFERENCED
1. INSPECTIONN OF REINFORCING STEEL, INCLUDING PRESTRESSING TENDONS, AND PLACEMENT.	-	X	ACI 318: 3.5, 7.1-7.7	1910.4
2. INSPECTION OF REINFORCING STEEL WELDING IN ACCORDANCE WITH TABLE 1705.2.2, ITEM 2b.	-	X	AWS D1.4 ACI 318: 3.5.2	-
3. INSPECTION OF ANCHORS CAST IN CONCRETE WHERE ALLOWABLE LOADS HAVE BEEN INCREASED OR WHERE STRENGTH DESIGN IS USED.	-	X	AIC 318: 8.1.3, 21.2.8	1908.5, 1909.1
4. INSPECTION OF ANCHORS POST-INSTALLED IN HARDENED CONCRETE MEMBERS.	-	X	ACI 318: 3.8.6, 8.1.3, 21.2.8	1909.1
5. VERIFYING USE OF REQUIRED DESIGN MIX.	-	X	ACI 318: CH 4, 5.2-5.4	1904.2, 1910.2, 1910.3
6. AT THE TIME FRESH CONCRETE IS SAMPLED TO FABRICATE SPECIMENS FOR STRENGTH TESTS, PERFORM SLUMP AND AIR CONTENT TESTS, AND DETERMINE THE TEMPERATURE OF THE CONCRETE.	X	-	ASTM C 172, ASTM C 31, ACI 318: 5.6, 5.8	1910.10
7. INSPECTION OF CONCRETE AND SHOTCRETE PLACEMENT FOR PROPER APPLICATION TECHNIQUES.	X	-	ACI 318: 5.9, 5.10	1910.6, 1910.7, 1910.8
8. INSPECTION FOR MAINTENANCE OF SPECIFIED CURING TEMPERATURE AND TECHNIQUES.	-	X	ACI 318: 5.11-5.13	1910.9
9. INSPECTION OF PRESTRESSED CONCRETE: <div>a. APPLICATION OF PRESTRESSING FORCES.</div> <div>b. GROUTING OF BONDED PRESTRESSING TENDONS IN THE SEISMIC FORCE-RESISTING SYSTEM.</div>	X X	-	ACI 318: 18.20 ACI 318: 18.18.4	-
10. ERECTION OF PRECAST CONCRETE MEMBERS.	-	X	ACI 318: CH 16	-
11. VERIFICATION OF IN-SITU CONCRETE STRENGTH, PRIOR TO STRESSING OF TENDONS IN POST-TENSIONED CONCRETE AND PRIOR TO REMOVAL OF SHORES AND FORMS FROM BEAMS AND STRUCTURAL SLABS.	-	X	ACI 318: 6.2	-
12. INSPECT FORMWORK FOR SHAPE, LOCATION AND DIMENSIONS OF THE CONCRETE MEMBER BEING FORMED.	-	X	ACI 318: 6.1.1	-

- NOTES:
1. WHERE APPLICABLE, SEE ALSO SECTION 1705.11, SPECIAL INSPECTIONS FOR SEISMIC RESISTANCE.
2. SPECIFIC REQUIREMENTS FOR SPECIAL INSPECTION SHALL BE INCLUDED IN THE RESEARCH REPORT FOR THE ANCHOR ISSUED BY AN APPROVED SOURCE IN ACCORDANCE WITH ACI 355.2 OR OTHER QUALIFICATION PROCEDURES. WHERE SPECIFIC REQUIREMENTS ARE NOT PROVIDED, SPECIAL INSPECTION REQUIREMENTS SHALL BE SPECIFIED BY THE REGISTERED DESIGN PROFESSIONAL AND SHALL BE APPROVED BY THE BUILDING OFFICIAL PRIOR TO THE COMMENCEMENT OF THE WORK.

REQUIRED SPECIAL INSPECTIONS AND TESTS OF SOILS		
VERIFICATION AND INSPECTION	CONTINUOUS	PERIODIC
1. VERIFY MATERIALS BELOW SHALLOW FOUNDATIONS ARE ADEQUATE TOACHIEVE DESIGN BEARING CAPACITY.	-	X
2. VERIFY EXCAVATIONS ARE EXTENDED TO PROPER DEPTH AND HAVE REACHED PROPER MATERIAL.	-	X
3. PERFORM CLASSIFICATION AND TESTING OF COMPACTED FILL MATERIALS.	-	X
4. VERIFY USE OF PROPER MATERIALS, DENSITIES AND LIFT THICKNESSES DURING PLACEMENT AND COMPACTION OF CONTROLLED FILL.	X	-
5. PRIOR TO PLACEMENT OF CONTROLLED FILL, OBSERVE SUBGRADE AND VERIFY THAT SITE HAS BEEN PREPARED PROPERLY.	-	X

LEVEL B SPECIAL INSPECTION - MASONRY				
MINIMUM TESTS				
VERIFICATION OF SLUMP FLOW AND VISUAL STABILITY INDEX (VSI) AS DELIVERED TO THE PROJECT SITE IN ACCORDANCE WITH ARTICLE 1.5B.1.b.3 FOR SELF CONSOLIDATING GROUT.				
VERIFICATION OF fm AND fAAC IN ACCORDANCE WITH ARTICLE 1.4B PRIOR TO CONSTRUCTION EXCEPT WHERE SPECIFICALLY EXEMPTED BY THE CODE.				
MINIMUM INSPECTION				
VERIFICATION	FREQUENCY		REFERENCED FOR CRITERIA	
	CONTINUOUS	PERIODIC	TMS 402/ ACI 530/ ASCE 5	TMS 602/ ACI 530.1/ ASCE 6
1. VERIFY COMPLIANCE WITH THE APPROVED SUBMITTALS.		X		ART 1.5
2. AS MASONRY CONSTRUCTION BEGINS, VERIFY THAT THE FOLLOWING ARE IN COMPLIANCE.				
a. PROPORTIONS OF SITE PREPARED MORTAR.		X		ART 2.1, 2.6A
b. CONSTRUCTION OF MORTAR JOINTS.		X		ART 3.3B
c. GRADE AND SIZE OF PRESTRESSING TENDONS AND ANCHORAGES.		X		ART 2.4B, 2.4H
d. LOCATION OF REINFORCEMENT, CONNECTORS AND PRESTRESSING TENDONS AND ANCHORAGES.		X		ART 3.4B, 3.6A
e. PRESTRESSING TECHNIQUE.		X		ART 3.6B
f. PROPERTIES OF THIN-BED MORTAR FOR AAC MASONRY.	X (3)	X (3)		ART 2.1C
3. PRIOR TO GROUTING, VERIFY THAT THE FOLLOWING ARE IN COMPLIANCE:				
a. GROUT SPACE.		X		ART 3.2D, 3.2F
b. GRADE, TYPE, AND SIZE OF REINFORCEMENT AND ANCHOR BOLTS, AND PRESTRESSING TENDONS AND ANCHORAGES.		X	SEC 1.16	ART 2.4, 3.4
c. PLACEMENT OF REINFORCEMENT,CONNECTORS, AND PRESTRESSING TENDONS AND ANCHORAGES.		X	SEC 1.16	ART 3.2E, 3.4, 3.6F
d. PLACEMENT OF REINFORCEMENT,CONNECTORS, AND PRESTRESSING TENDONS AND ANCHORAGES.		X		ART 2.6B, 2.4G.1.b
e. CONSTRUCTIONS OF MORTAR JOINTS.		X		ART 3.3B
4. VERIFY DURING CONSTRUCTION:				
a. SIZE AND LOCATION OFSTRUCTURAL ELEMENTS.		X		ART 3.3F
b. TYPE, SIZE AND LOCATION OF ANCHORS INCLUDING OTHER DETAILS OF ANCHORAGE OF MASONRY TO STRUCTURAL MEMBERS, FRAMES OR OTHER CONSTRUCTION.		X	SEC 1.16.4.3, 1.17.1	
c. WELDING OF REINFORCEMENT.	X		SEC 2.1.8.7.2, 3.3.3.4(c), 8.3.3.4(b)	
d. PREPARATION, CONSTRUCTION AND PROTECTION OF MASONRY DURING COLD WEATHER (TEMPERATURE BELOW 40°F (4.4°C)) OR HOT WEATHER (TEMPERATURE ABOVE 90°F (32.2°C)).		X		ART 1.8C, 1.8D
e. APPLICATION AND MEASUREMENT OF PRESTRESSING FORCE.	X			ART 3.6B
f. PLACEMENT OF GROUT AND PRESTRESSING GROUT FOR BONDED TENDONS IS IN COMPLIANCE.	X			ART 3.5, 3.6C
g. PLACEMENTOF ACC MASONRY UNITS AND CONSTRUCTIONS OF THIN BED MORTAR JOINTS.	X (2)	X (3)		ART 3.3B.8
5. OBSERVE/ PREPARATION OF GROUT SPECIMENS, MORTAR SPECIMENS AND/ OR PRISMS.		X		ART 1.4B.2a.3, 1.4B.2b.3, 1.4B.2c.3, 1.4B.3.1.4B.4

- NOTES:
1. FREQUENCY REFERS TO THE FREQUENCY OF INSPECTION, WHICH MAY BE CONTINUOUS DURING THE TASK LISTED OR PERIODICALLY DURING THE LISTED TASK, AS DEFINED IN THE TABLE.
2. REQUIRED FOR THE FIRST 5,000 SQUARE FEET (465 SQUARE METERS) OF AAC MASONRY.
3. REQUIRED AFTER THE FIRST 5,000 SQUARE FEET (465 SQURE METERS) OF AAC MASONRY.



ISSUANCE SCHEDULE

DESCRIPTION

DATE

NUMBER

C

B

A

E

D

C

B

A

CITY OF CONCORD
J.E. "JIM" RAMSEUR PARK
DESIGN DEVELOPMENT DRAWINGS

1252 COX MILL ROAD
CONCORD, NC 28027

PROJECT NO: 081197
DATE ISSUED: 06/15/2023
DESIGNED BY: DM
DRAWN BY: LB
CHECKED BY: MM

SHEET NAME:
SPECIAL INSPECTION

SHEET NO:

S-003

REQUIRED VERIFICATION AND INSPECTION OF STRUCTURAL STEEL INSPECTION TASKS PRIOR TO WELDING		
REFERENCED STANDARD: AISC 360 2013 TABLE N5.4-1		
INSPECTION TASKS PRIOR TO WELDING	QC	QA
WELDING PROCEDURE SPECIFICATIONS (WPSs) AVAILABLE.	P	P
MANUFACTURER CERTIFICATIONS FOR WELDING CONSUMABLES AVAILABLE.	P	P
MATERIAL IDENTIFICATION (TYPE/ GRADE).	O	O
WELDER IDENTIFICATION SYSTEM.	O	O
FIT-UP OF GROOCE WELDS (INCLUDING JOINT GEOMETRY): * JOINT PREPARATION * DIMENSIONS (ALIGNMENT, ROOF OPENING, ROOT FACE, BEVEL) * CLEANLINESS (CONDITION OF STEEL SURFACES) * TACKING (TACK WELD QUALITY AND LOCATION) * PREHEAT APPLIED * BACKING TYPE AND FIT (IF APPLICABLE)	O	O
CONFIGURATION AND FINISH OF ACCESS HOLES.	O	O
FIT-UP OF FILLET WELDS: * JOINT PREPARATION * DIMENSIONS (ALIGNMENT, ROOT OPENING, ROOT FACE, BEVEL) * CLEANLINESS (CONDITION OF STEEL SURFACES) * TACKING (TACK WELD QUALITY AND LOCATION)	O	O
CHECK WELDING EQUIPMENT.	O	-

NOTES:
1. O - OBSERVE THESE ITEMS ON A RANDOM BASIS. OPERATIONS NEED NOT BE DELAYED PENDING THESE INSPECTIONS..
2. P - PERFORM THESE TASKS FOR EACH WELDEDJOINT OR MEMBER
3. THE FABRICATOR OR ERECTOR, AS APPLICABLE, SHALL MAINTAIN A SYSTEM BY WHICH A WELDER WHO HAS WELDED A JOINT OR MEMBED CAN IDENTIFIED, STAMP, IF USED, SHALL BE LOW-STRESS TYPE.

REQUIRED VERIFICATION AND INSPECTION OF STRUCTURAL STEEL INSPECTION TASKS DURING WELDING		
REFERENCED STANDARD: AISC 360 2013 TABLE N5.4-2		
INSPECTION TASKS DURING WELDING	QC	QA
USE OF QUALIFIED WELDERS.	O	O
CONTROL AND HANDLING OF WELDING CONSUMABLES: * PACKAGING * EXPOSURE CONTROL	O	O
NO WELDING OVER CRACKED TACK WELDS.	O	O
ENVIRONMENTAL CONDITIONS: * WIND SPEED WITHIN LIMITS * PRECIPITATION AND TEMPERATURE	O	O
WPS FOLLOWED: * SETTINGS ON WELDING EQUIPMENT * TRAVEL SPEED * SELECTED WELDING MATERIALS * SHIELDING GAS TYPE/ FLOW RATE * PREHEAT APPLIED * INTERPASS TEMPERATURE MAINTAINED (MIN/ MAX) * PROPER POSITION (F,V, H, OH)	O	O
WELDING TECHNIQUES: * INTERPASS AND FINAL CLEANING * EACH PASS WITHIN PROFILE LIMITATIONS * EACH PASS MEETS QUALITY REQUIREMENTS	O	O

NOTES:
1. O - OBSERVE THESE ITEMS ON A RANDOM BASIS. OPERATIONS NEED NOT BE DELAYED PENDING THESE INSPECTIONS..
2. P - PERFORM THESE TASKS FOR EACH WELDEDJOINT OR MEMBER.

REQUIRED VERIFICATION AND INSPECTION OF STRUCTURAL STEEL INSPECTION TASKS AFTER WELDING		
REFERENCED STANDARD: AISC 360 2013 TABLE N5.4-3		
INSPECTION TASKS PRIOR TO WELDING	QC	QA
WELDS CLEANED.	O	O
SIZE, LENGTH AND LOCATION OF WELDS.	P	P
WELDS MEET VISUAL ACCEPTANCE CRITERIA: * CRACK PROHIBITAON * WELD/BASE METAL FUSION * CRATER CROSS SECTION * WELD PROFILES * UNDERCUT * PROSITY	P	P
ARC STRIKES	P	P
k AREA	P	P
BACKING REMOVED AND WELD TABS REMOVED (IF REQUIRED)	P	P
REPAIR ACTIVITIES	P	P
DOCUMENT ACCEPTANCE OR REJECTION OF WELDED JOINT OR MEMBER	P	P

NOTES:
1. O - OBSERVE THESE ITEMS ON A RANDOM BASIS. OPERATIONS NEED NOT BE DELAYED PENDING THESE INSPECTIONS..
2. P - PERFORM THESE TASKS FOR EACH WELDEDJOINT OR MEMBER.

REQUIRED VERIFICATION AND INSPECTION TASKS PRIOR TO BOLTING		
REFERENCED STANDARD: AISC 360 2013 TABLE N5.6-1		
INSPECTION TASKS PRIOR TO BOLTING	QC	QA
MANUFACTURER'S CERTIFICATIONS AVAILABLE FOR FASTENER MATERIALS.	O	P
FASTENERS MARKED IN ACCORDANCE WITH ASTM REQUIREMENTS.	O	O
PROPER FASTENERS SELECTED FOR THE JOINT DETAIL (GRADE, TYPE, BOLT LENGTH IF THREADS ARE TO BE EXCLUDED FROM SHEAR PLANE).	O	O
PROPER BOLTING PROCEDURE SELECTED FOR JOINT DETAIL.	O	O
CONNECTING ELEMENTS, INCLUDING THE APPROPRIATE FAYING SURFACE CONDITION AND HOLE PREPARATION, IF SPECIFIED, MEET APPLICABLE REQUIREMENTS.	O	O
PREINSTALLATION VERIFICATIONTESTING BY INSTALLATION PERSONNEL OBSERVED AND DOCUMENTED FOR FASTENER ASSEMBLIES AND METHODS USED.	P	O
PROPER STORAFE PROVIDED FOR BOLTS, NUTS, WASHERS AND OTHER FASTENER COMPONENTS.	O	O

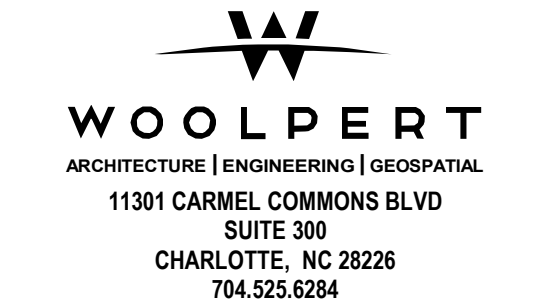
NOTES:
1. O - OBSERVE THESE ITEMS ON A RANDOM BASIS. OPERATIONS NEED NOT BE DELAYED PENDING THESE INSPECTIONS..
2. P - PERFORM THESE TASKS FOR EACH WELDEDJOINT OR MEMBER.

REQUIRED VERIFICATION AND INSPECTION TASKS DURING BOLTING		
REFERENCED STANDARD: AISC 360 2013 TABLE N5.6-2		
INSPECTION TASKS DURING BOLTING	QC	QA
FASTENER ASSEMBLIES, OF SUITABLE CONDITION, PLACED IN ALL HOLES AND WASHERS (IF REQUIRED) ARE POSITIONED AS REQUIRED.	O	O
JOINT BROUGHT TO THE SNUG-TIGHT CONDITION PRIOR TO THE PRETENSIONING OPERATION.	O	O
FASTENER COMPONENT NOT TURNED BY THE WRENCH PREVENTED FROM ROTATING.	O	O
FASTENERS ARE PRETENSIONED IN ACCORDANCE WITH THE RCSC SPECIFICATION, PROGRESSING SYSTEMATICALLY FROM THE MOST RIGID POINT TOWARD THE FREE EDGES.	O	O

NOTES:
1. O - OBSERVE THESE ITEMS ON A RANDOM BASIS. OPERATIONS NEED NOT BE DELAYED PENDING THESE INSPECTIONS..
2. P - PERFORM THESE TASKS FOR EACH WELDEDJOINT OR MEMBER.

REQUIRED VERIFICATION AND INSPECTION DURING BOLTING		
REFERENCED STANDARD: AISC 360 2013 TABLE N5.6-3		
INSPECTION TASKS DURING BOLTING	QC	QA
DOCUMENT ACCEPTANCE OF REJECTION OF BOLTED CONNECTIONS.	P	P

NOTES:
1. O - OBSERVE THESE ITEMS ON A RANDOM BASIS. OPERATIONS NEED NOT BE DELAYED PENDING THESE INSPECTIONS.
2. P - PERFORM THESE TASKS FOR EACH WELDEDJOINT OR MEMBER.



ISSUANCE SCHEDULE

NUMBER DATE DESCRIPTION

CITY OF CONCORD
J.E. "JIM" RAMSEUR PARK
DESIGN DEVELOPMENT DRAWINGS

1252 COX MILL ROAD
CONCORD, NC 28027

PROJECT NO: 081197
DATE ISSUED: 06/15/2023
DESIGNED BY: DM
DRAWN BY: LB
CHECKED BY: MM

SHEET NAME:
SPECIAL INSPECTION

SHEET NO:

S-004

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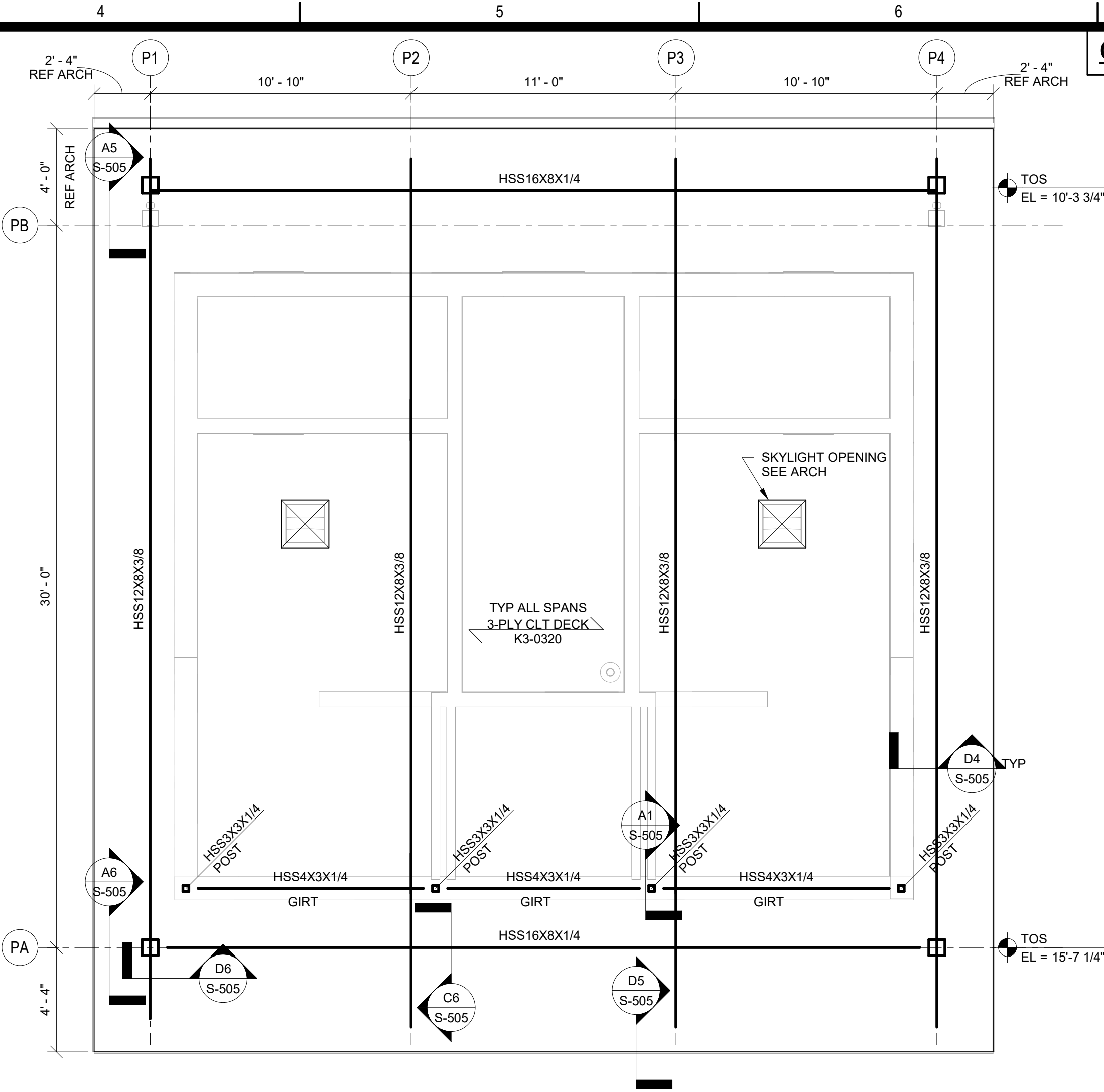
Autodesk Docs://JE Ramsey Park/ W_081197_JE Ramsey Park - Pickleball Restroom_STR_R22.rvt

C1 PICKLEBALL - FOUNDATION PLAN
1/4" = 1'-0"

FOOTING SCHEDULE					f _c = 4000 f _s = 2000
MARK	SIZE	LONG REINF BARS	SHORT REINF BARS	REMARKS	
F5	5'-0"x5'-0"x1'-3"	(5) #6 BARS TOP & BOTTOM	(5) #6 BARS TOP & BOTTOM		

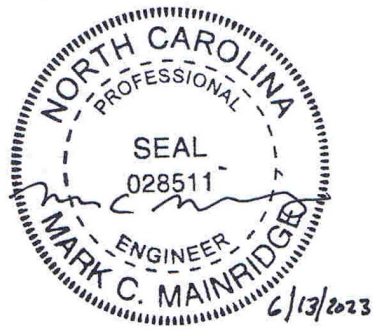
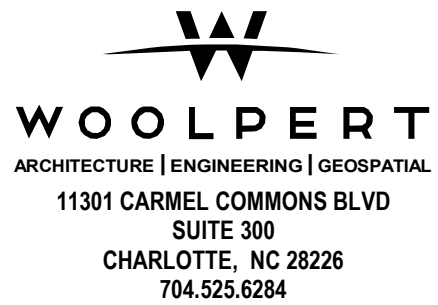
PIER SCHEDULE					
MARK	PIER SIZE B x N	VERTICAL REIN	REIN DETAIL	PIER TIES	TOP OF PIER ELEV
P1	24" x 24"	(8) #6	D6 / S-501	#4 @ 10"	1'-8"
P2	24" x 24"	(8) #6	B1 / S-501	#4 @ 10"	1'-8"

C4 PICKLEBALL - ROOF FRAMING PLAN
1/4" = 1'-0"



GENERAL NOTES:

- ALL BEAM OVERHANGS WILL HAVE A 30° CHAMFER AT THE ENDS STARTING 4" FROM THE TOP OF THE BEAM AS SEEN IN ARCH.
- THE BEAMS, IN THE DIRECTION OF THE ROOF SLOPE, SHALL TERMINATE 8" SHORT OF THE END OF THE CLT PANEL EXTENTS.
- REFERENCE ARCH DRAWINGS FOR ELEVATIONS.



ISSUANCE SCHEDULE

NUMBER DATE DESCRIPTION

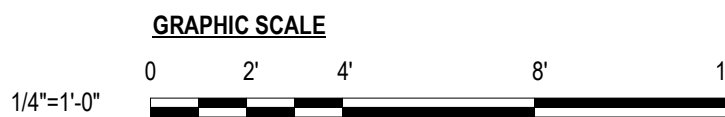
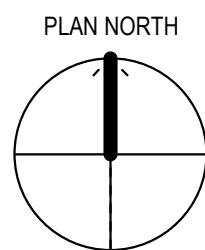
CITY OF CONCORD
J.E. "JIM" RAMSEUR PARK
PARKS & RECREATION DEPARTMENT
PICKLEBALL RESTROOM
1252 COX MILL ROAD
CONCORD, NC 28027

PROJECT NO: 081197
DATE ISSUED: 06/15/2023
DESIGNED BY: DM
DRAWN BY: LB
CHECKED BY: MM

SHEET NAME:
PICKLEBALL RESTROOM
FOUNDATION AND ROOF
FRAMING PLAN

SHEET NO:

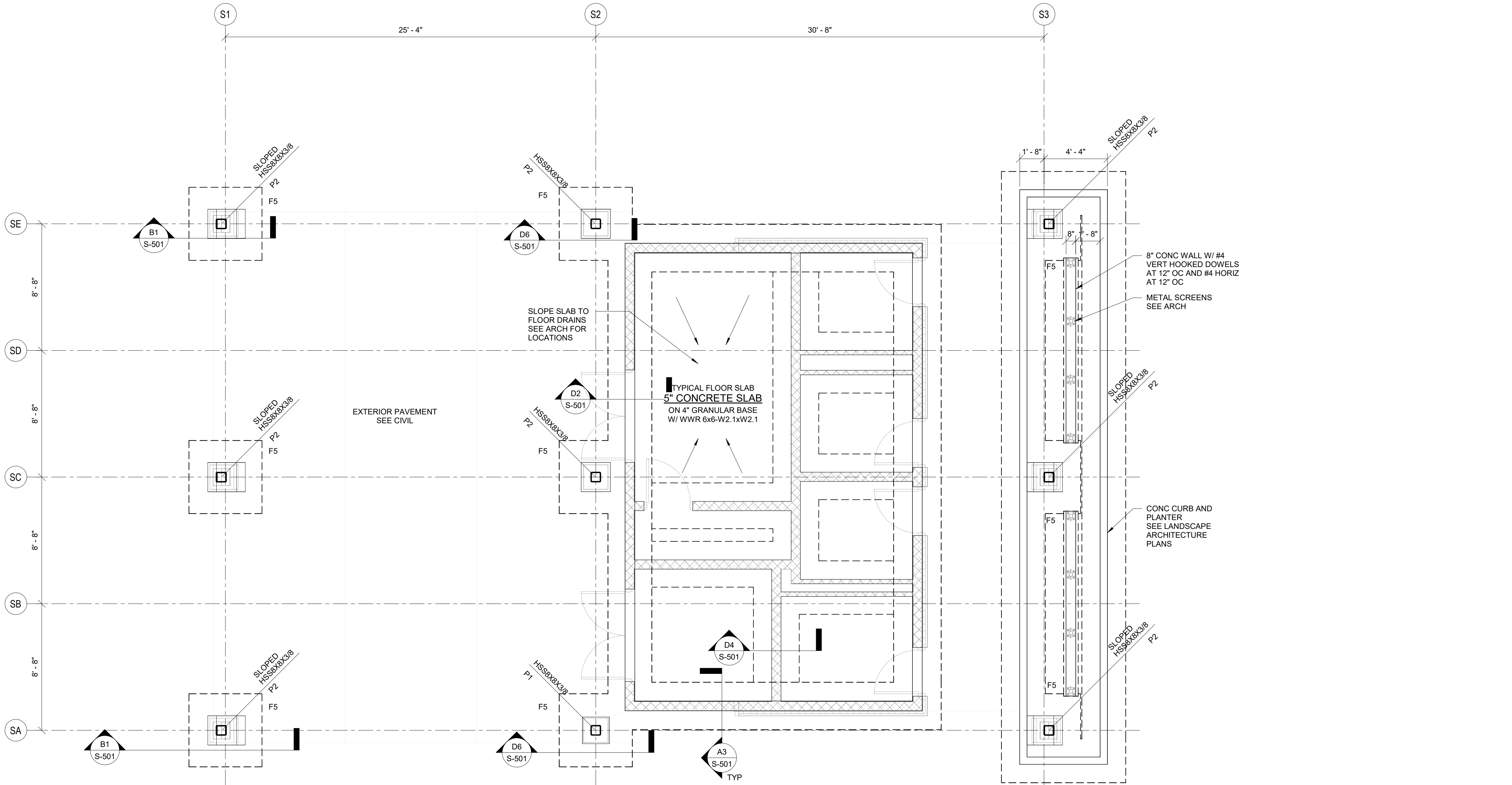
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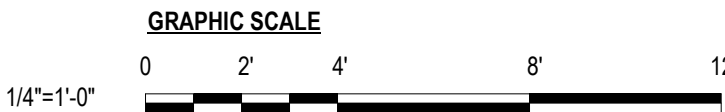
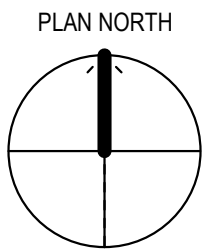
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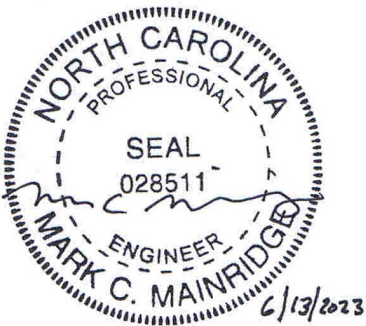
B1 SPLASHPAD PAVILION - FOUNDATION PLAN
1/4" = 1'-0"

FOOTING SCHEDULE					f _c = 4000 f _s = 2000
MARK	SIZE	LONG REINF BARS	SHORT REINF BARS	REMARKS	
F5	5'-0"x5'-0"x1'-3"	(5) #6 BARS TOP & BOTTOM	(5) #6 BARS TOP & BOTTOM		

PIER SCHEDULE					
MARK	PIER SIZE B x N	VERTICAL REIN	REIN DETAIL	PIER TIES	TOP OF PIER ELEV
P1	22" x 22"	(8) #6	D6 / S-501	#6 @ 10"	2' - 4"
P2	24" x 24"	(8) #6	B1 / S-501	#4 @ 10"	1' - 8"



WOOLPERT
ARCHITECTURE | ENGINEERING | GEOSPATIAL
11301 CARMEL COMMONS BLVD
SUITE 300
CHARLOTTE, NC 28226
704.525.6284



ISSUANCE SCHEDULE

NUMBER DATE DESCRIPTION

CITY OF CONCORD
J.E. "JIM" RAMSEUR PARK
DESIGN DEVELOPMENT DRAWINGS
SPLASHPAD PAVILION
1252 COX MILL ROAD
CONCORD, NC 28027

PROJECT NO: 081197
DATE ISSUED: 06/15/2023
DESIGNED BY: DM
DRAWN BY: LB
CHECKED BY: MM

SHEET NAME:
SPLASHPAD PAVILION -
FOUNDATION PLAN

SHEET NO:

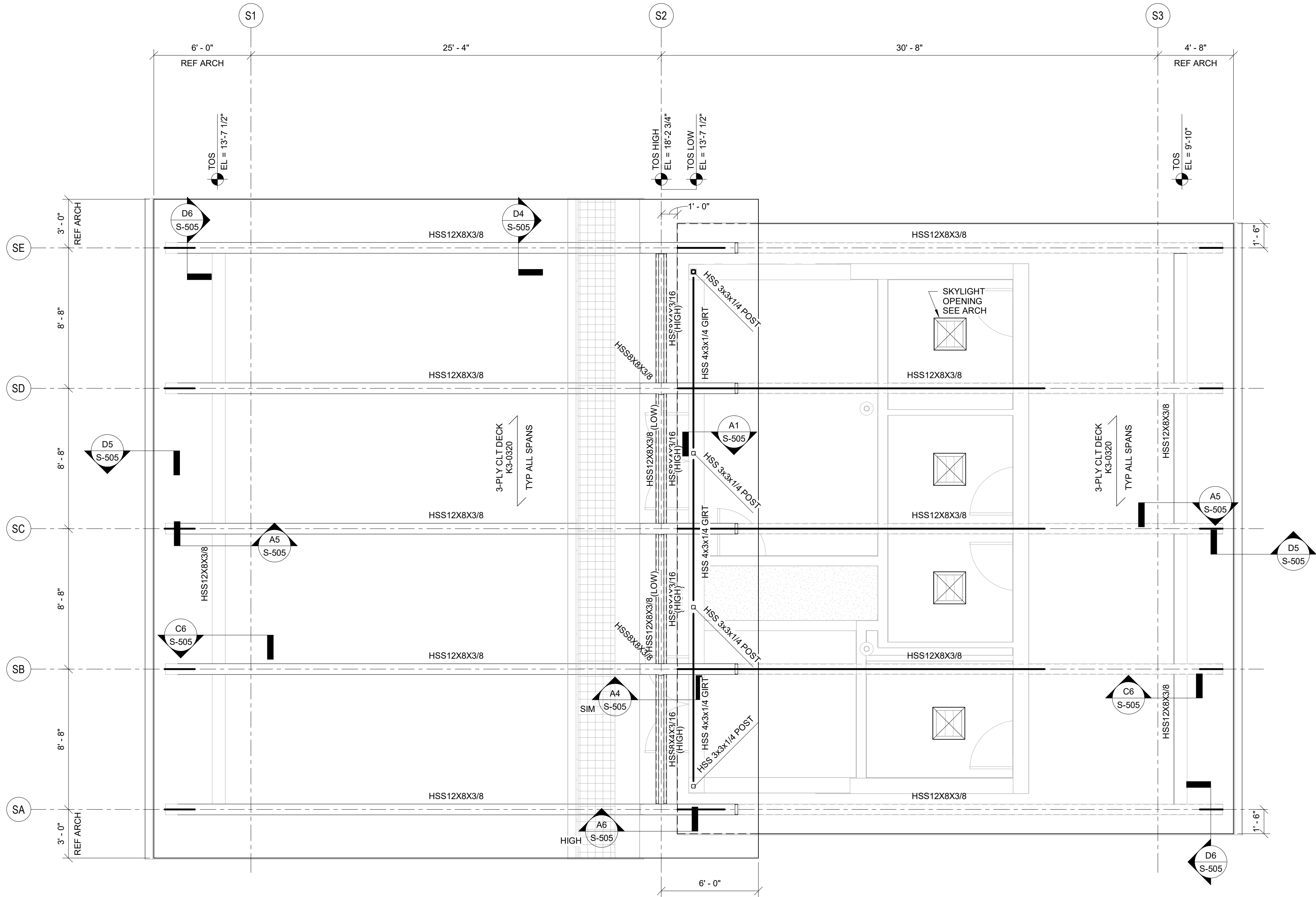
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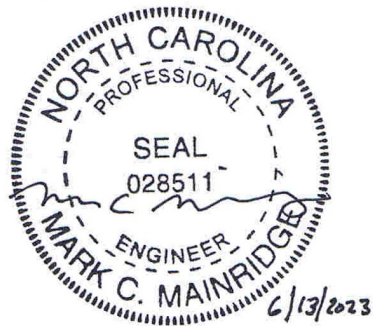
B1 SPLASHPAD PAVILION - ROOF FRAMING PLAN
1/4" = 1'-0"



GENERAL NOTES:

- ALL BEAM OVERHANGS WILL HAVE A 30° CHAMFER AT THE ENDS STARTING 4" FROM THE TOP OF THE BEAM AS SEEN IN ARCH.
- THE BEAMS, IN THE DIRECTION OF THE ROOF SLOPE, SHALL TERMINATE 8" SHORT OF THE END OF THE CLT PANEL EXTENTS.
- REFERENCE ARCH DRAWINGS FOR ELEVATIONS.

WOOLPERT
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SUITE 300
CHARLOTTE, NC 28226
704.525.6284



ISSUANCE SCHEDULE

NUMBER	DATE	DESCRIPTION
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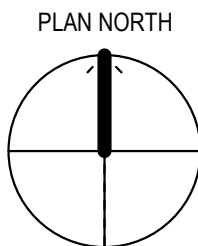
CITY OF CONCORD
J.E. "JIM" RAMSEUR PARK
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1252 COX MILL ROAD
CONCORD, NC 28027

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DRAWN BY: LB
CHECKED BY: MM

SHEET NAME:
SPLASHPAD PAVILION -
ROOF FRAMING PLAN

SHEET NO:

S-102-SP

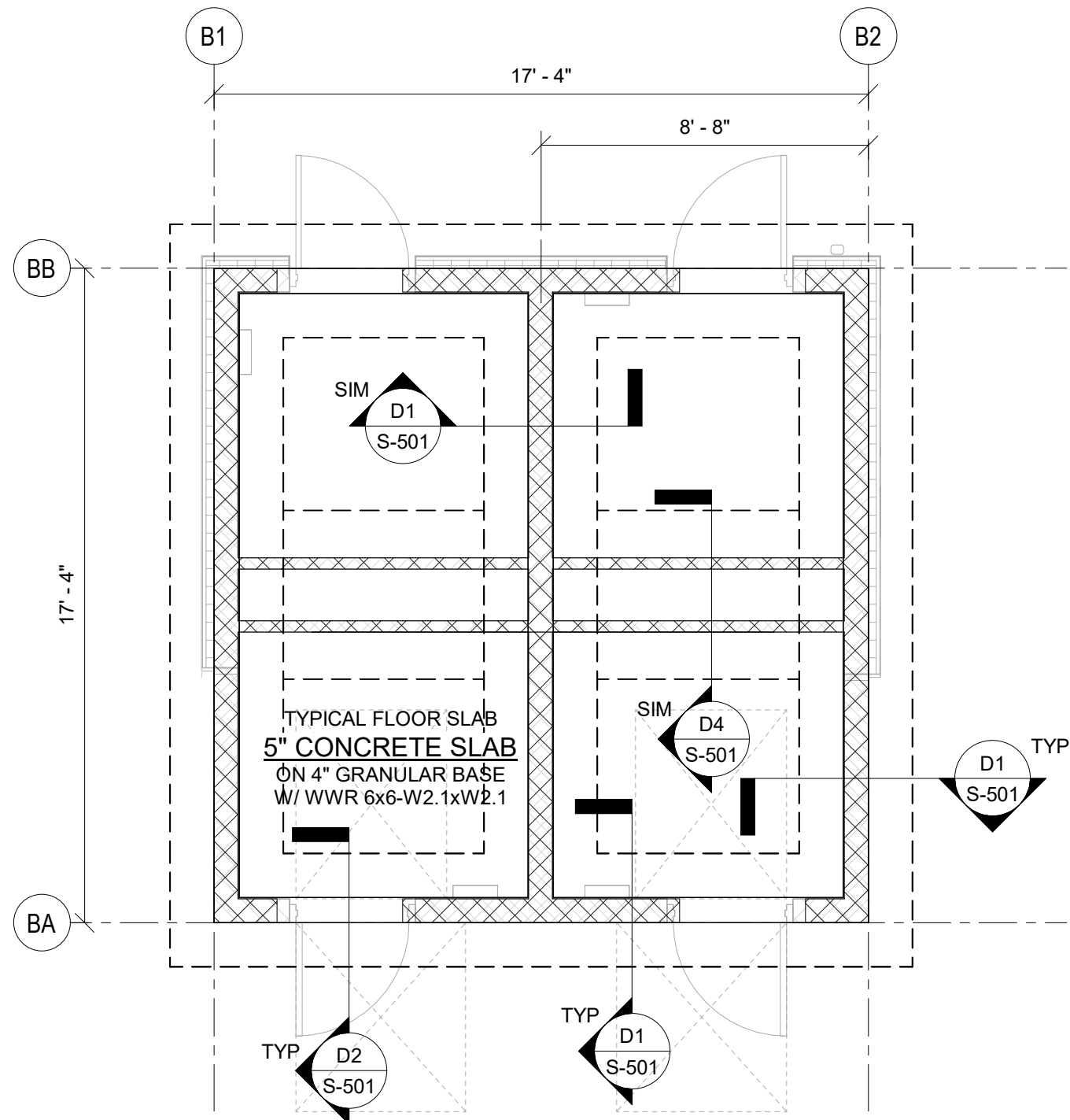


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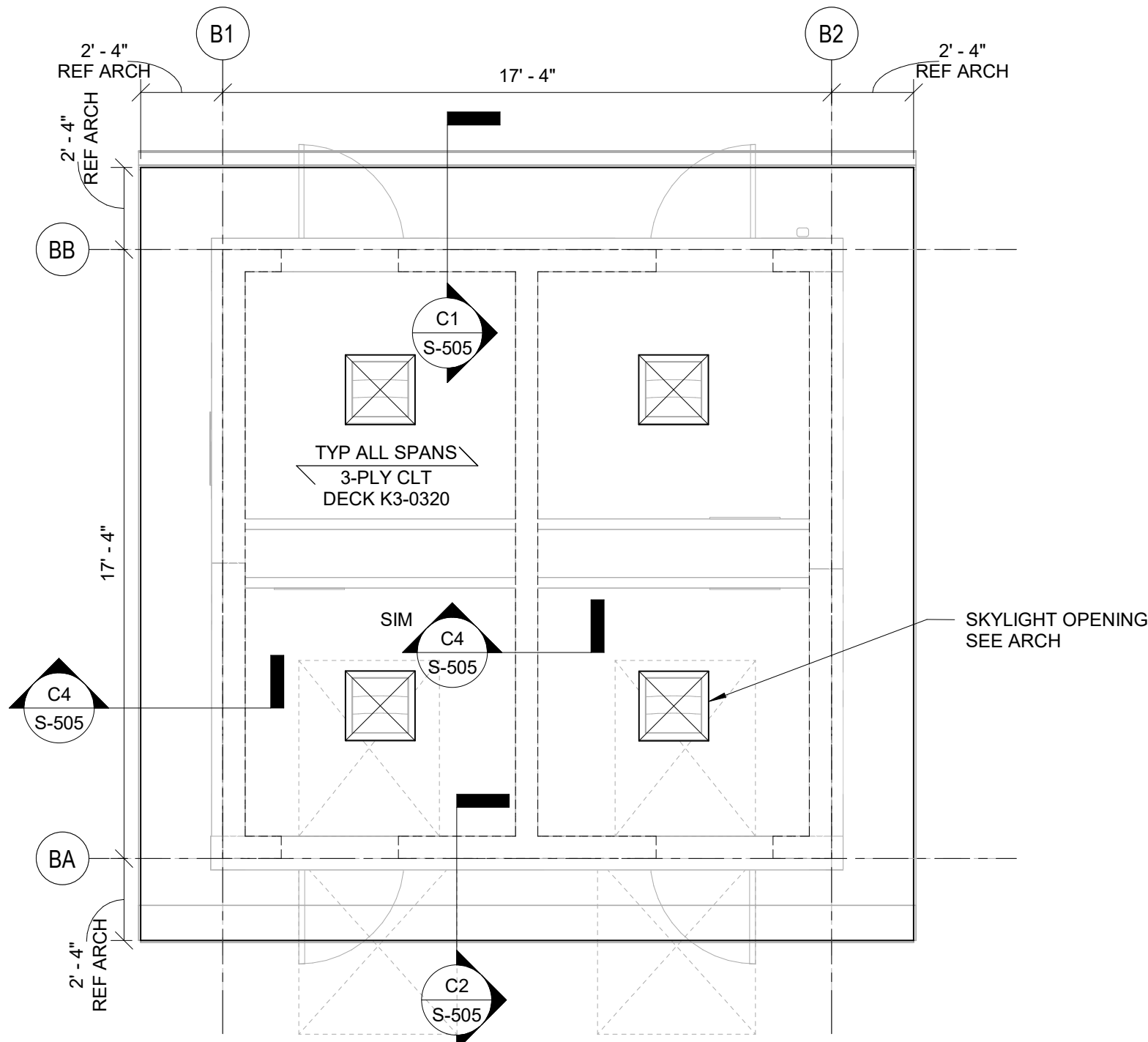
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C1 BASKETBALL RESTROOM - FOUNDATION PLAN
1/4" = 1'-0"



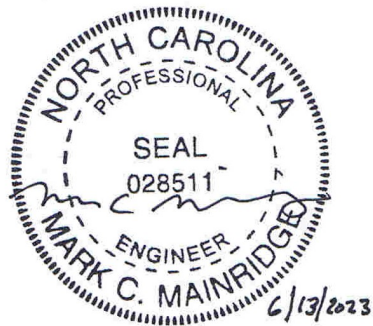
C4 BASKETBALL RESTROOM - ROOF FRAMING PLAN
1/4" = 1'-0"



GENERAL NOTES:

- REFERENCE ARCH DRAWINGS FOR ELEVATIONS.

WOOLPERT
ARCHITECTURE | ENGINEERING | GEOSPATIAL
11301 CARMEL COMMONS BLVD
SUITE 300
CHARLOTTE, NC 28226
704.525.6284



ISSUANCE SCHEDULE

NUMBER	DATE	DESCRIPTION
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CITY OF CONCORD
J.E. "JIM" RAMSEUR PARK
PARKS & RECREATION DEPARTMENT
BASKETBALL RESTROOM BLDG

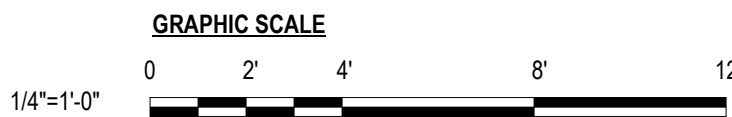
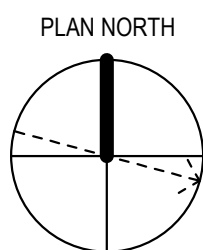
1252 Cox Mill Rd
Concord, NC 28027

PROJECT NO: 081197
DATE ISSUED: 06/15/2023
DESIGNED BY: DM
DRAWN BY: LB
CHECKED BY: MM

SHEET NAME:
BASKETBALL RESTROOM
FOUNDATION AND ROOF
FRAMING PLAN

SHEET NO:

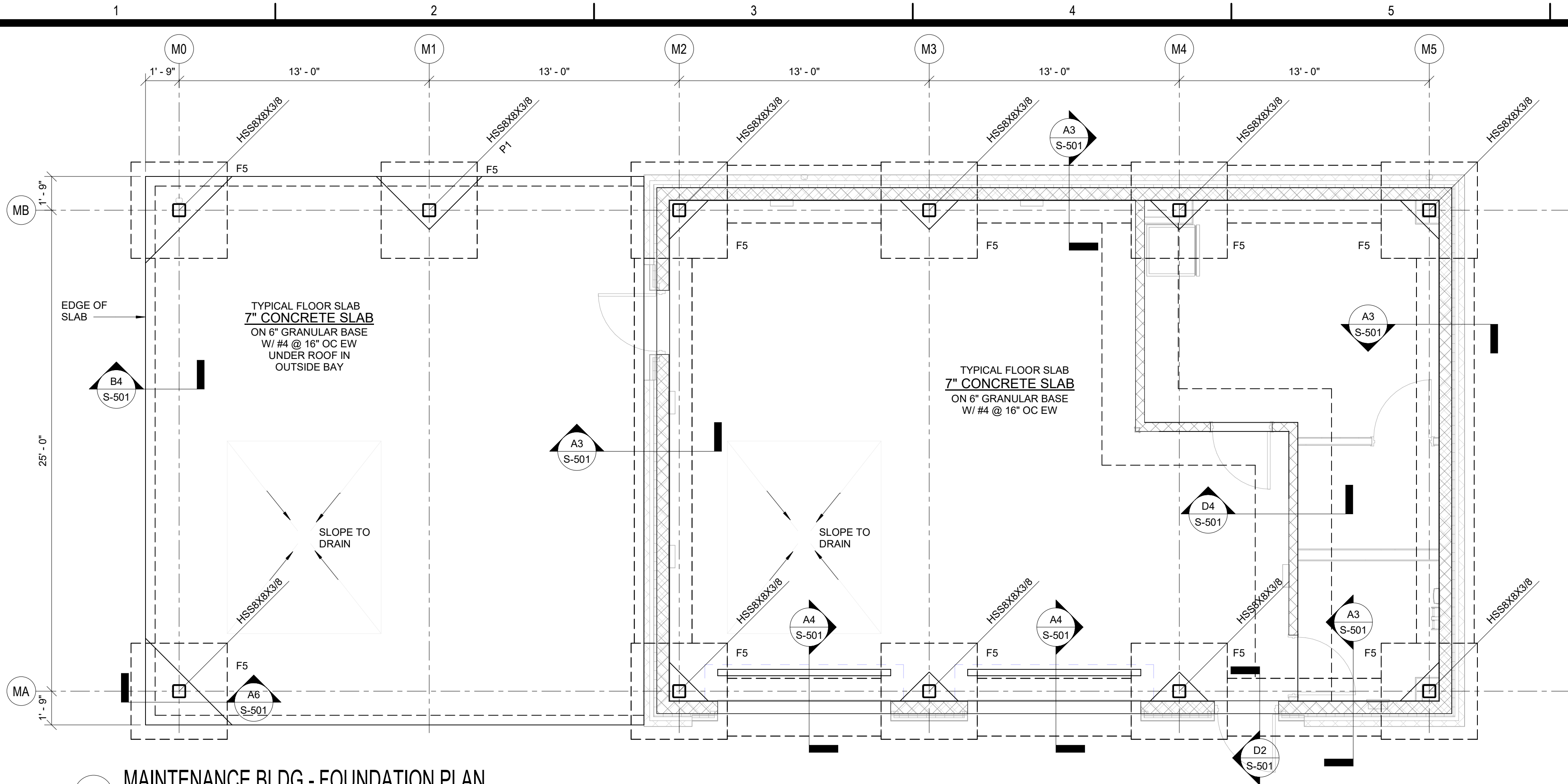
S-101-BB



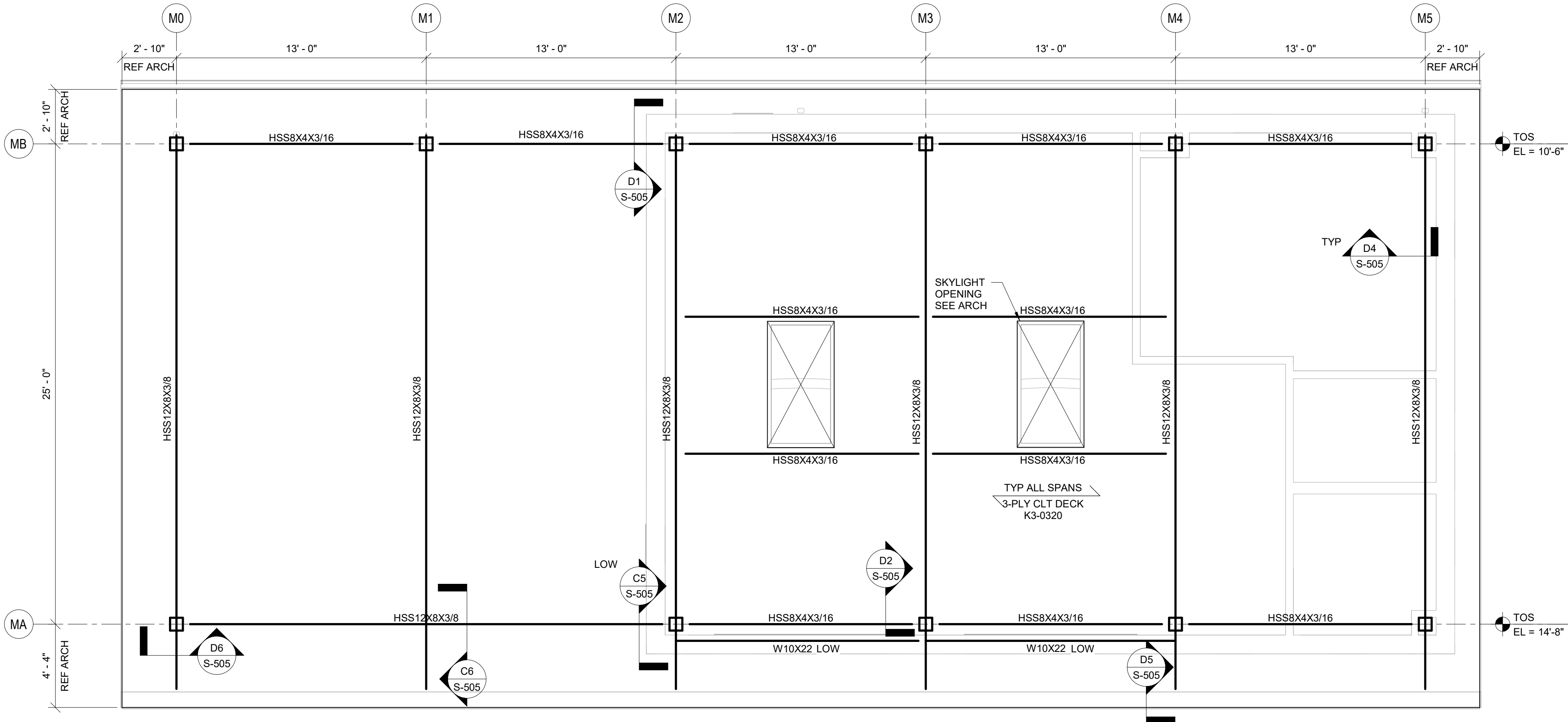
01/14/25 -ISSUED FOR BIDDING

6/12/2023 4:36:18 PM

Autodesk Docs://JE Ramseur Park//W_081197_JE Ramseur Park - Maintenance Bldg_STR_R22.rvt



C1 MAINTENANCE BLDG - FOUNDATION PLAN
1/4" = 1'-0"



A1 MAINTENANCE BLDG - ROOF FRAMING PLAN
1/4" = 1'-0"

GENERAL NOTES:

1. ALL BEAM OVERHANGS WILL HAVE A 30° CHAMFER AT THE ENDS STARTING 4" FROM THE TOP OF THE BEAM AS SEEN IN ARCH.
2. THE BEAMS, IN THE DIRECTION OF THE ROOF SLOPE, SHALL TERMINATE 8" SHORT OF THE END OF THE CLT PANEL EXTENTS.
3. REFERENCE ARCH DRAWINGS FOR ELEVATIONS.

FOOTING SCHEDULE				f _c = 4000...
MARK	SIZE	LONG REINF BARS	SHORT REINF BARS	REMARKS
F5	5'-0"x5'-0"x1'-3"	(5) #6 BARS TOP & BOTTOM	(5) #6 BARS TOP & BOTTOM	

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SUITE 300
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ISSUANCE SCHEDULE
NUMBER DATE DESCRIPTION

CITY OF CONCORD
J.E. "JIM" RAMSEUR PARK
PARKS & RECREATION DEPARTMENT
MAINTENANCE BUILDING
1252 COX MILL ROAD
CONCORD, NC 28027

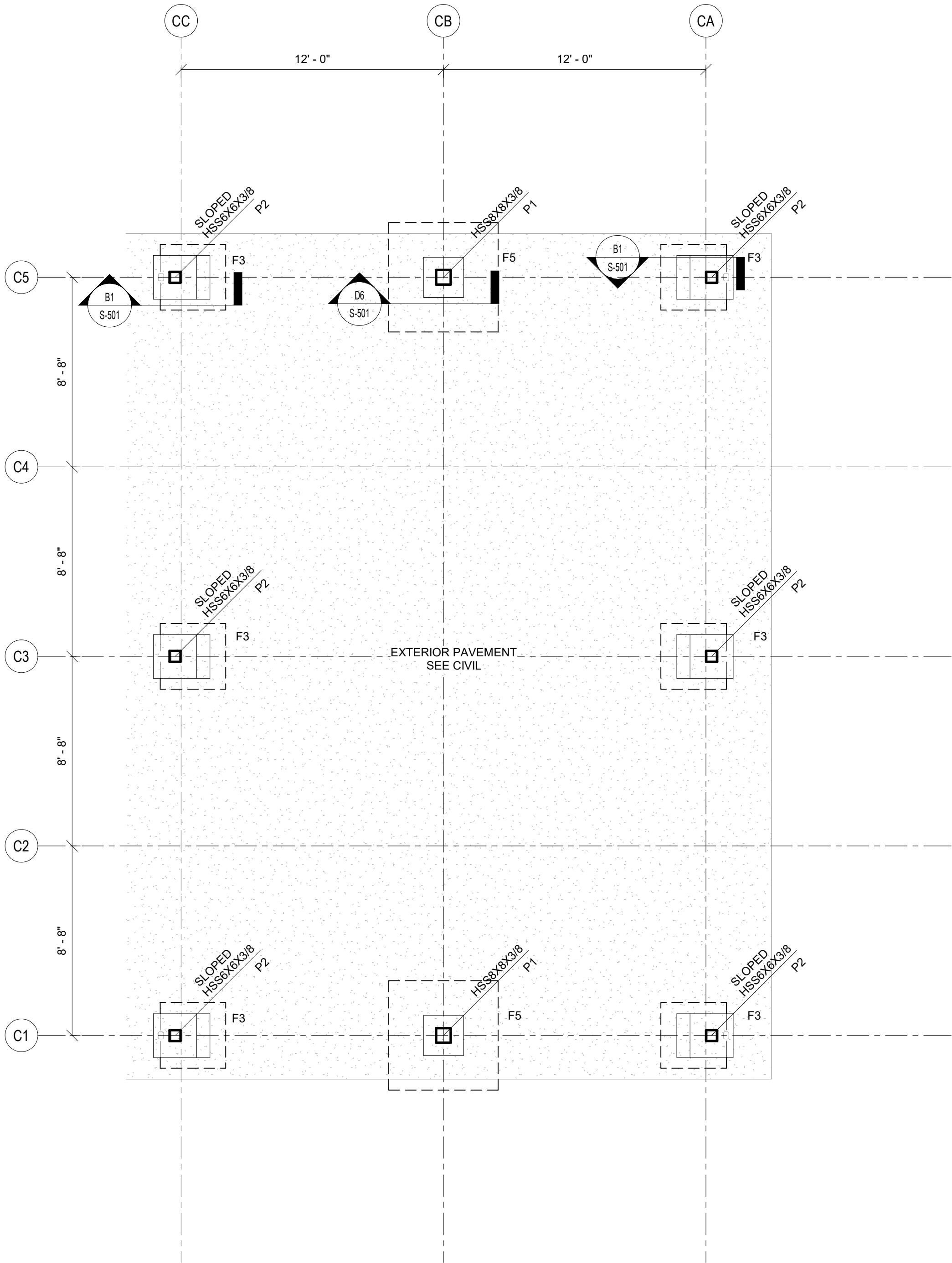
PROJECT NO: 081197
DATE ISSUED: 06/15/2023
DESIGNED BY: DM
DRAWN BY: LB
CHECKED BY: MM

SHEET NAME:
MAINTENANCE BUILDING
FOUNDATION AND ROOF
FRAMING PLAN

SHEET NO:

S-101-MB

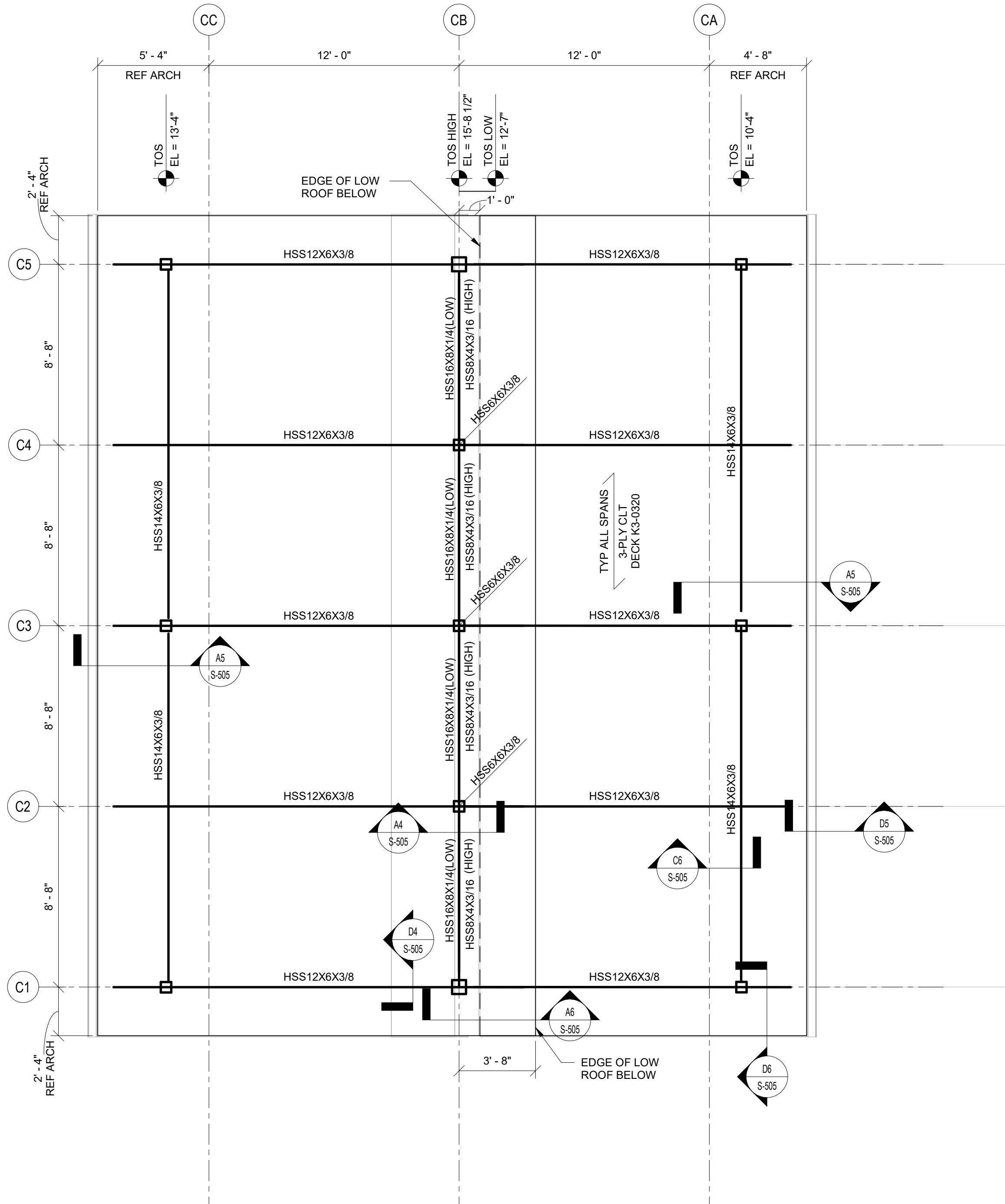
01/14/25 -ISSUED FOR BIDDING



A1 MAIN PAVILION - FOUNDATION PLAN
1/4" = 1'-0"

FOOTING SCHEDULE					REMARKS
MARK	SIZE	LONG REINF BARS	SHORT REINF BARS		
F3	3'-0"x3'-0"x1'-3"	(3) #6 BARS TOP & BOTTOM	(3) #6 BARS TOP & BOTTOM		
F3.5	3'-6"x3'-6"x1'-3"	(3) #6 BARS TOP & BOTTOM	(3) #6 BARS TOP & BOTTOM		
F5	5'-0"x5'-0"x1'-3"	(5) #6 BARS TOP & BOTTOM	(5) #6 BARS TOP & BOTTOM		

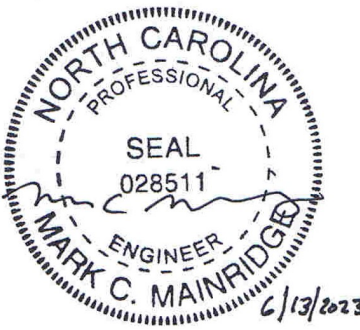
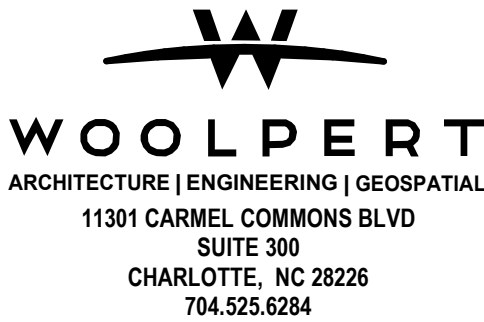
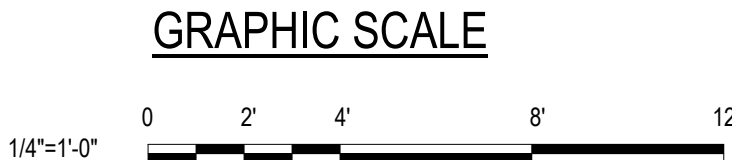
PIER SCHEDULE					
MARK	PIER SIZE B x N	VERTICAL REIN	REIN DETAIL	PIER TIES	TOP OF PIER ELEV
P1	22" x 22"	(4) #6	D6 / S-501 SIM	#4 @10"	2' - 4"
P2	24" x 24"	(8) #6	B1 / S-501	#4 @10"	1' - 8"



A4 MAIN PAVILION - ROOF FRAMING PLAN
1/4" = 1'-0"

GENERAL SHEET NOTES:

- ALL BEAM OVERHANGS WILL HAVE A 30° CHAMFER AT THE ENDS STARTING 4" FROM THE TOP OF THE BEAM AS SEEN IN ARCH.
- THE BEAMS, IN THE DIRECTION OF THE ROOF SLOPE, SHALL TERMINATE 8" SHORT OF THE END OF THE CLT PANEL EXTENTS.
- REFERENCE ARCH DRAWINGS FOR ELEVATIONS.



ISSUANCE SCHEDULE	
NUMBER	DATE DESCRIPTION

CITY OF CONCORD
J.E. "JIM" RAMSEUR PARK
DESIGN DEVELOPMENT DRAWINGS
MAIN PAVILION
1252 Cox Mill Rd
Concord, NC 28027

PROJECT NO: 081197
DATE ISSUED: 06/15/2023
DESIGNED BY: DM
DRAWN BY: LB
CHECKED BY: MM

SHEET NAME:
MAIN PAVILION
FOUNDATION PLAN AND
ROOF FRAMING PLAN

SHEET NO:
S-101-PV

1

2

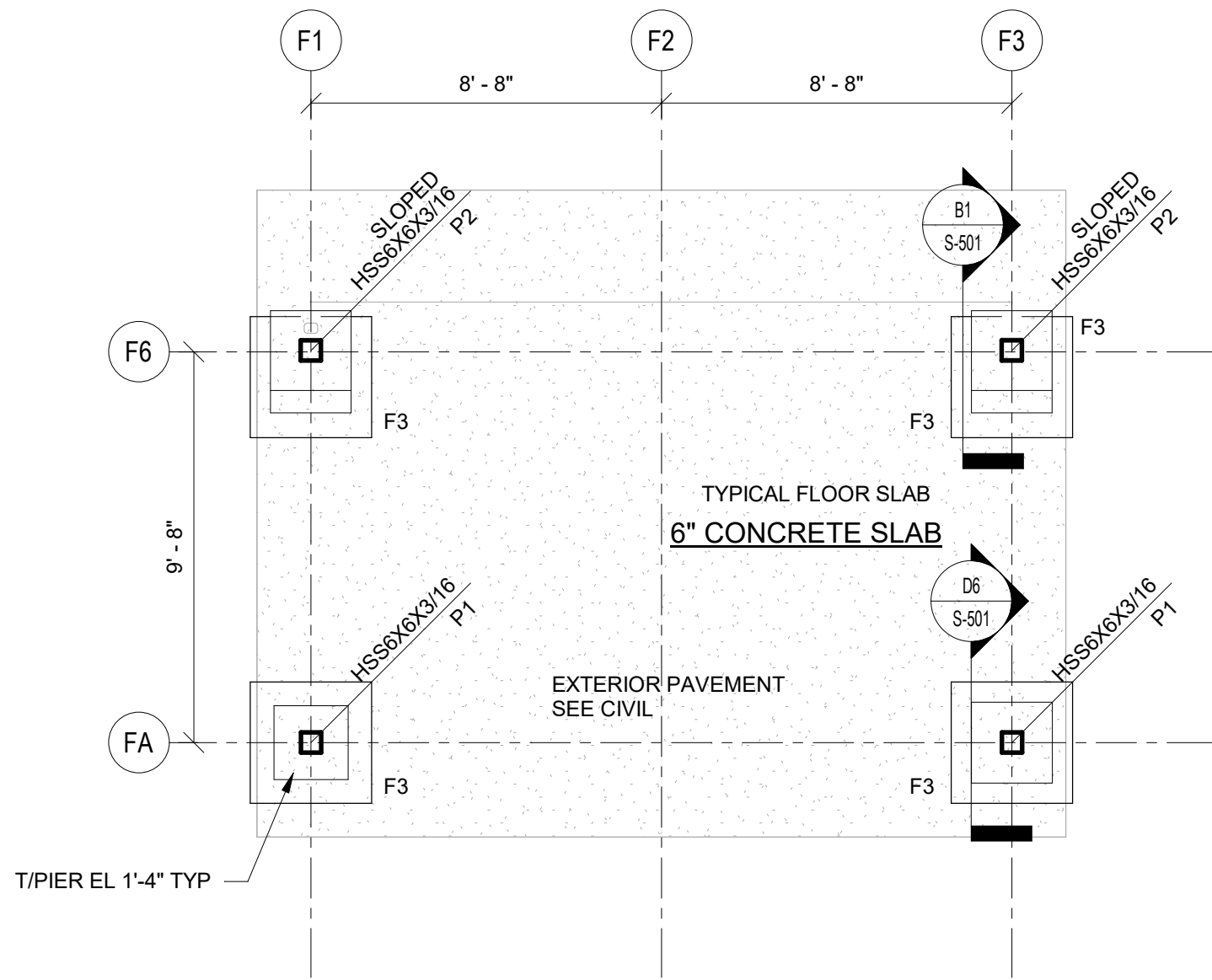
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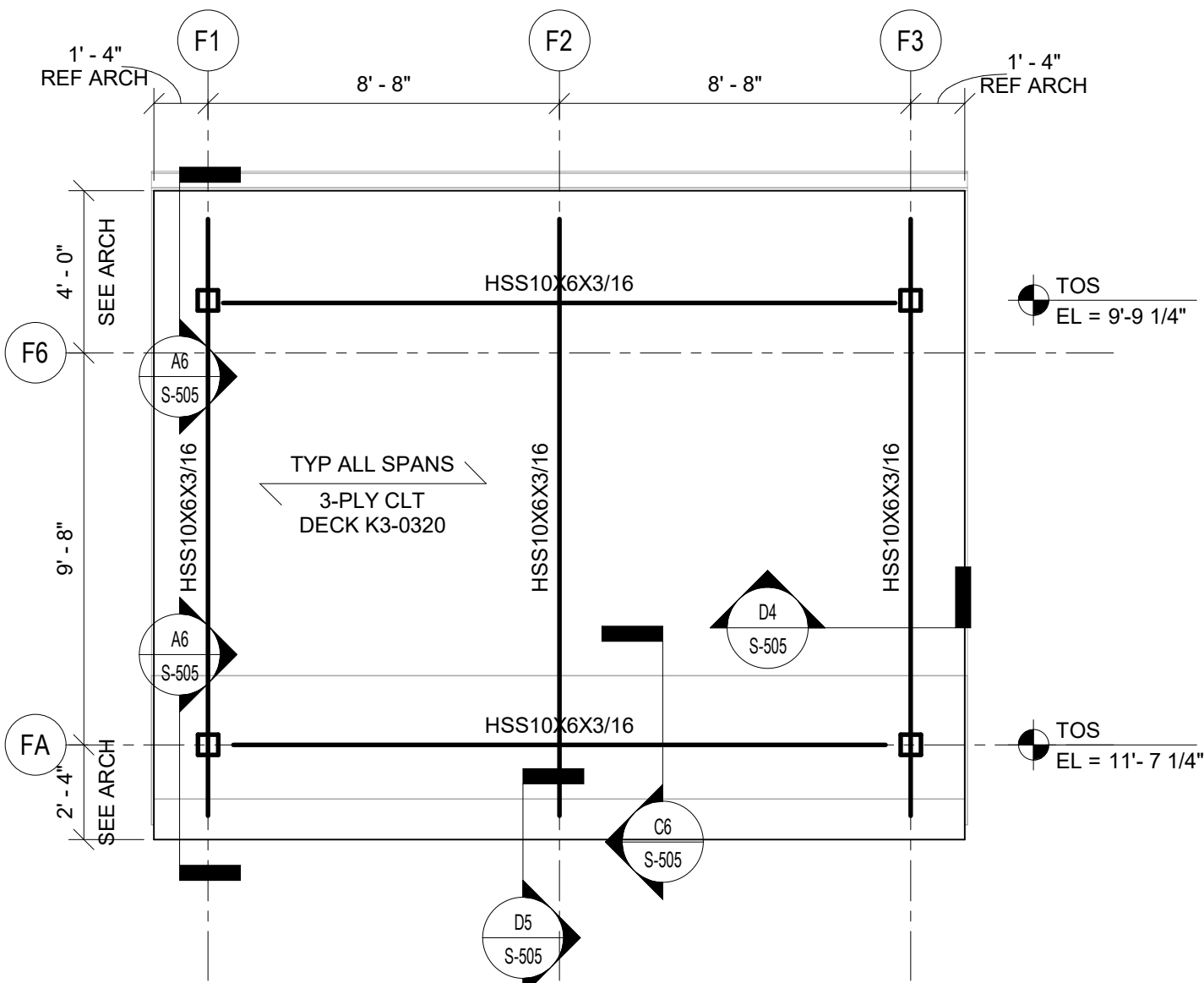
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6

7



C1 SMALL PAVILIONS FOUNDATION PLAN
1/4" = 1'-0"

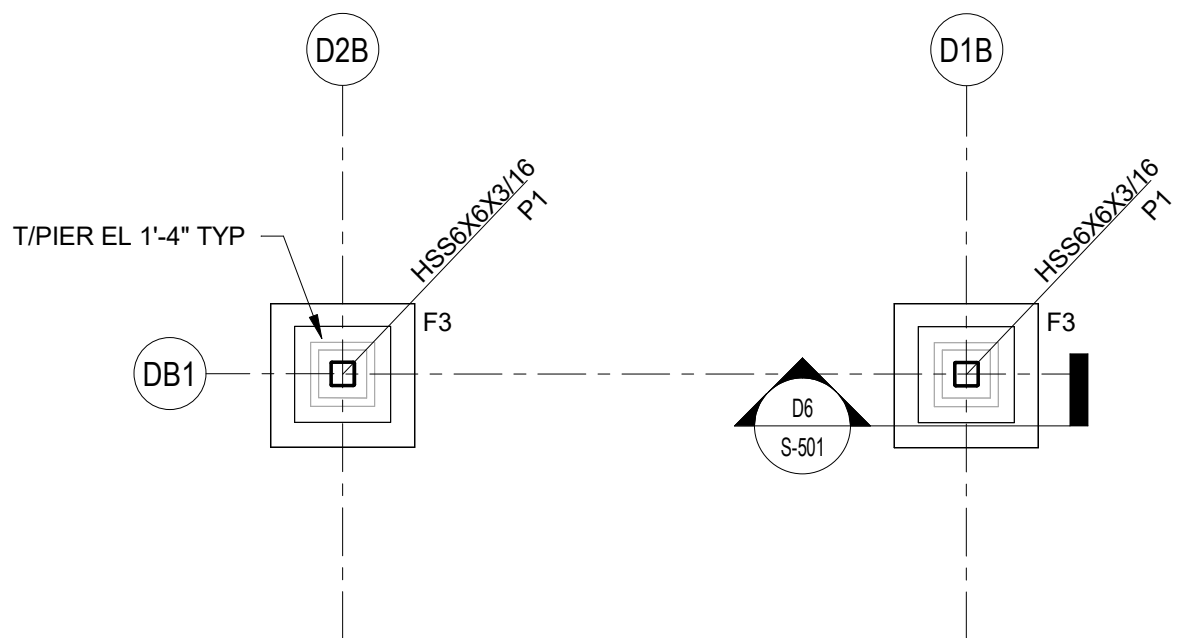


C4 SMALL PAVILIONS ROOF FRAMING PLAN
1/4" = 1'-0"

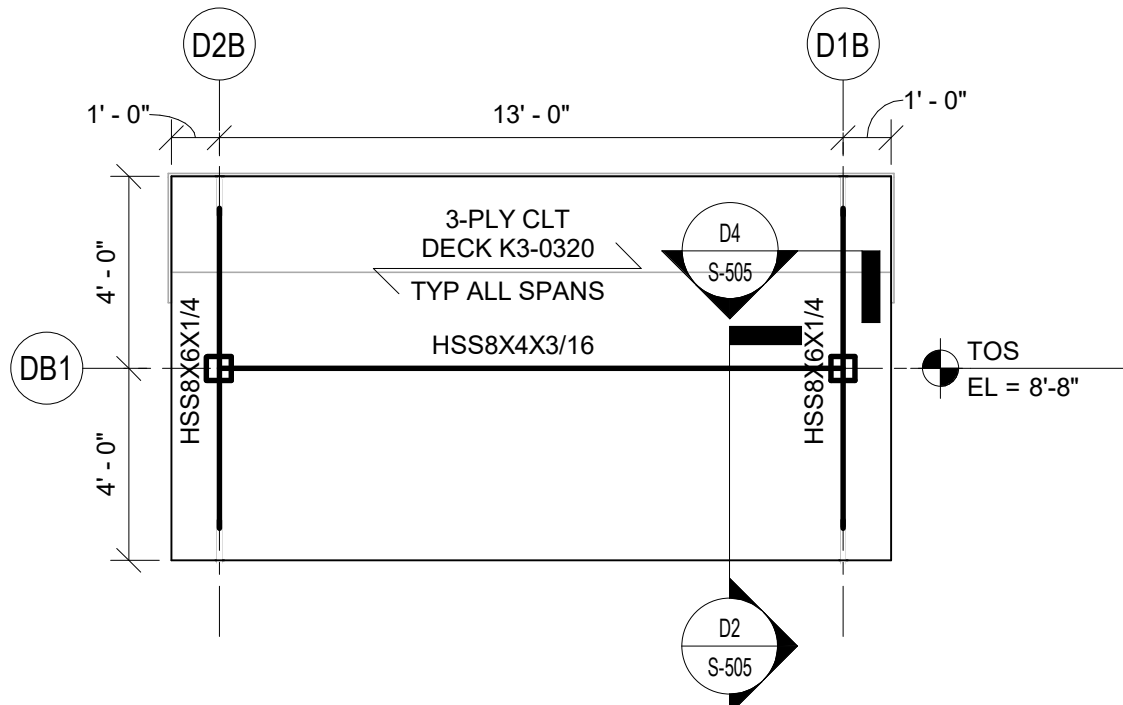
FOOTING SCHEDULE					REMARKS
MARK	SIZE	LONG REINF BARS	SHORT REINF BARS		
F3	3'-0"x3'-0"x1'-3"	(3) #6 BARS TOP & BOTTOM	(3) #6 BARS TOP & BOTTOM		
F3.5	3'-6"x3'-6"x1'-3"	(3) #6 BARS TOP & BOTTOM	(3) #6 BARS TOP & BOTTOM		
F5	5'-0"x5'-0"x1'-3"	(5) #6 BARS TOP & BOTTOM	(5) #6 BARS TOP & BOTTOM		

Fc = 4000
Fs = 2000

PIER SCHEDULE					
MARK	PIER SIZE B x N	VERTICAL REIN	REIN DETAIL	PIER TIES	TOP OF PIER ELEV
P1	22" x 22"	(4) #6	D6 / S-501 SIM	#4 @10"	2' - 4"
P2	24" x 24"	(8) #6	B1 / S-501	#4 @10"	1' - 8"



A1 DOG PARK SHADE STRUCTURE - FOUNDATION PLAN
1/4" = 1'-0"



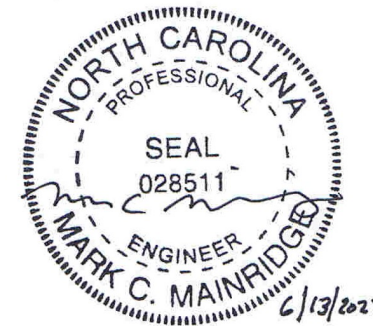
A4 DOG PARK SHADE STRUCTURE - ROOF FRAMING PLAN
1/4" = 1'-0"

GENERAL SHEET NOTES:

- SMALL PAVILION DESIGN ON THIS SHEET APPLIES TO SMALL SHELTER A, B, C, AND D.
- SMALL SHELTER A AND C ARE IN BASE BID.
- SMALL SHELTER B IS ADD ALTERNATE NO 3. SEE SPECIFICATION 012300 ALTERNATES AND SITE PLANS.
- SMALL SHELTER D IS ADD ALTERNATE NO 4. SEE SPECIFICATION 012300 ALTERNATES AND SITE PLANS.
- ALL BEAM OVERHANGS WILL HAVE A 30° CHAMFER AT THE ENDS STARTING 4" FROM THE TOP OF THE BEAM AS SEEN IN ARCH.
- THE BEAMS, IN THE DIRECTION OF THE ROOF SLOPE, SHALL TERMINATE 8" SHORT OF THE END OF THE CLT PANEL EXTENTS.
- REFERENCE ARCH DRAWINGS FOR ELEVATIONS.



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SUITE 300
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ISSUANCE SCHEDULE

NUMBER DATE DESCRIPTION

CITY OF CONCORD

J.E. "JIM" RAMSEUR PARK
DESIGN DEVELOPMENT DRAWINGS
SMALL PAVILIONS AND SHADE STRUCTURES

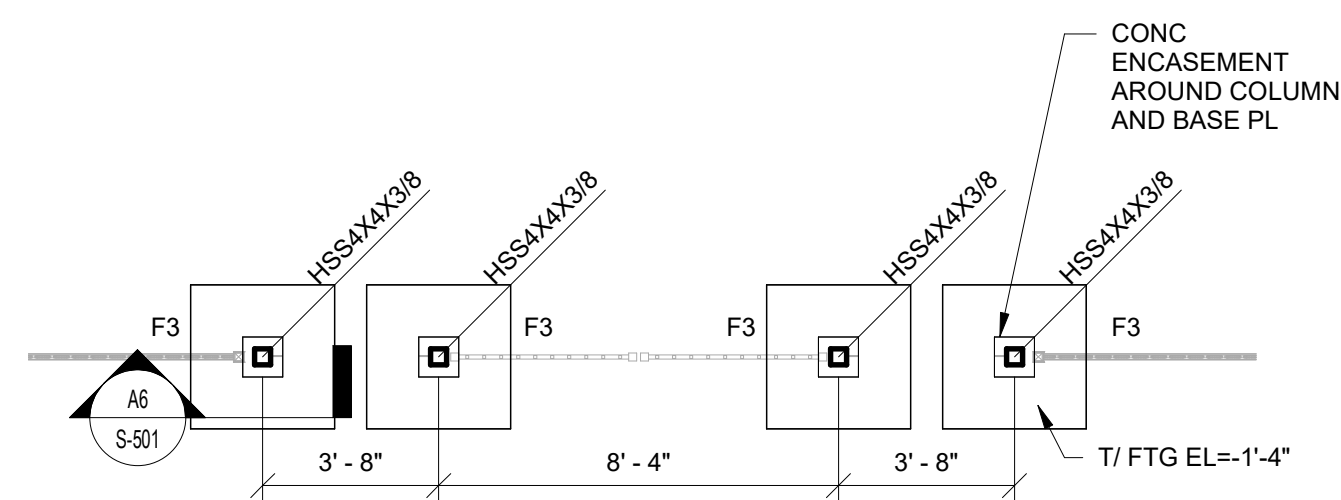
1252 Cox Mill Rd
Concord, NC 28027

PROJECT NO: 081197
DATE ISSUED: 06/15/2023
DESIGNED BY: DM
DRAWN BY: LB
CHECKED BY: MM

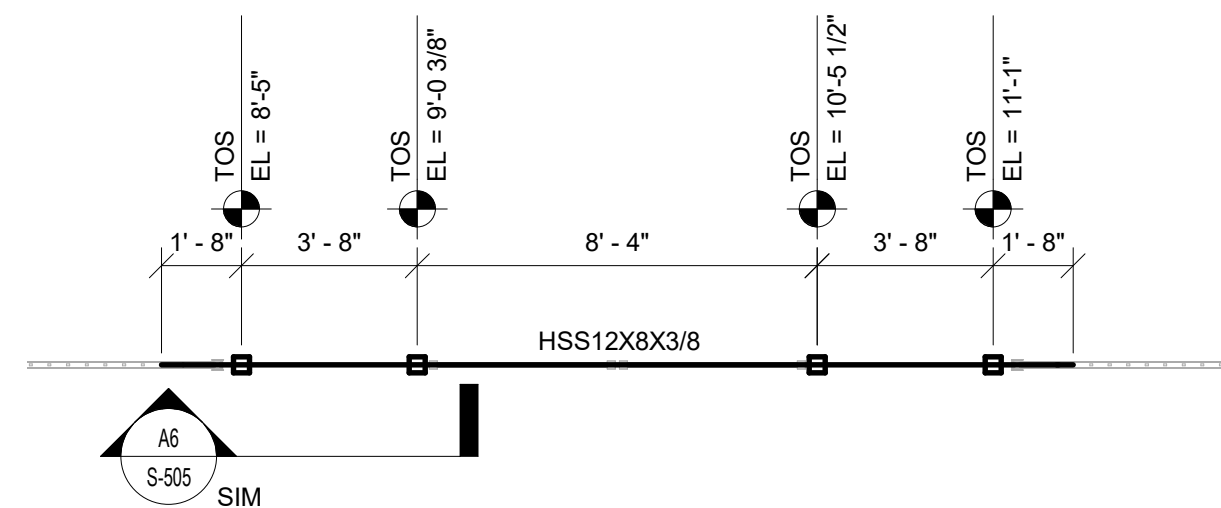
SHEET NAME:
SMALL PAVILION FLOOR PLAN

SHEET NO:

S-102-PV



A1



A4

PIER SCHEDULE					
MARK	PIER SIZE B x N	VERTICAL REIN	REIN DETAIL	PIER TIES	TOP OF PIER ELEV
P1	22" x 22"	(4) #6	D6 / S-501 SIM	#4 @10"	2' - 4"
P2	24" x 24"	(8) #6	B1 / S-501	#4 @10"	1' - 8"

1. ALL BEAM OVERHANGS WILL HAVE A 30° CHAMFER AT THE ENDS STARTING 4" FROM THE TOP OF THE BEAM AS SEEN IN ARCH.
2. THE BEAMS, IN THE DIRECTION OF THE ROOF SLOPE, SHALL TERMINATE 8" SHORT OF THE END OF THE CLT PANEL EXTENTS.
3. REFERENCE ARCH DRAWINGS FOR ELEVATIONS.

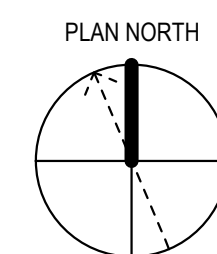
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PROJECT NO:	081197
DATE ISSUED:	06/15/2023
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DESIGNED BY:	DM
DRAWN BY:	LB
CHECKED BY:	MM


SHEET NO:

S-101-SS

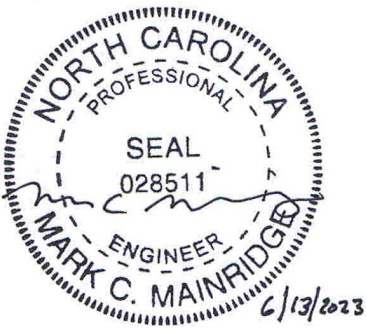
01/14/25 - ISSUED FOR BIDDING



1/4"=1'-0"



A horizontal graphic scale bar with alternating black and white segments. It is marked with the values 0, 2', 4', 8', and 12'.



ISSUANCE SCHEDULE		
NUMBER	DATE	DESCRIPTION

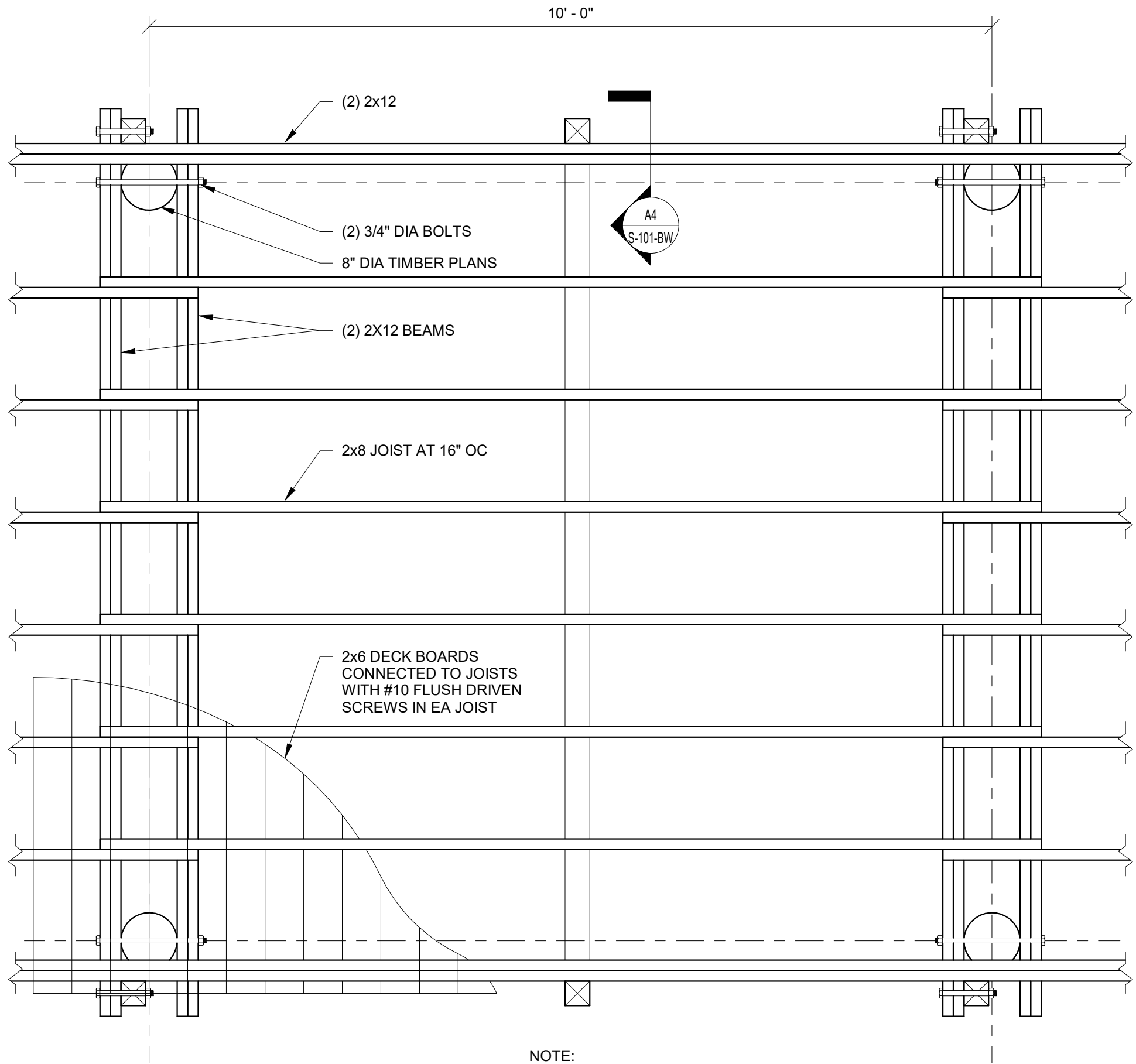
CITY OF CONCORD
J.E. "JIM" RAMSEUR PARK
DESIGN DEVELOPMENT DRAWINGS
BOARDWALK
1252 Cox Mill Rd
Concord, NC 28027

PROJECT NO: 081197
DATE ISSUED: 06/15/2023
DESIGNED BY: DM
DRAWN BY: LB
CHECKED BY: MM

SHEET NAME:
BOARDWALK PLAN,
SECTIONS AND
ELEVATION

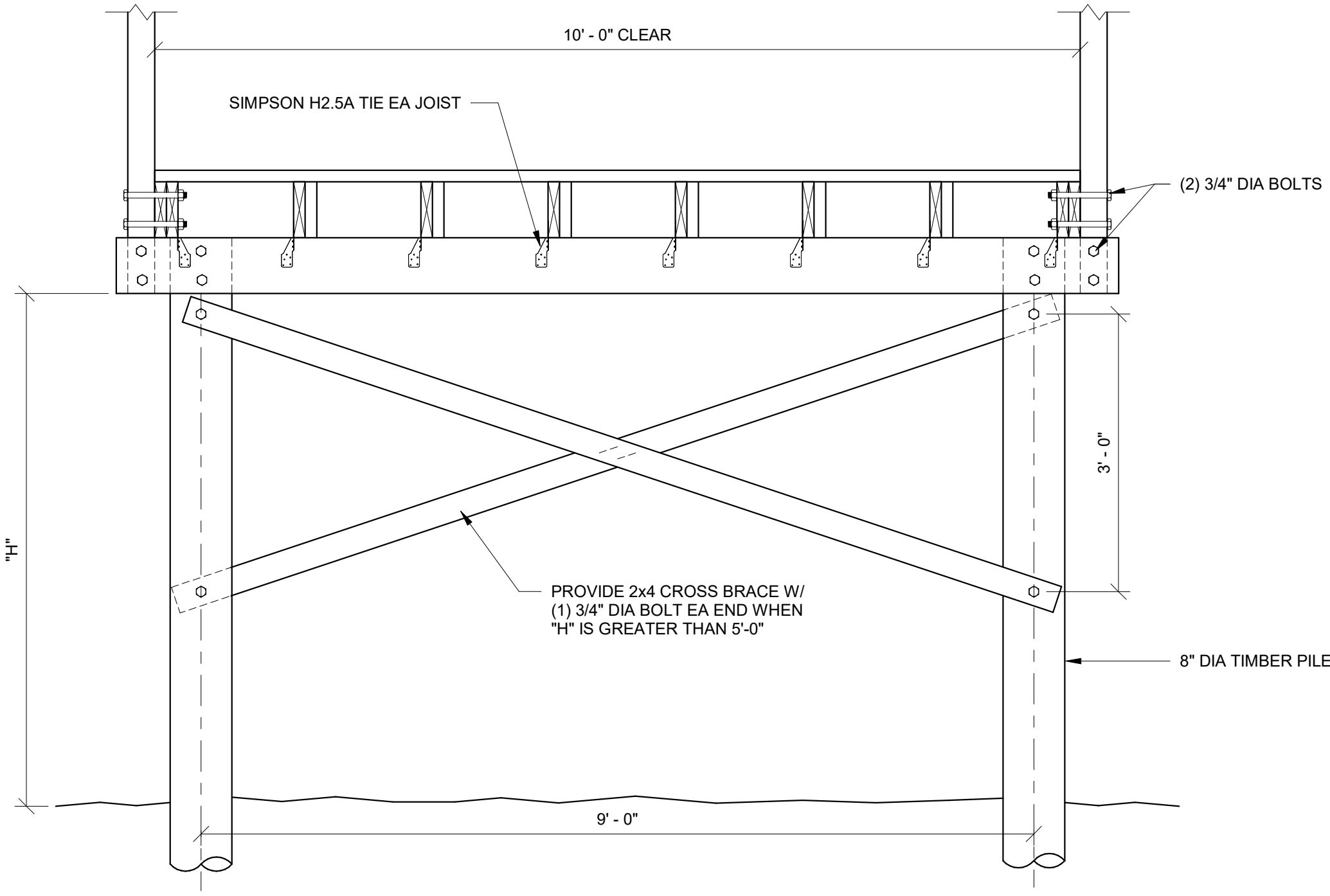
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S-101-BW



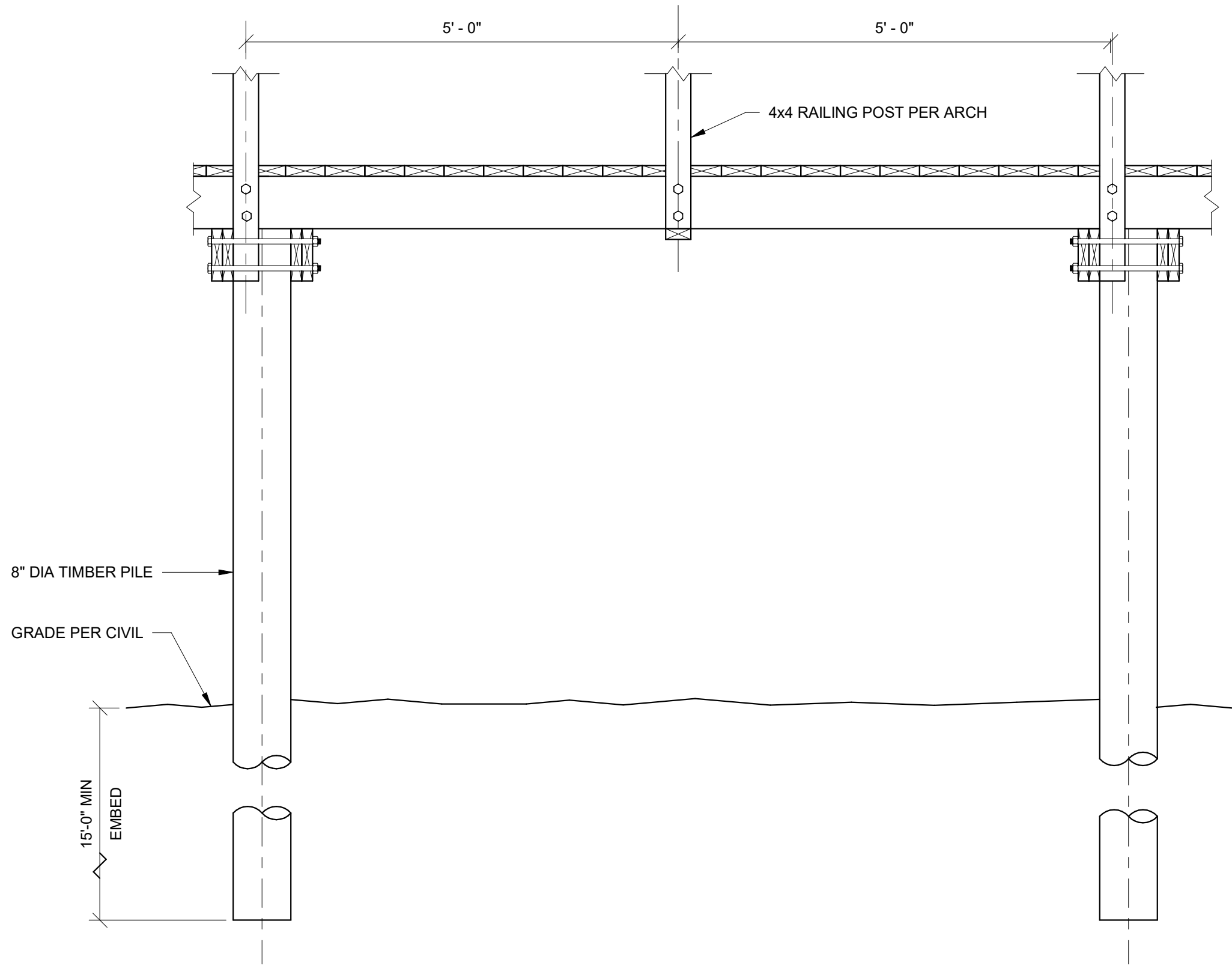
C1 BOARDWALK PLAN
3/4" = 1'-0"

- NOTE:
1. ALL WOOD IS PRESSURE TREATED.
 2. ALL BOLTS, SCREWS, NUTS AND WASHERS ARE GALVANIZED

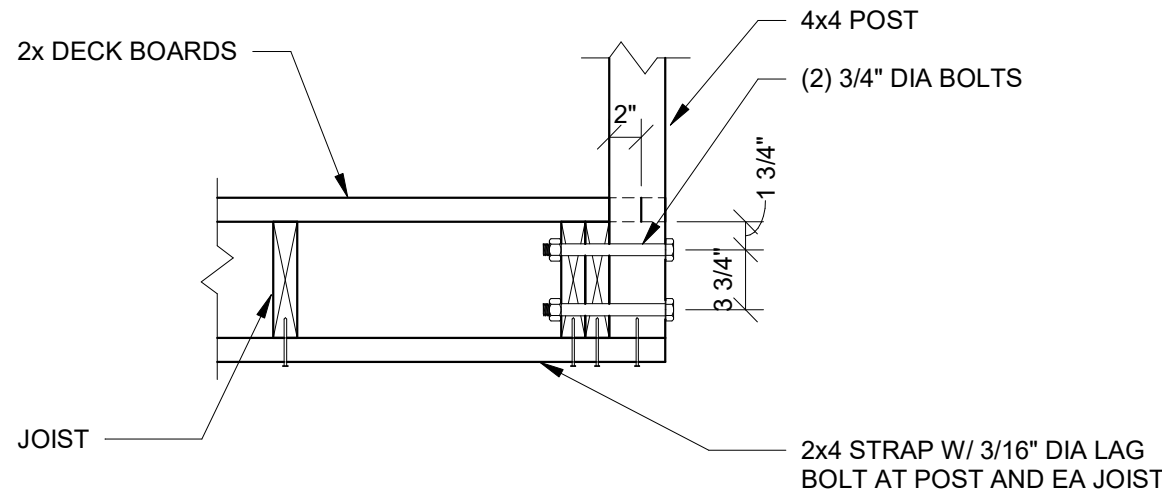


C4 BOARDWALK SECTION
3/4" = 1'-0"

- NOTE:
1. ALL WOOD IS PRESSURE TREATED.
 2. ALL BOLTS, SCREWS, NUTS AND WASHERS ARE GALVANIZED



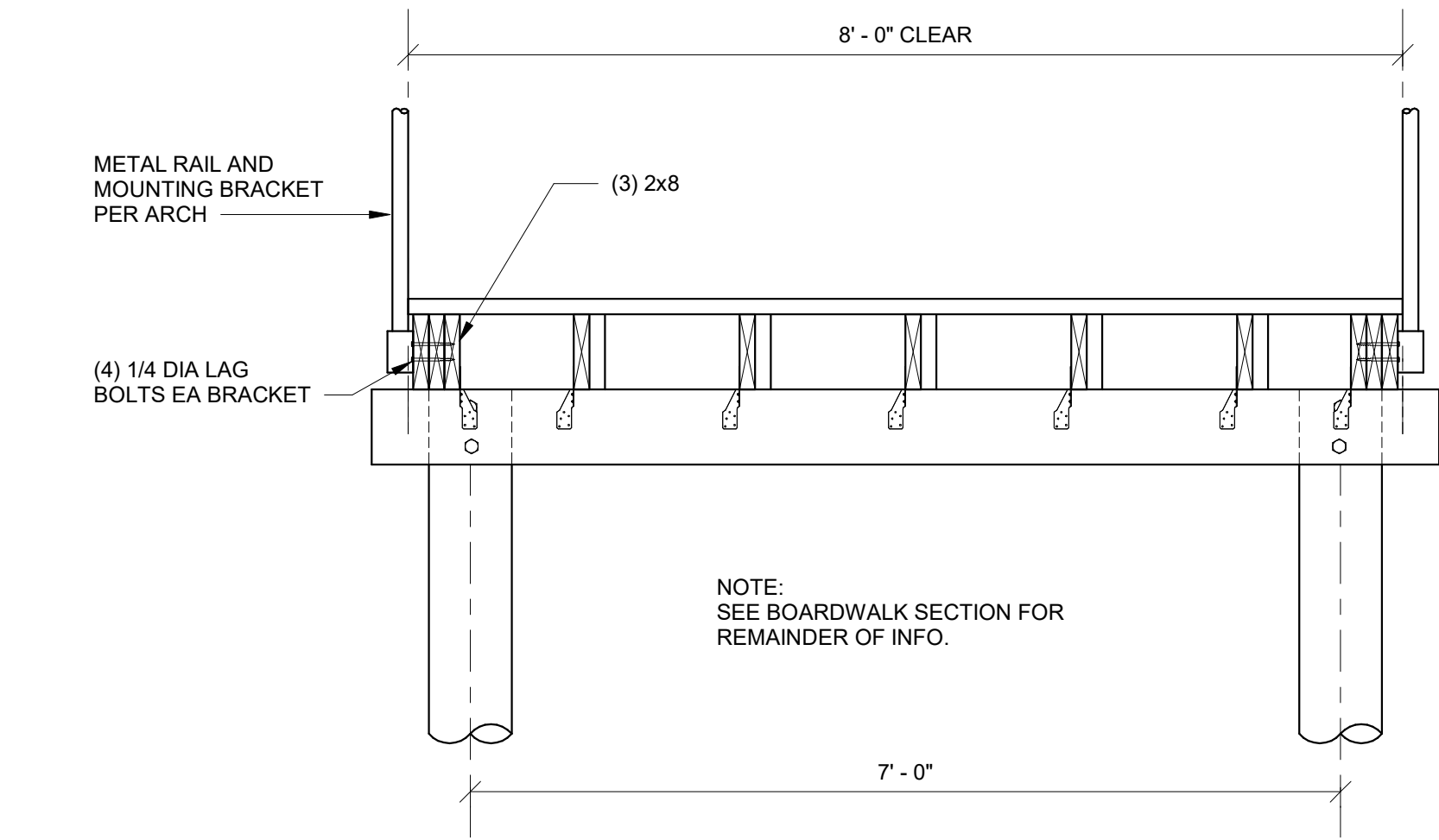
A1 BOARDWALK ELEVATION
3/4" = 1'-0"



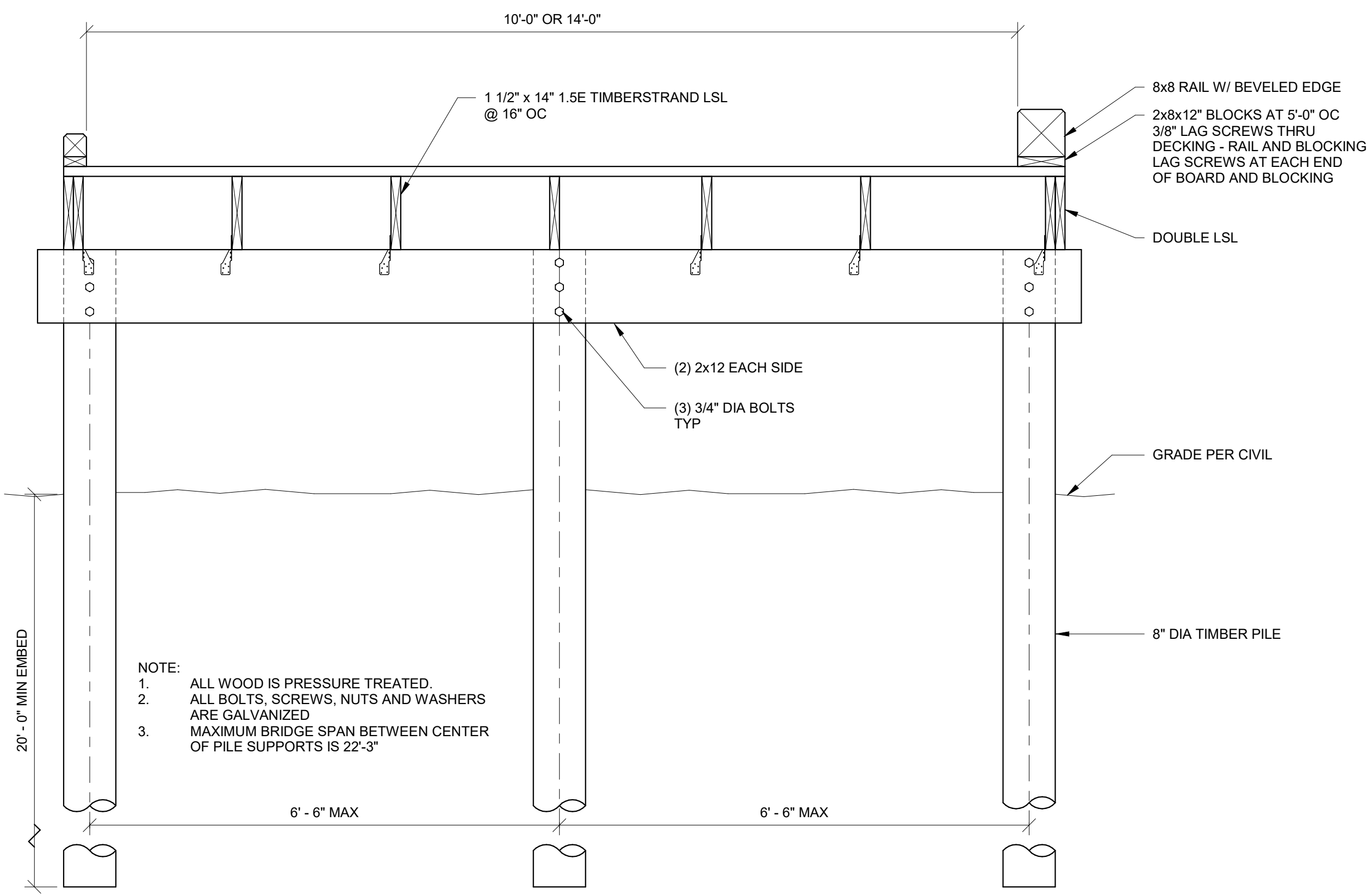
A4 SECTION
1" = 1'-0"

6/12/2023 4:34:40 PM

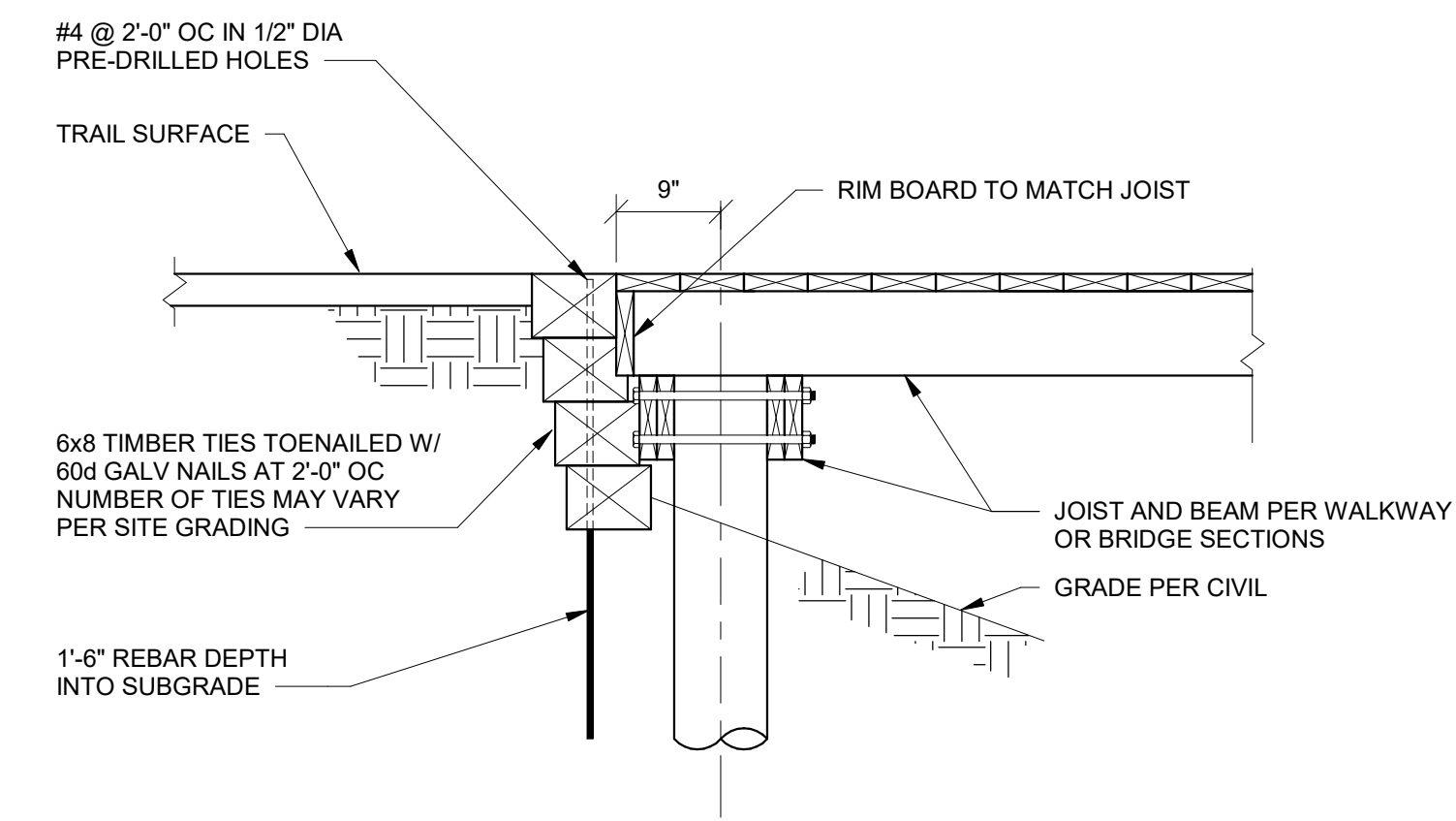
Autodesk Docs://JE Ramseyr Park/ W_ 081197_ JE Ramseyr Park - Misc Bldg_STR_R22.rvt



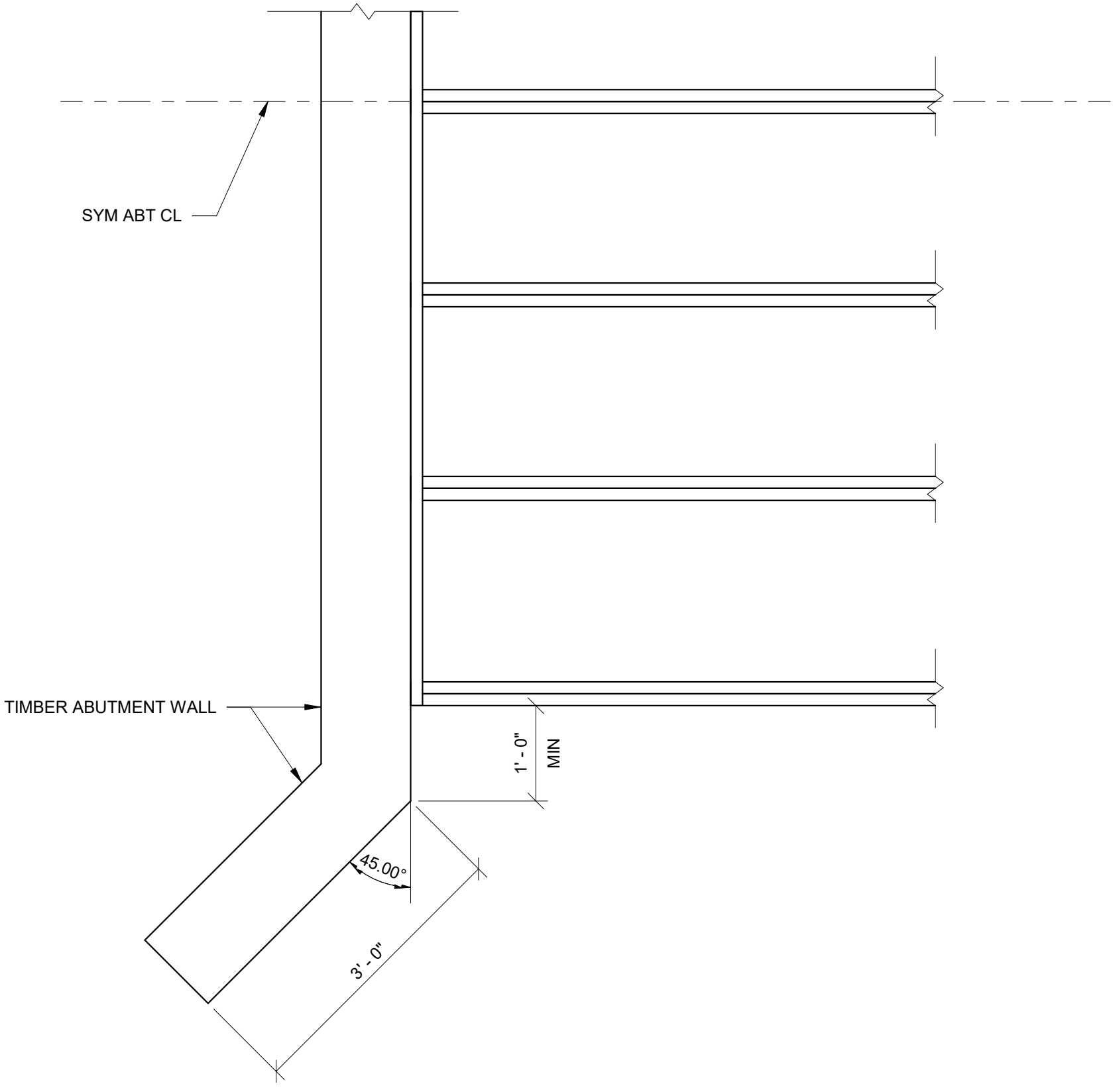
A1 ADA WALKWAY SECTION
3/4" = 1'-0"



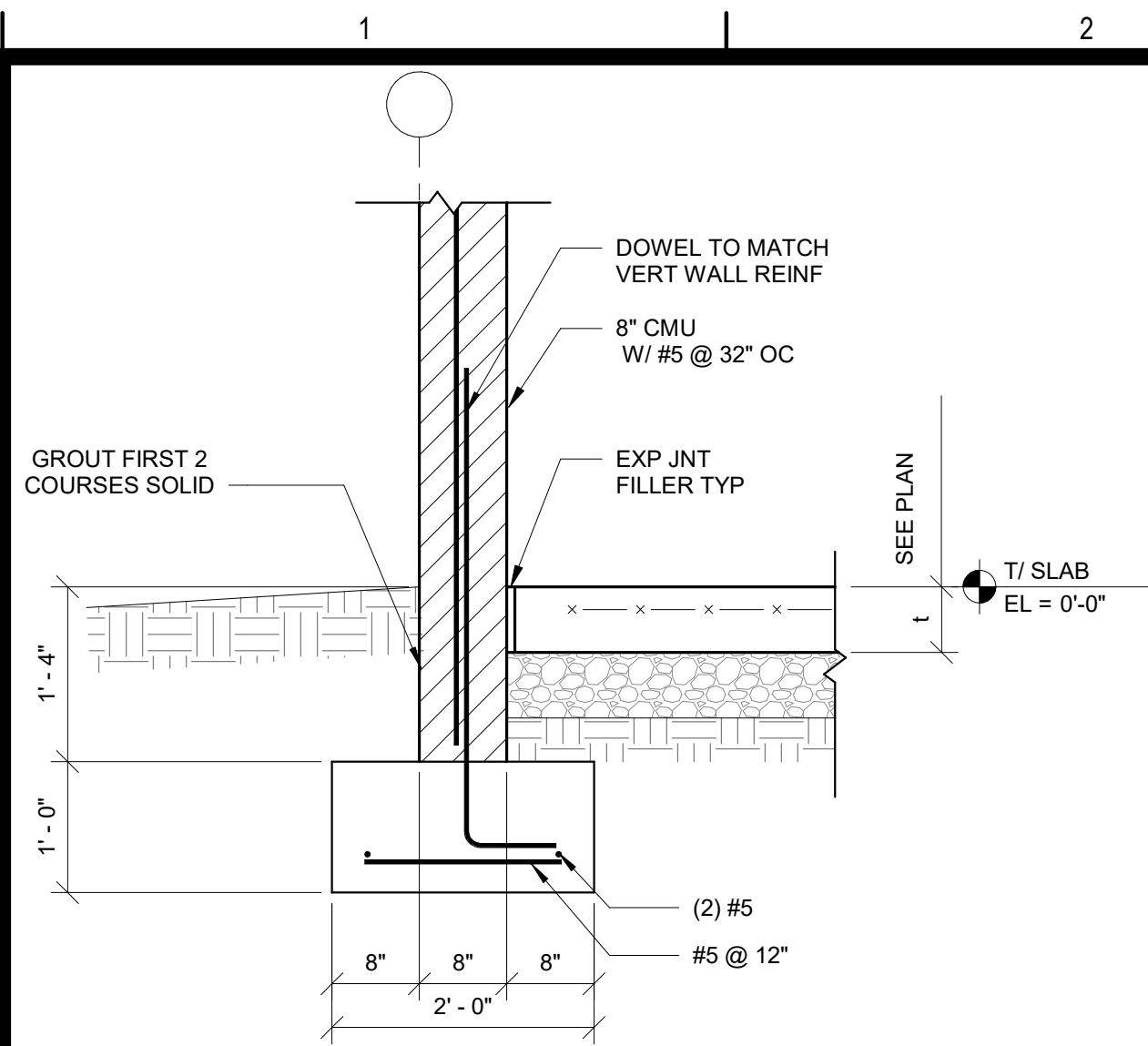
C1 BRIDGE SECTION
3/4" = 1'-0"



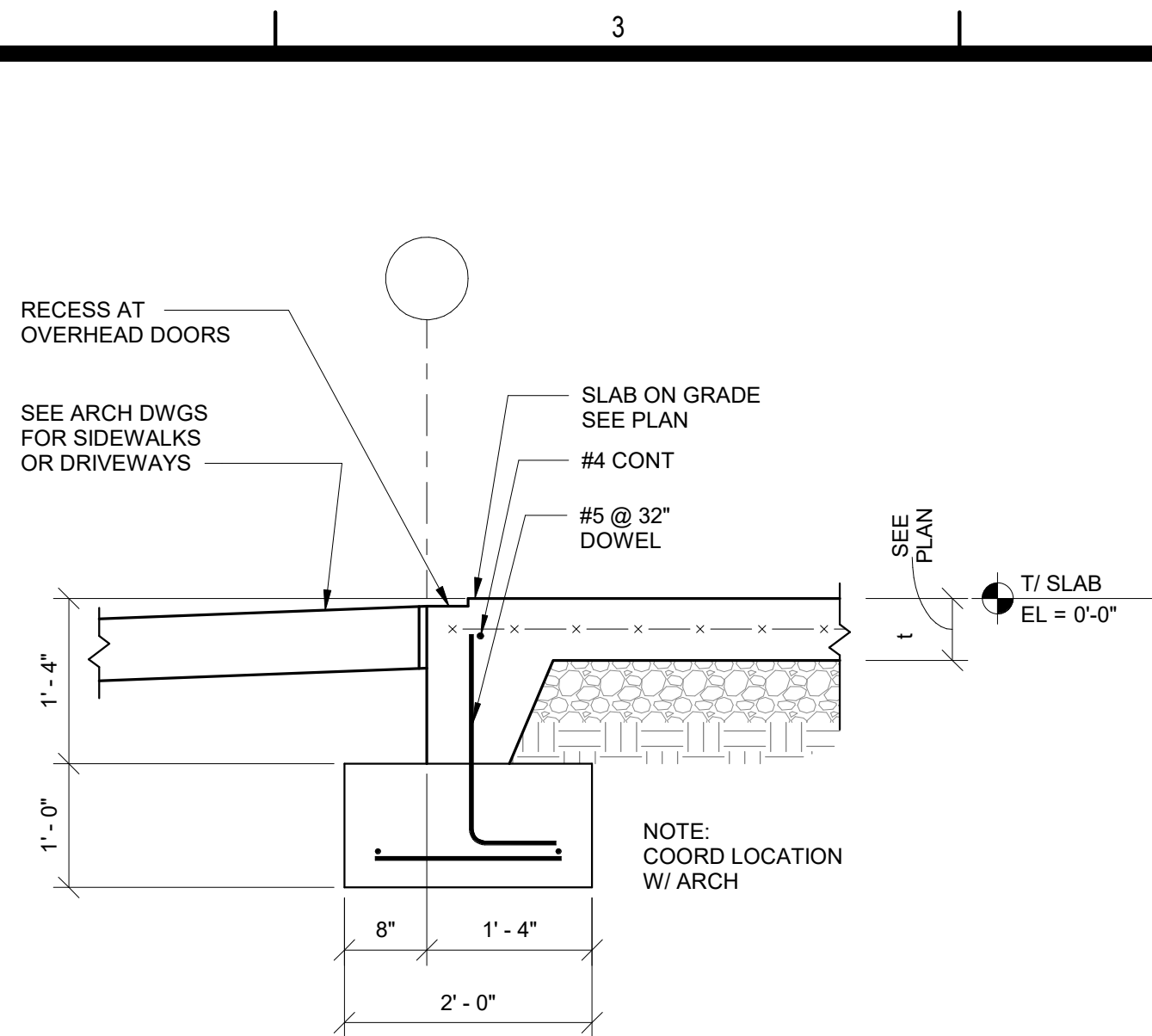
A4 TYPICAL ABUTMENT SECTION
3/4" = 1'-0"



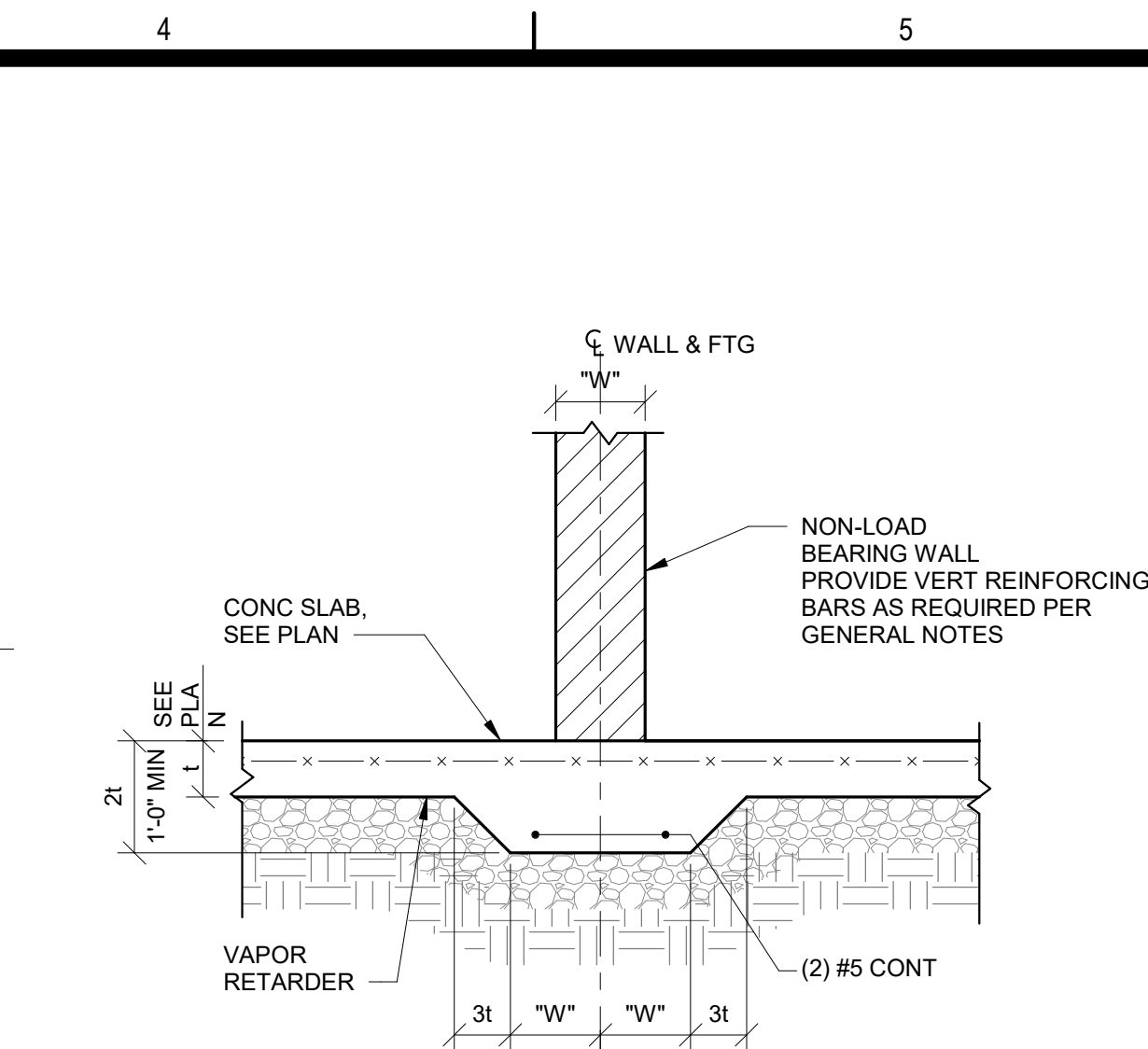
C4 TYPICAL ABUTMENT PLAN
3/4" = 1'-0"



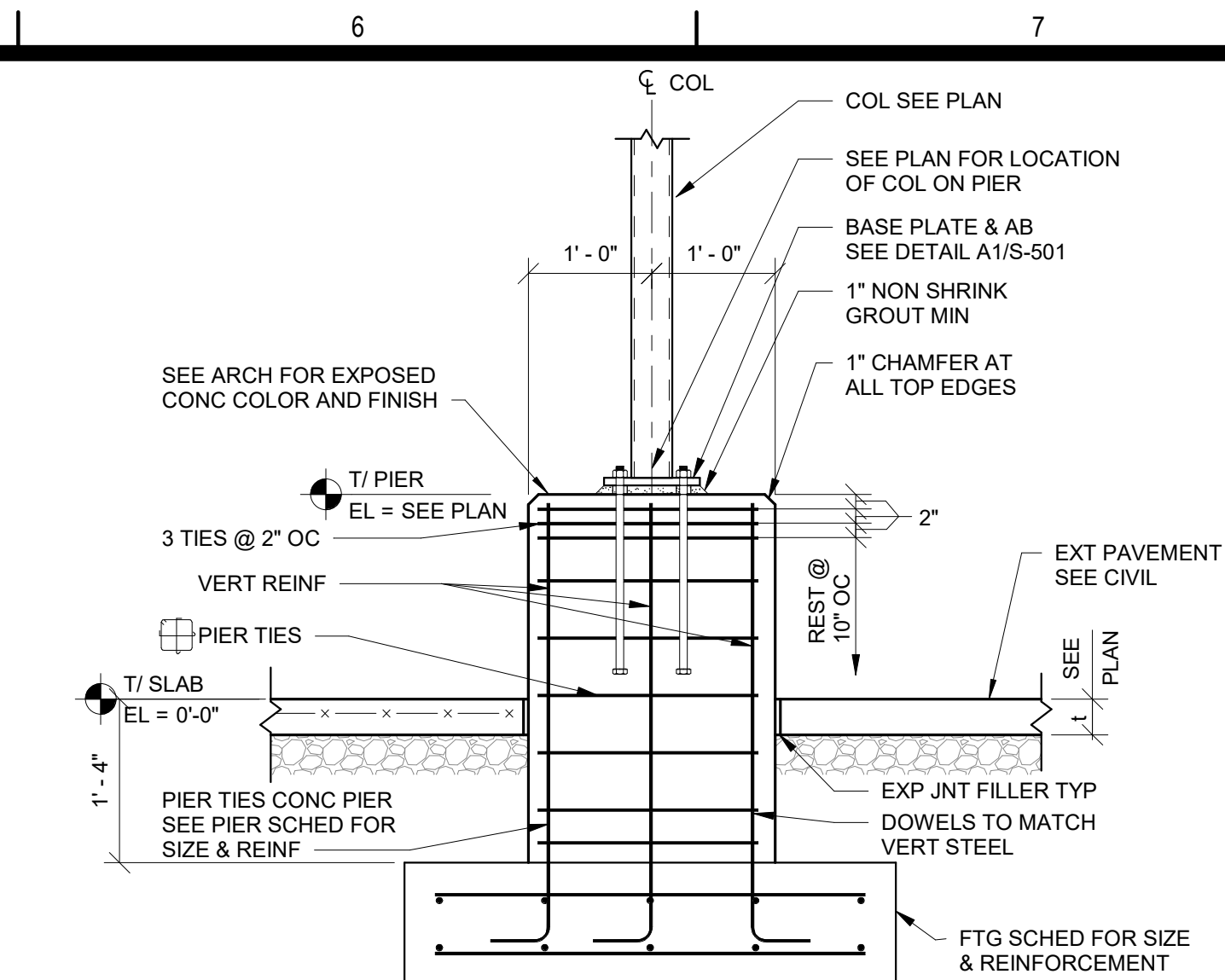
D1 FOOTING SECTION
3/4" = 1'-0"



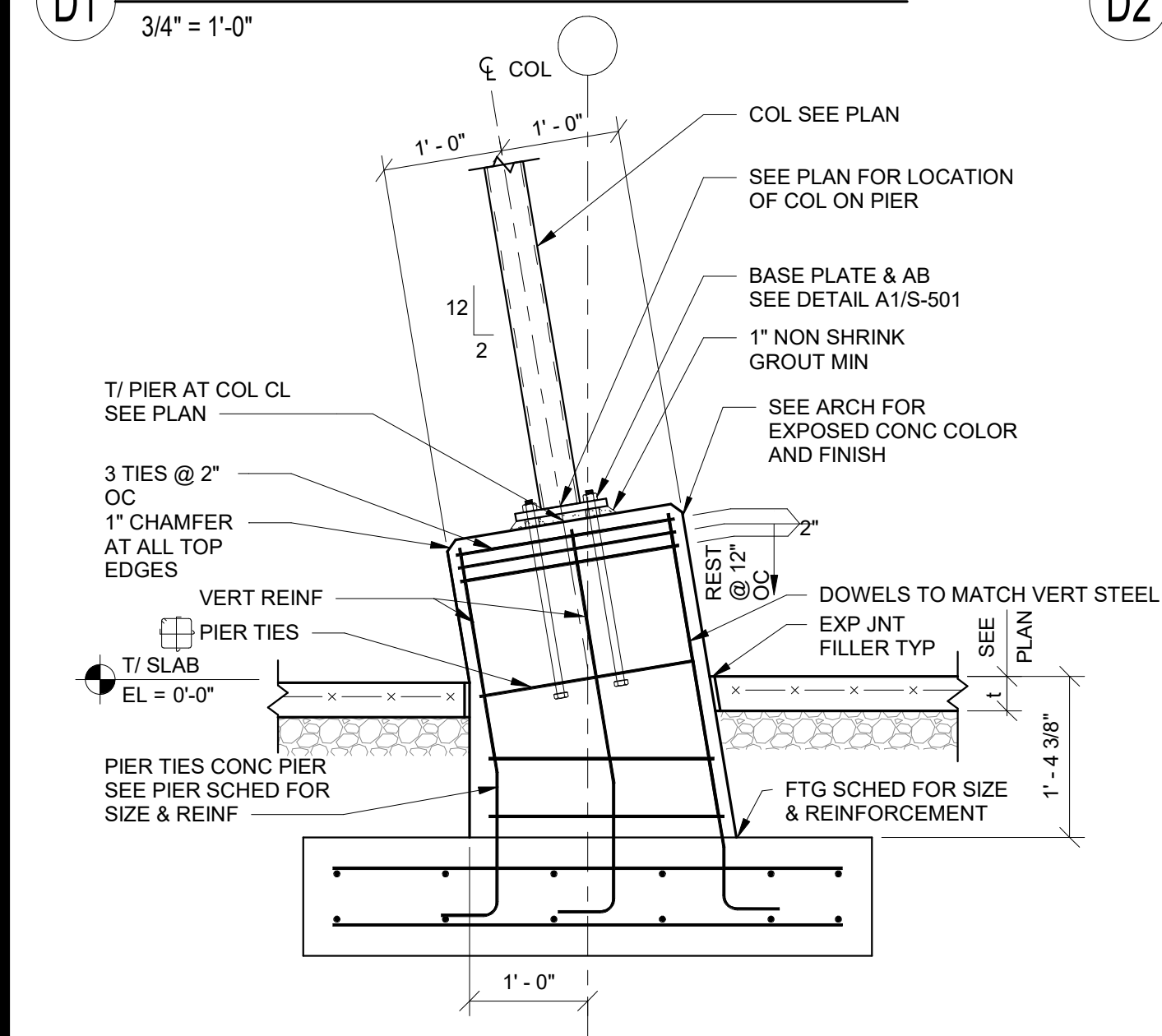
D2 TYPICAL DOOR SECTION
3/4" = 1'-0"



D4 TYPICAL THICKENED SLAB DETAIL
3/4" = 1'-0"

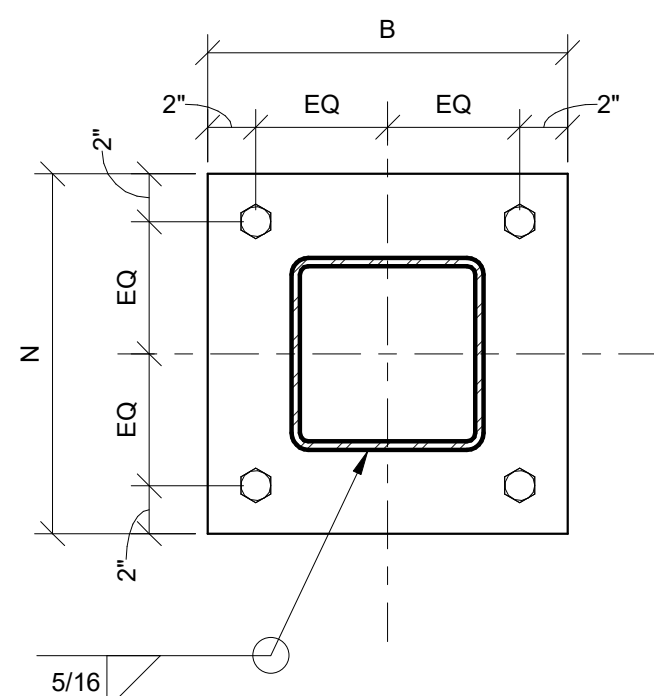


D6 TYPICAL COLUMN PIER
3/4" = 1'-0"

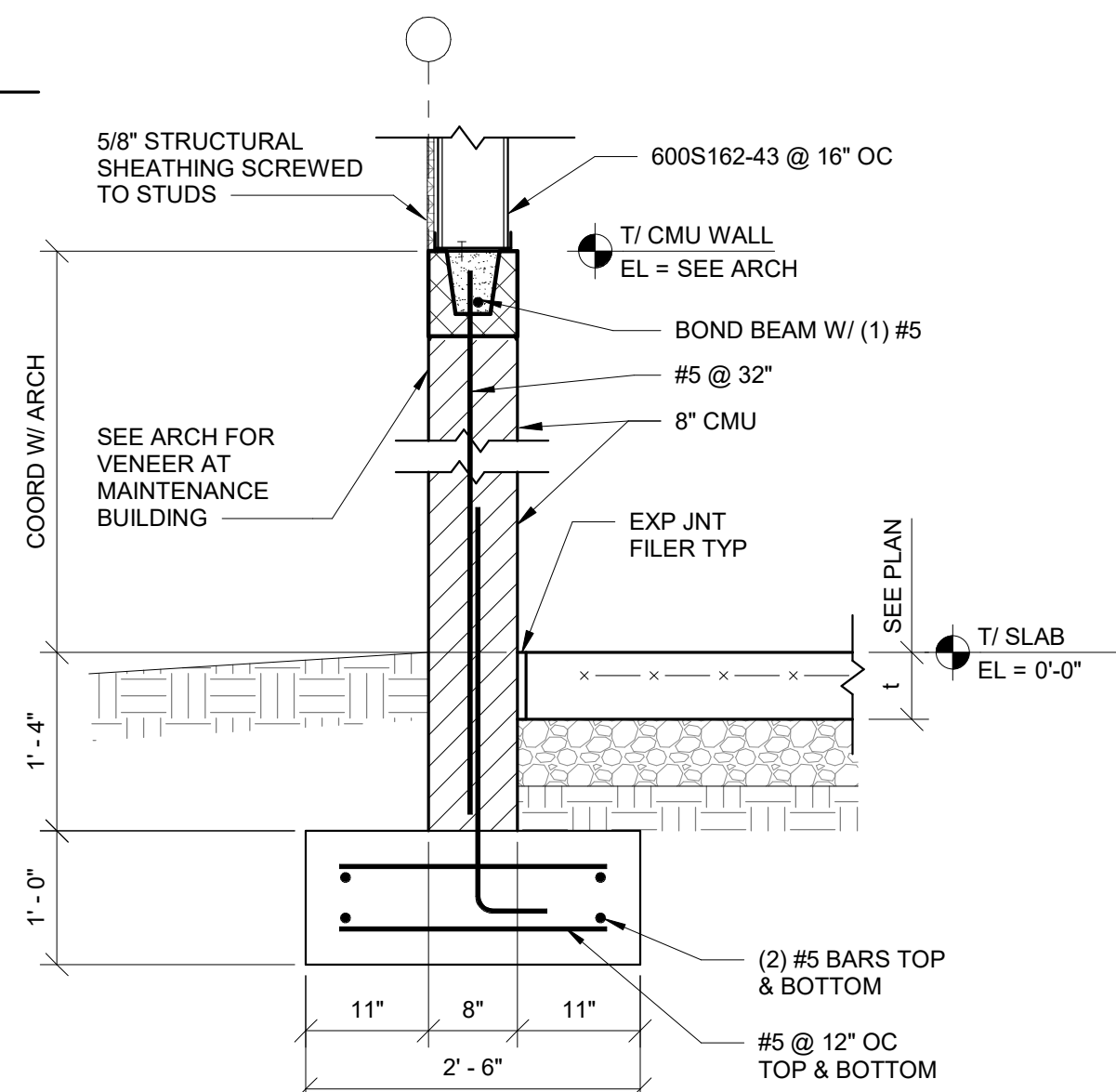


B1 TYPICAL COLUMN PIER
3/4" = 1'-0"

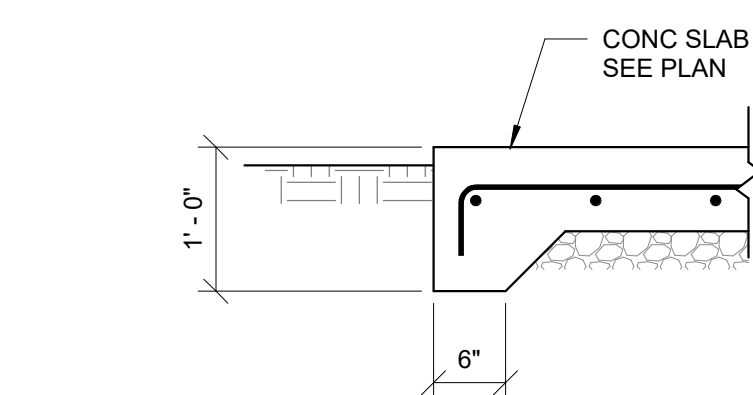
COLUMN	BASEPLATE	ANCHOR BOLT DIA	EMBEDMENT
HSS8X8	15"x15"x3/4"	7/8"	8"
HSS6X6	13"x13"x3/4"	7/8"	8"
HSS4X4	11"x11"x3/4"	7/8"	8"



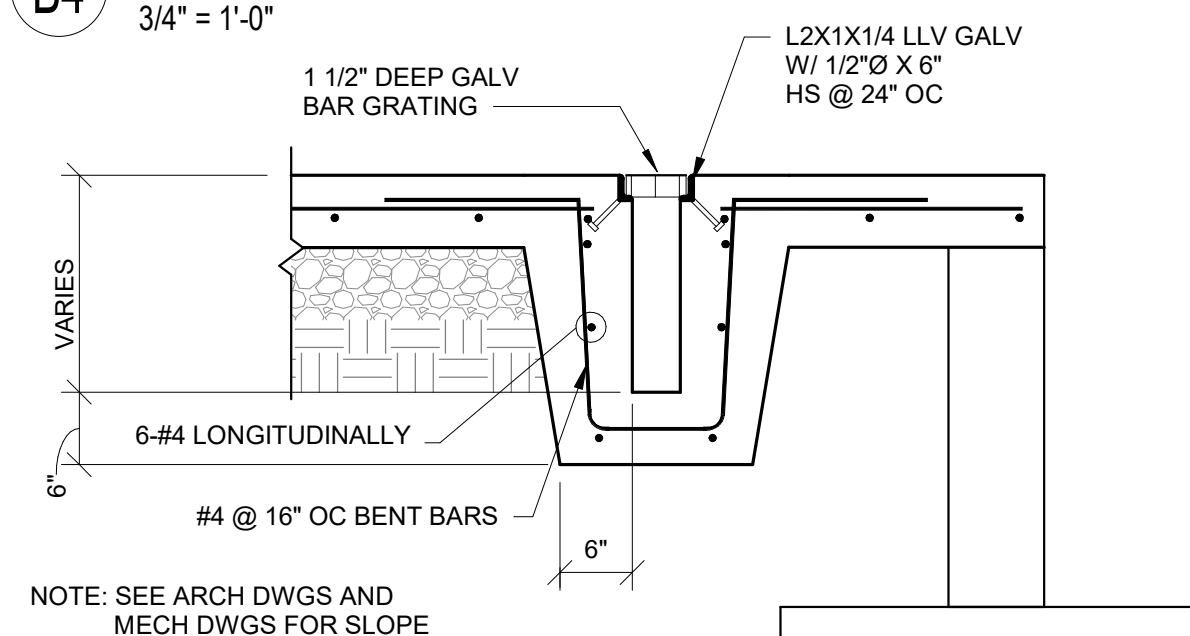
A1 TYPICAL BASE PLATE DETAIL
1 1/2" = 1'-0"



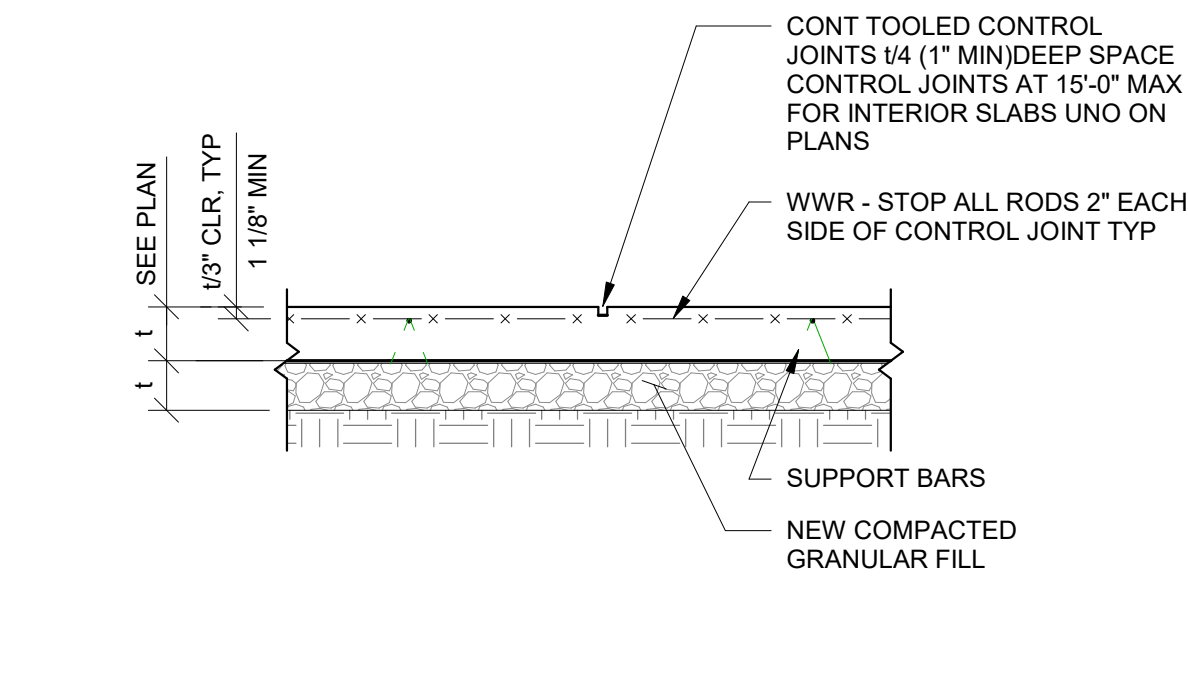
A3 SECTION
3/4" = 1'-0"



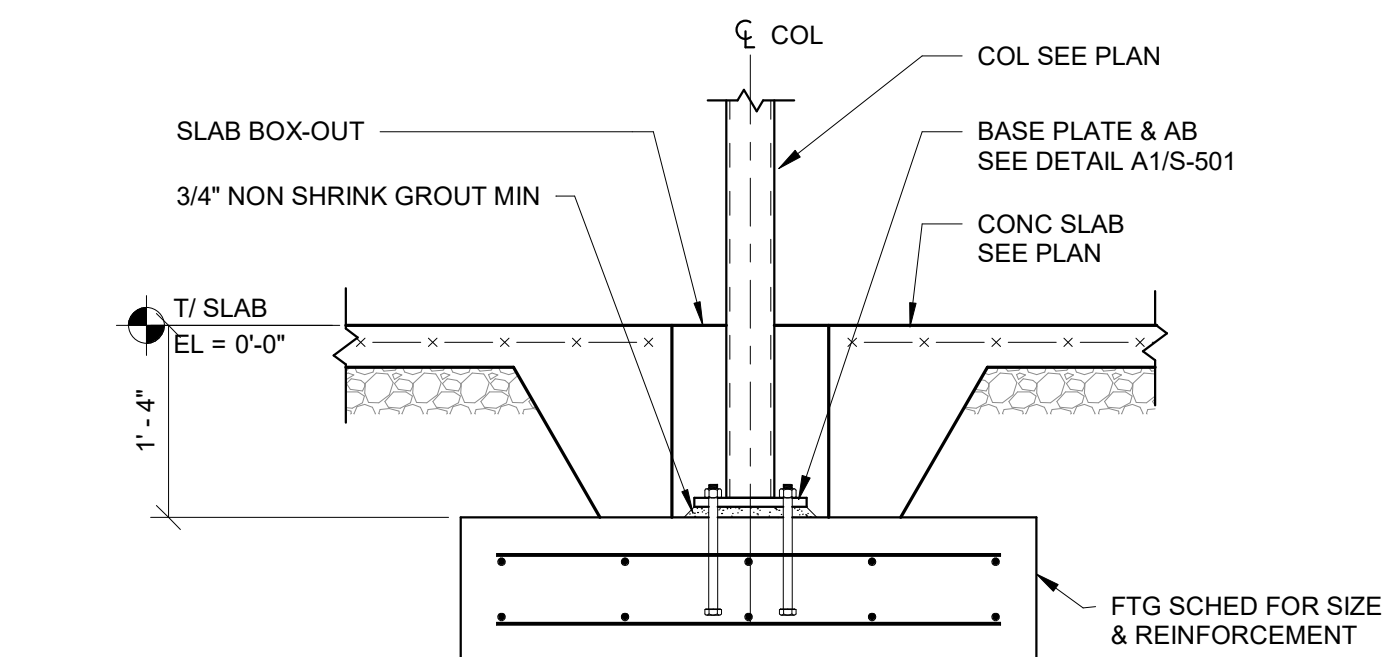
B4 SECTION
3/4" = 1'-0"



A4 TYPICAL TRENCH DRAIN
3/4" = 1'-0"



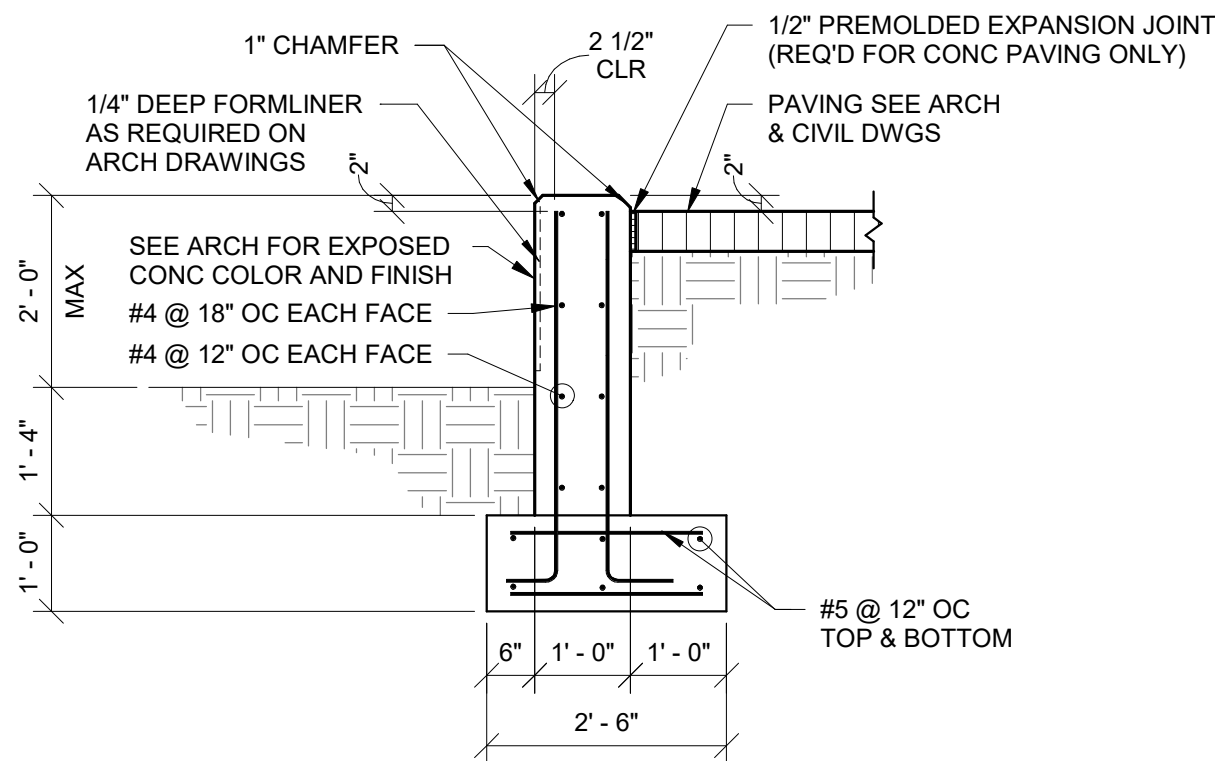
C6 TYPICAL CONCRETE CONTRACTION JOINT
3/4" = 1'-0"



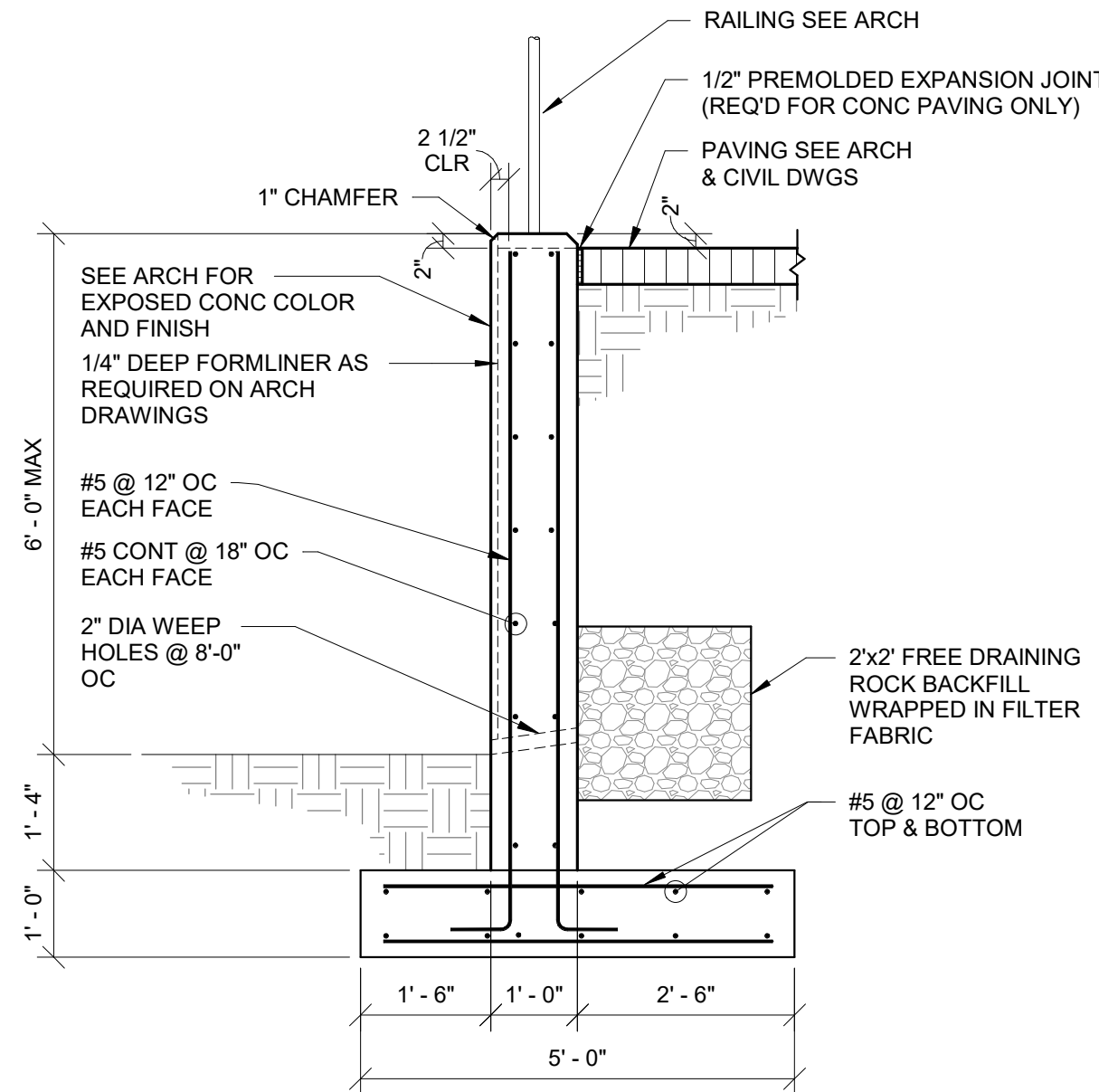
A6 COLUMN BASE
3/4" = 1'-0"

6/13/2023 11:41:38 AM

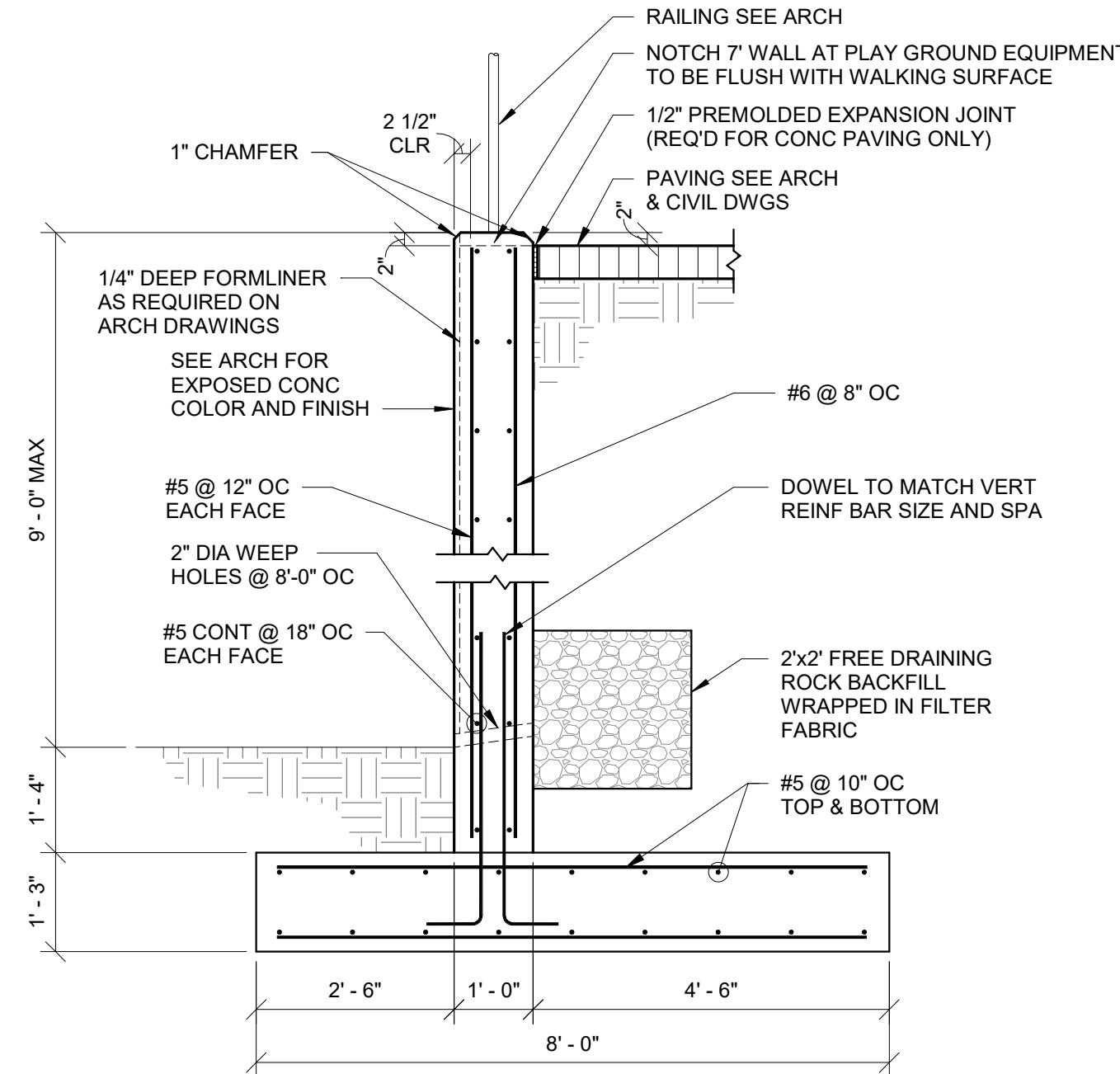
Autodesk Docs://JE Ramsey Park - JE Ramsey Park - Splashpad Pavilion_S1TR_R22.rvt



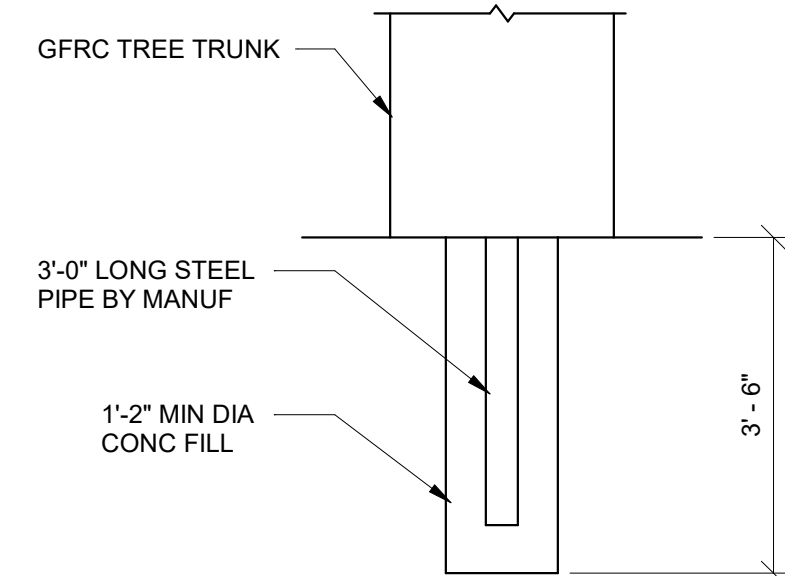
D1 TYPICAL RETAINING WALL LESS THAN 2 FEET
1/2" = 1'-0"



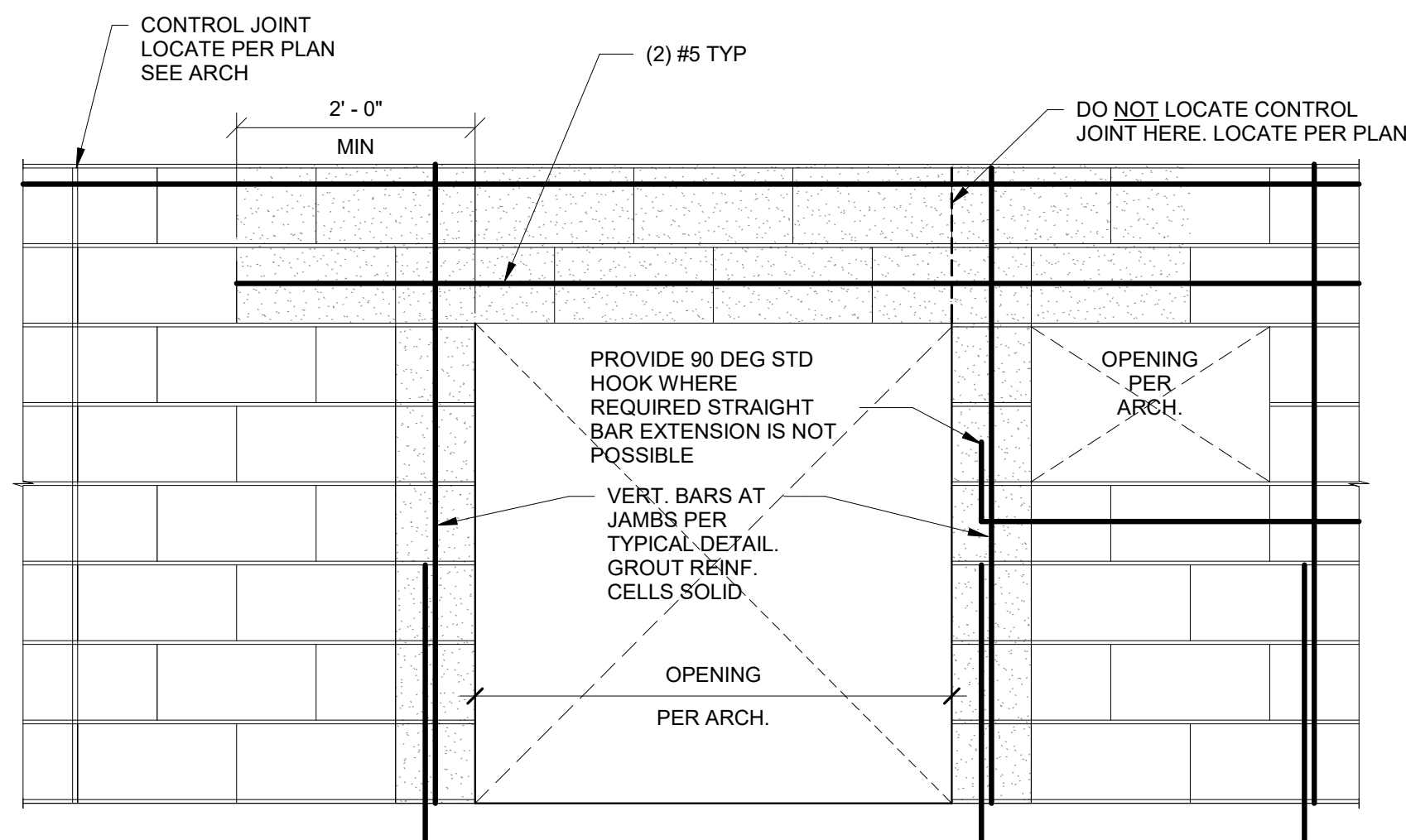
D3 TYPICAL RETAINING WALL 2 TO 6 FEET
1/2" = 1'-0"



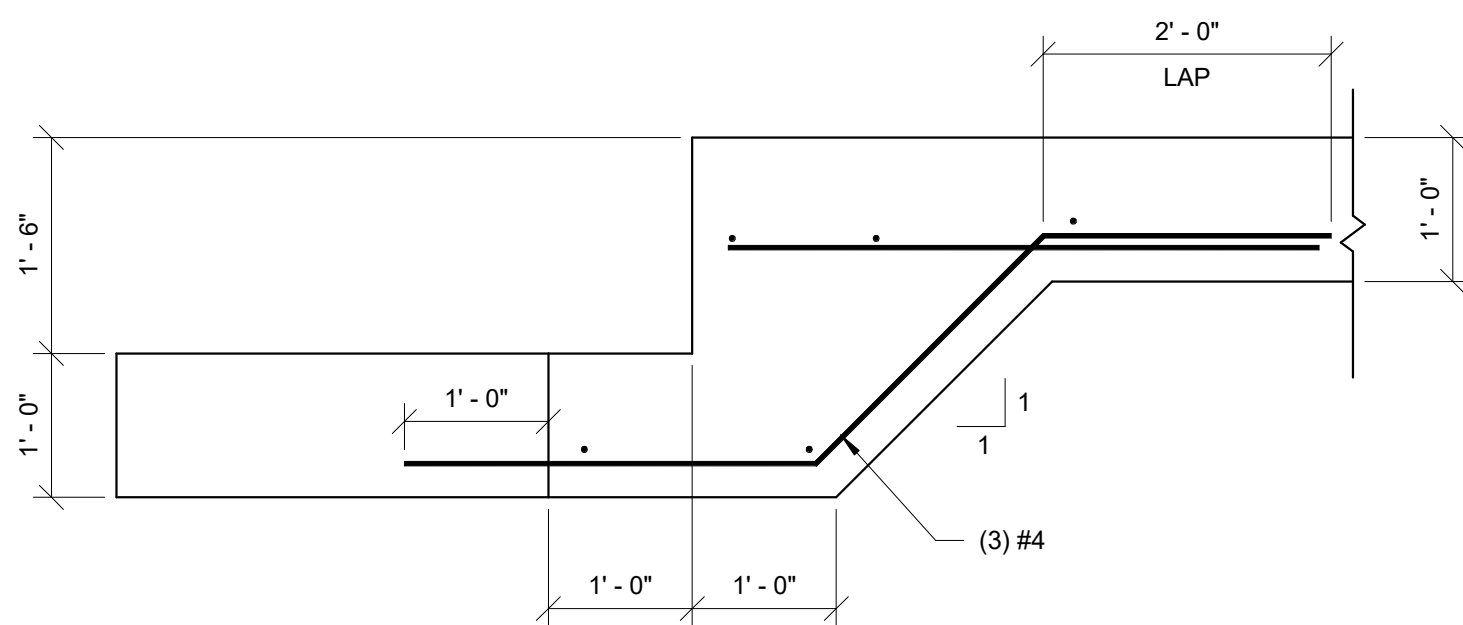
D4 TYPICAL RETAINING WALL 6 TO 9 FEET
1/2" = 1'-0"



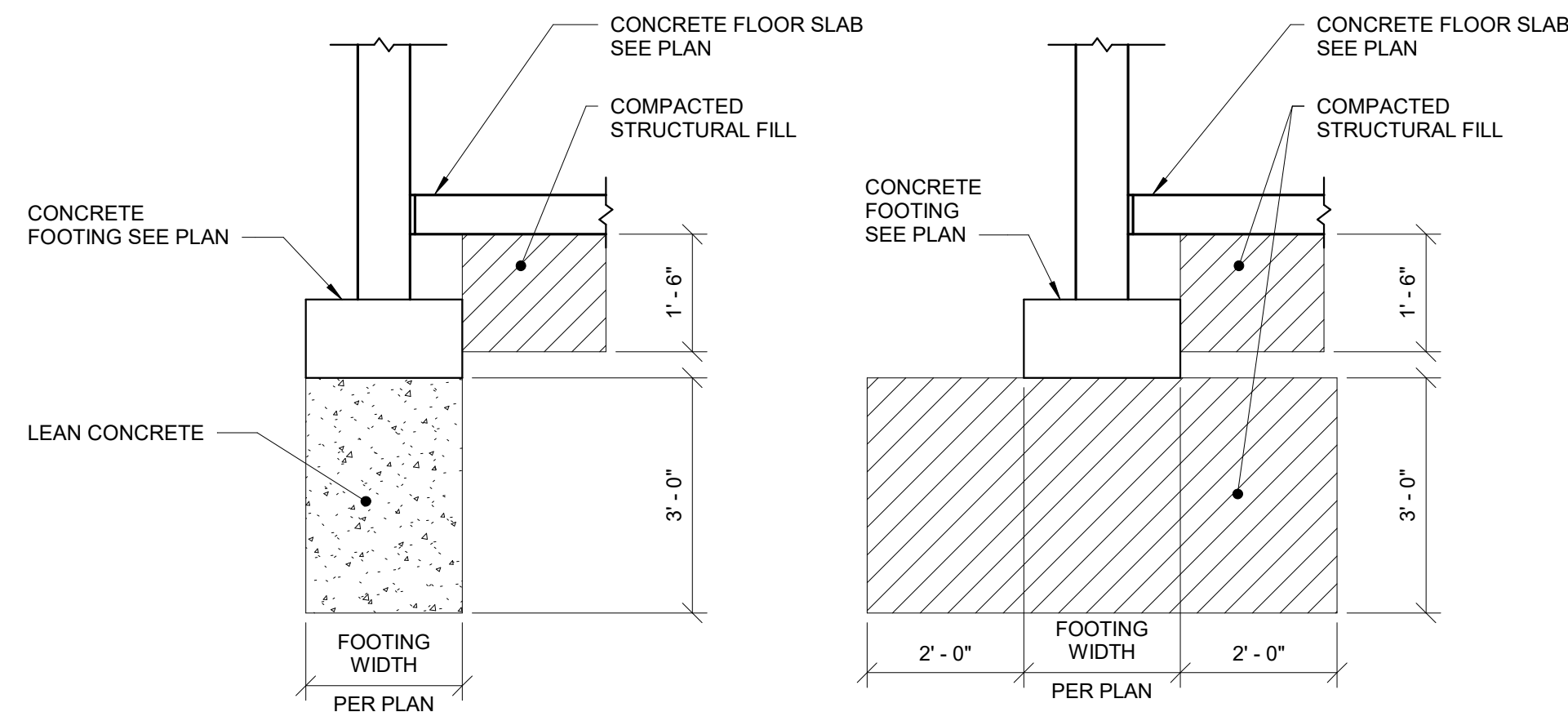
D6 GFRc TREE TRUNK FOUNDATION
1/2" = 1'-0"



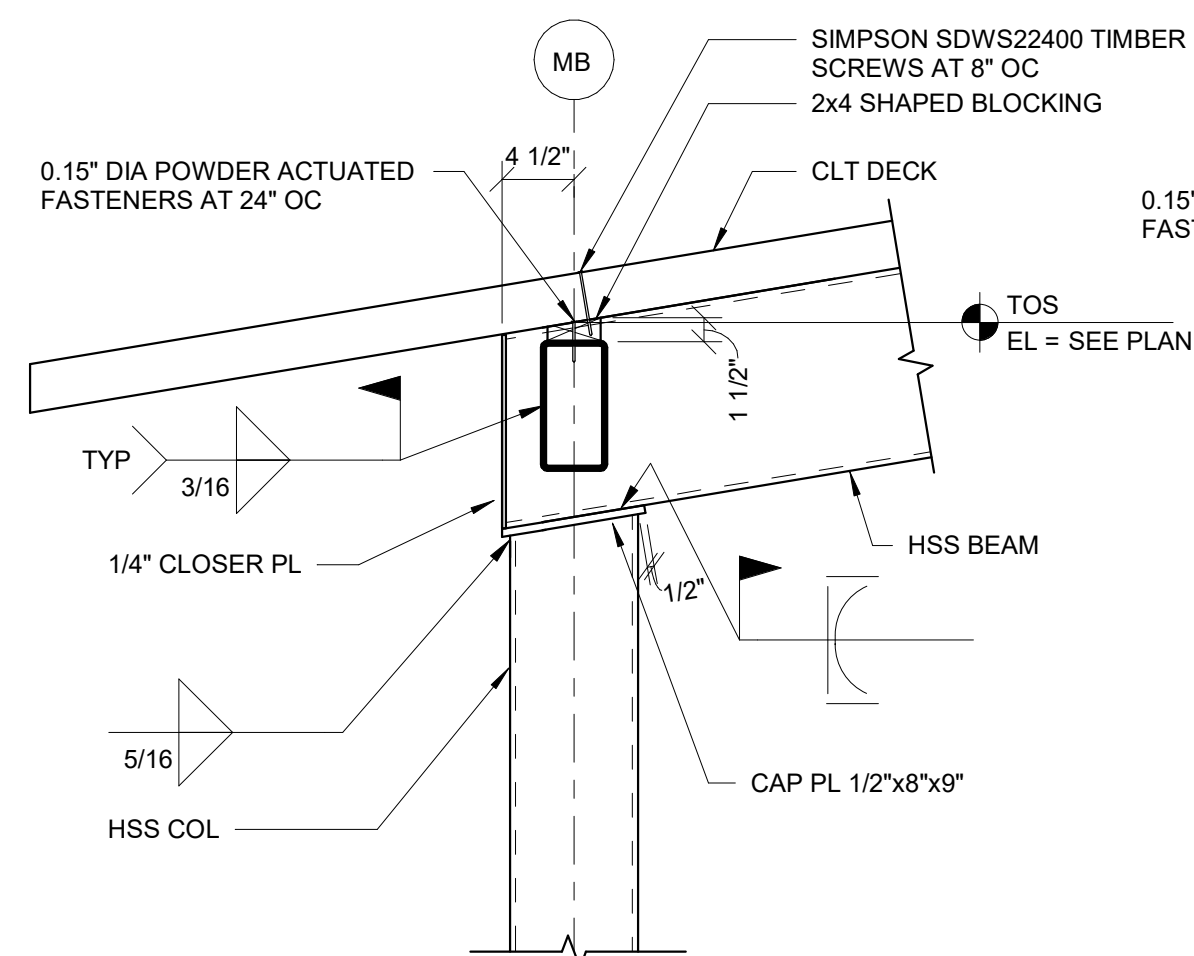
B1 TYP. MASONRY WALL OPENING, UNO
3/4" = 1'-0"



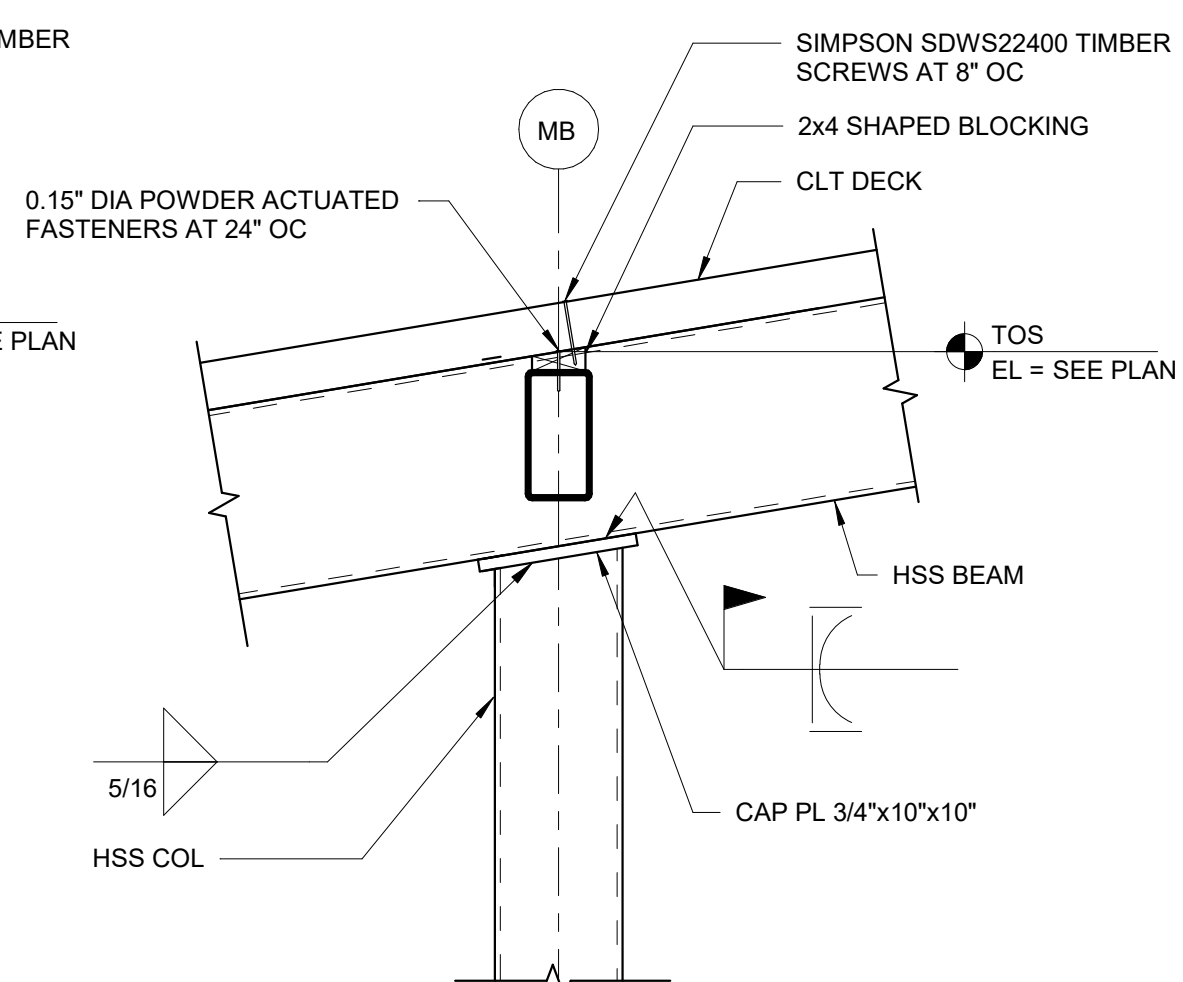
A1 TYPICAL STEPPED FOOTING
3/4" = 1'-0"



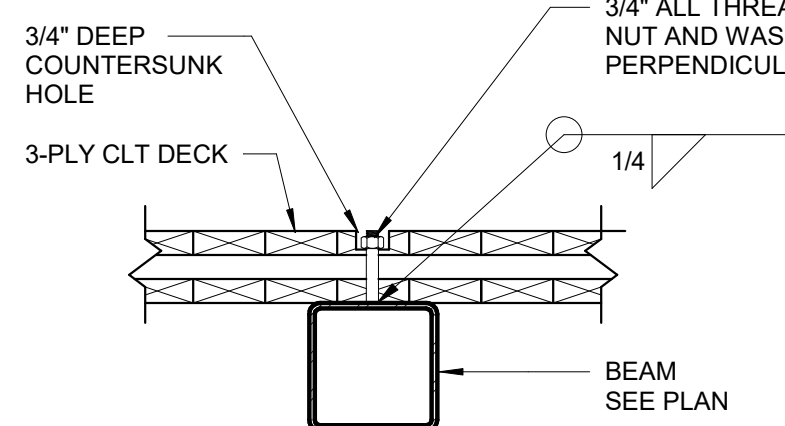
A4 TYP FOOTING OVER-EXCAVATION DETAIL
1/2" = 1'-0"



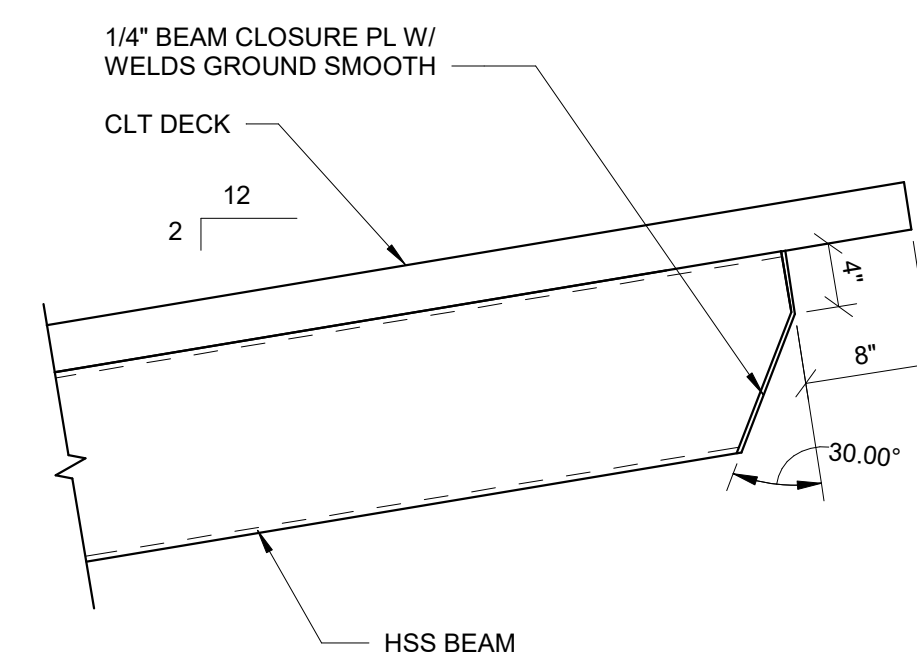
D1 SECTION
1" = 1'-0"



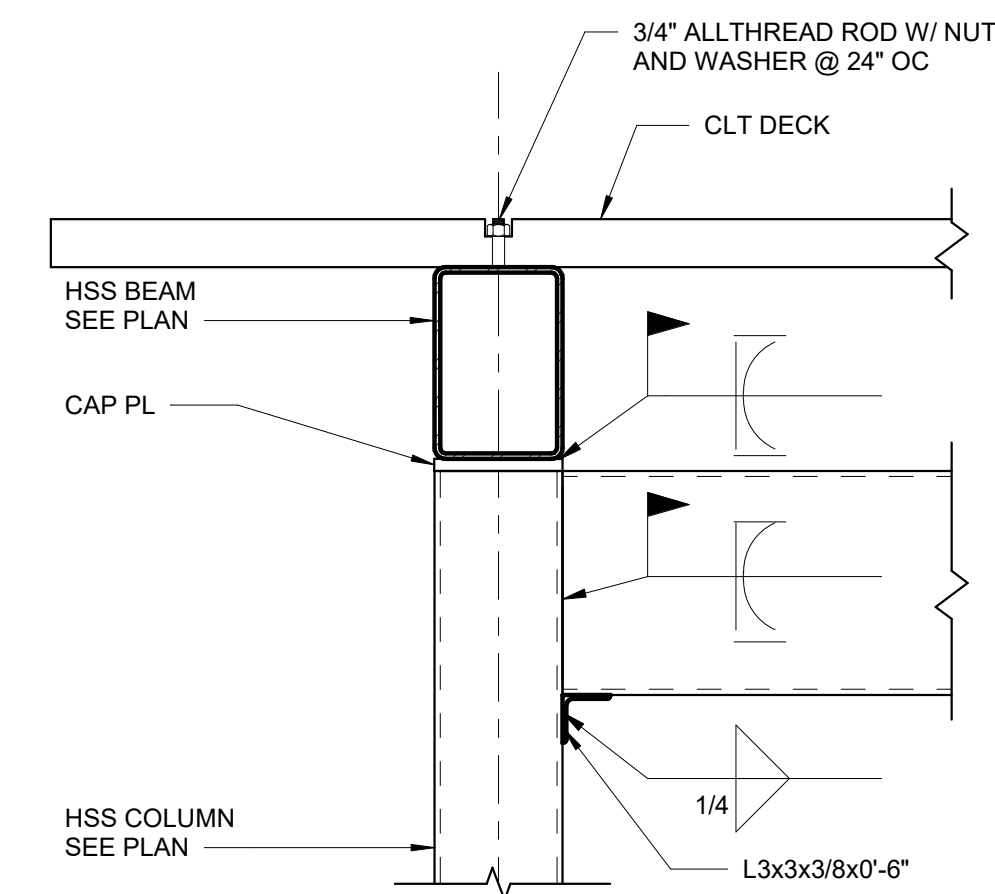
D2 SECTION
1" = 1'-0"



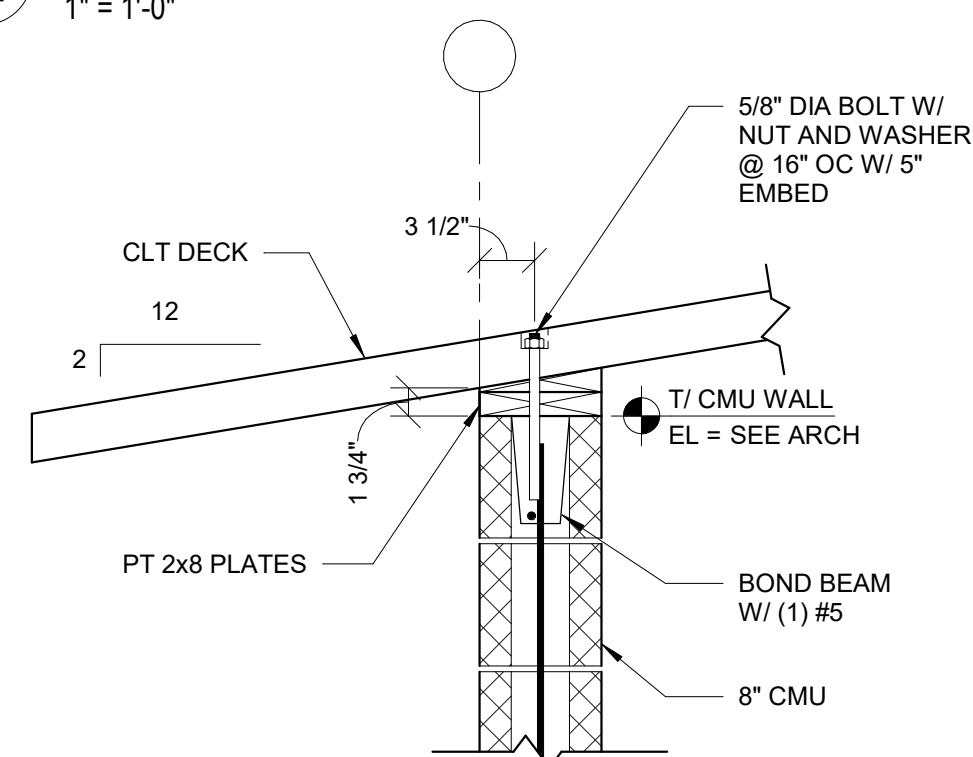
D4 CTL DECK CONNECTION
1" = 1'-0"



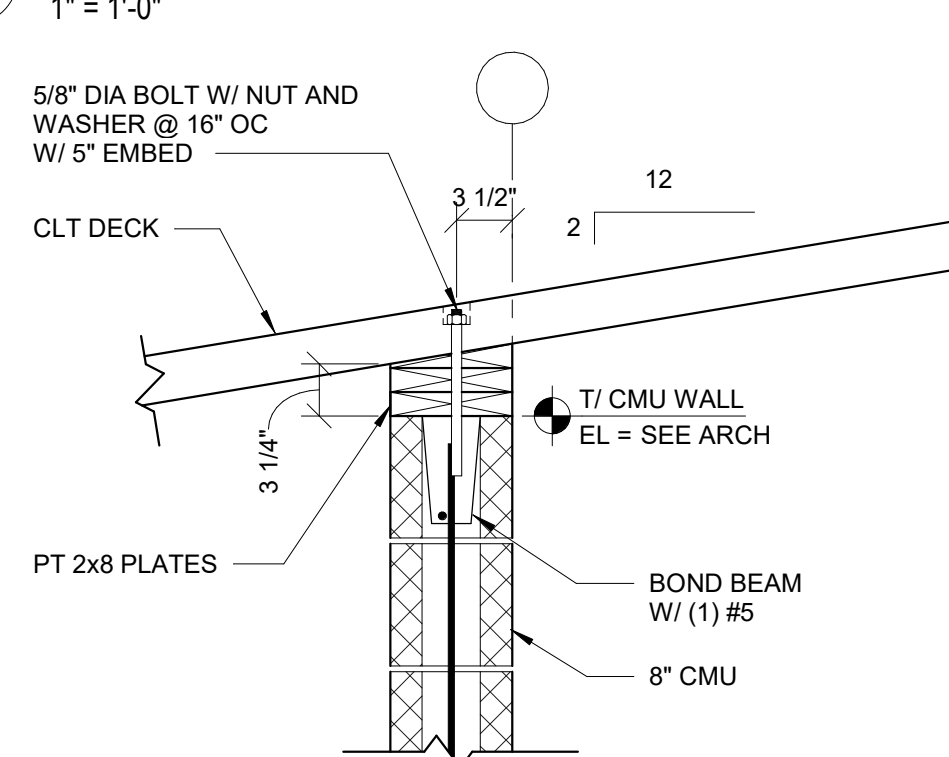
D5 BEAM END DETAIL
1" = 1'-0"



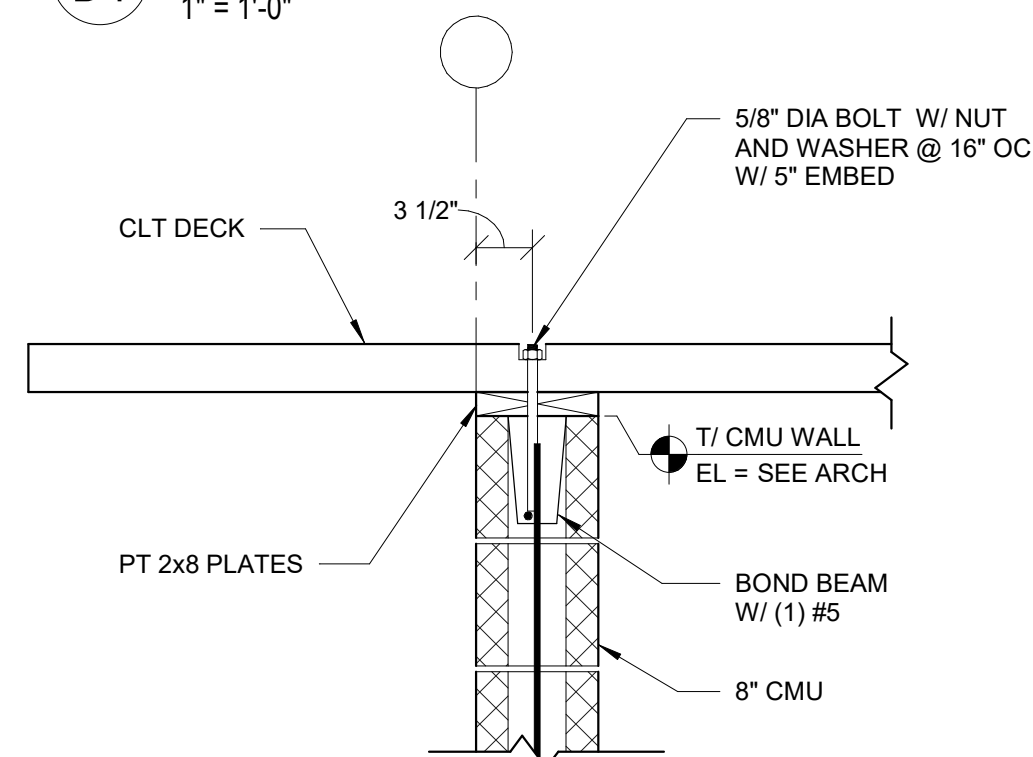
D6 BEAM CONNECTION
1" = 1'-0"



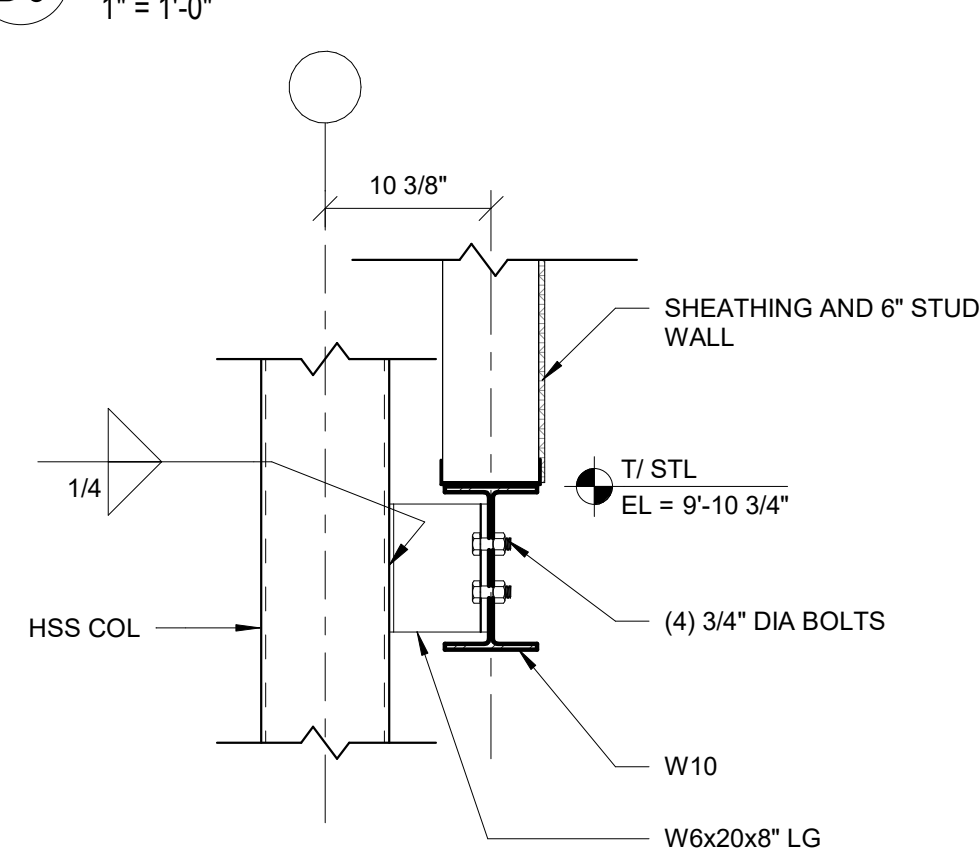
C1 SECTION
1" = 1'-0"



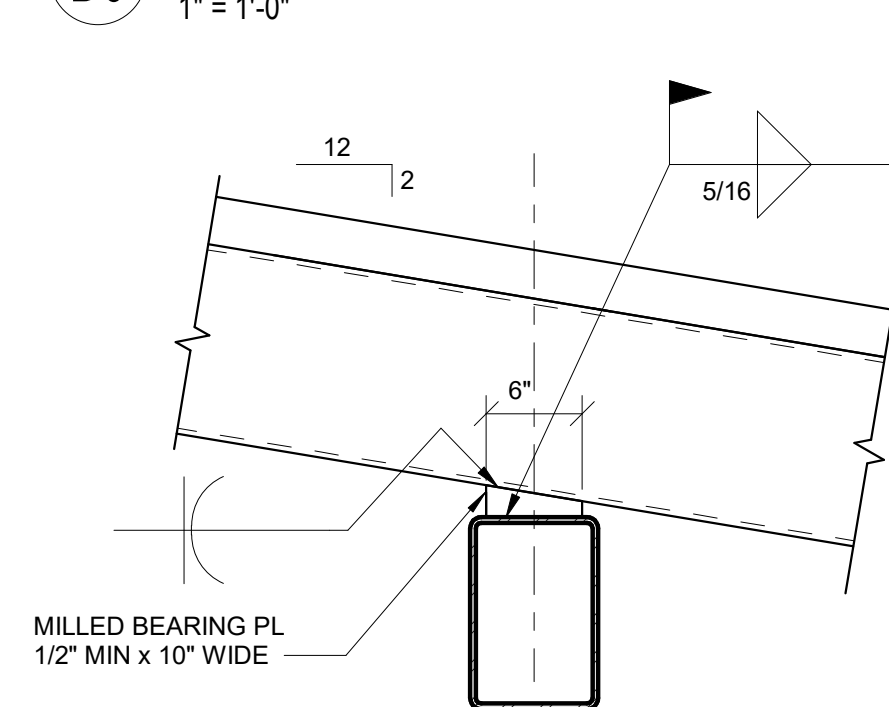
C2 SECTION
1" = 1'-0"



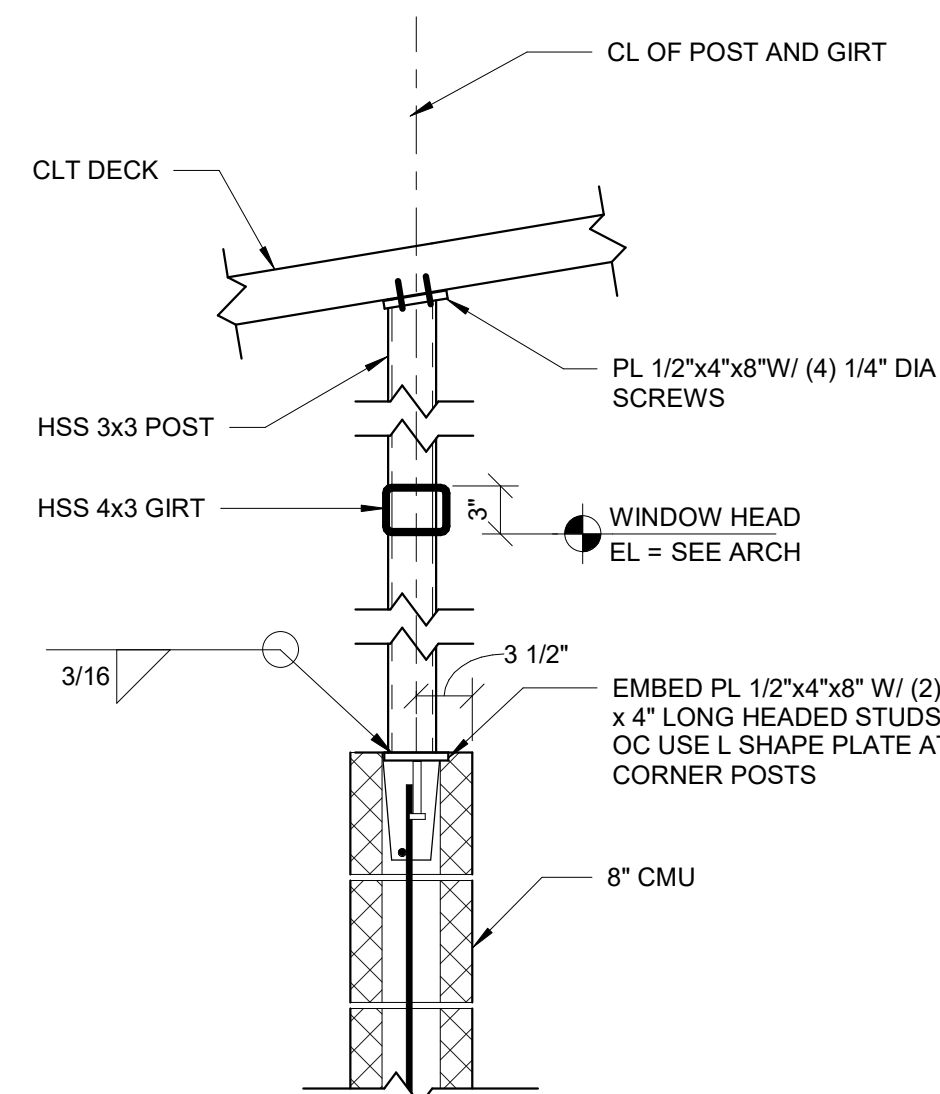
C4 SECTION
1" = 1'-0"



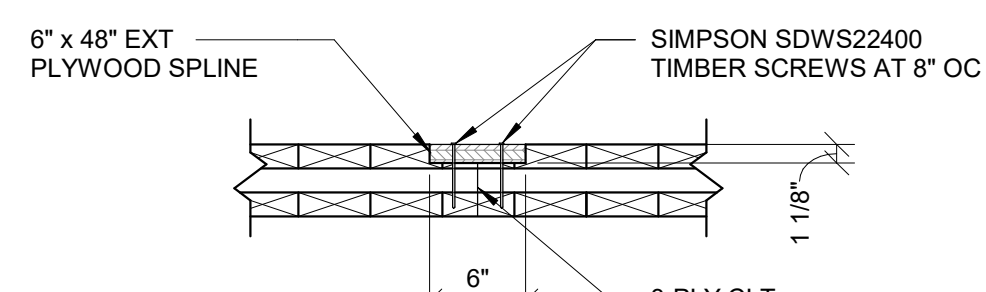
C5 SECTION
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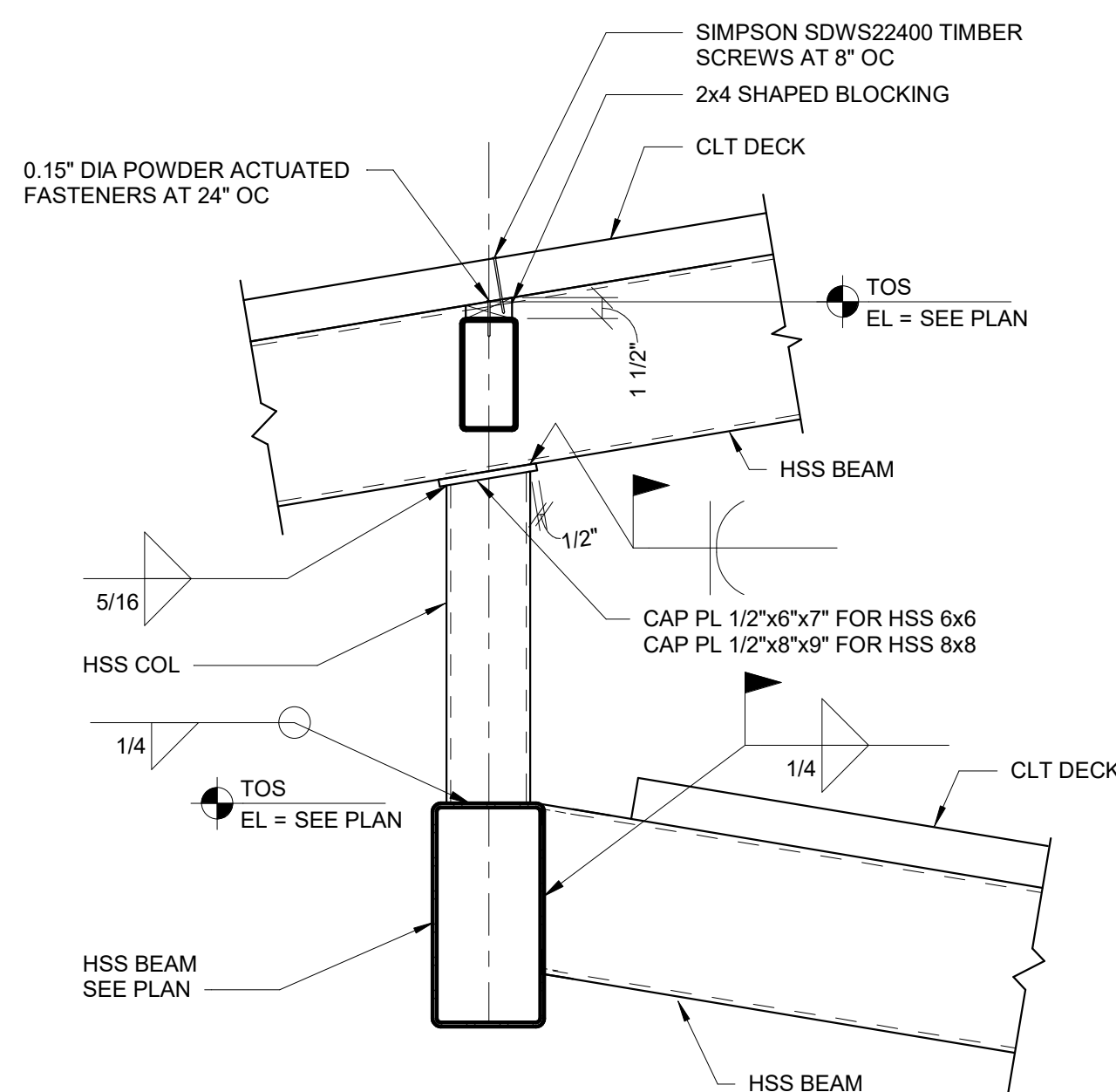
C6 SECTION
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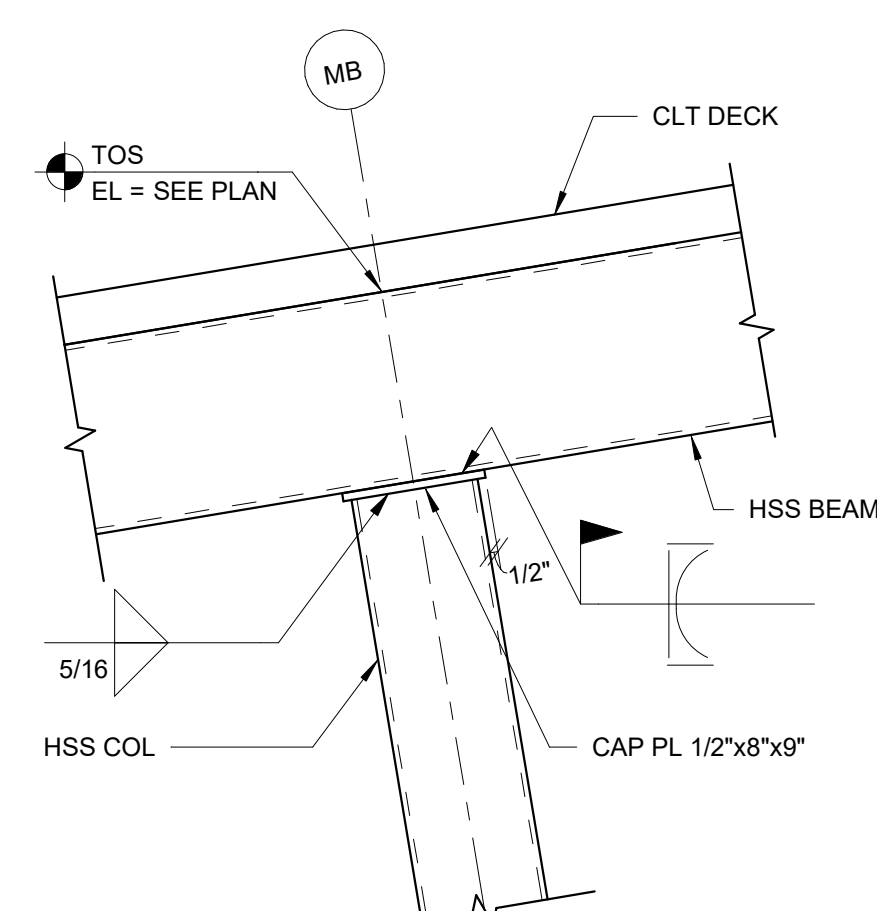
A1 SECTION
1" = 1'-0"



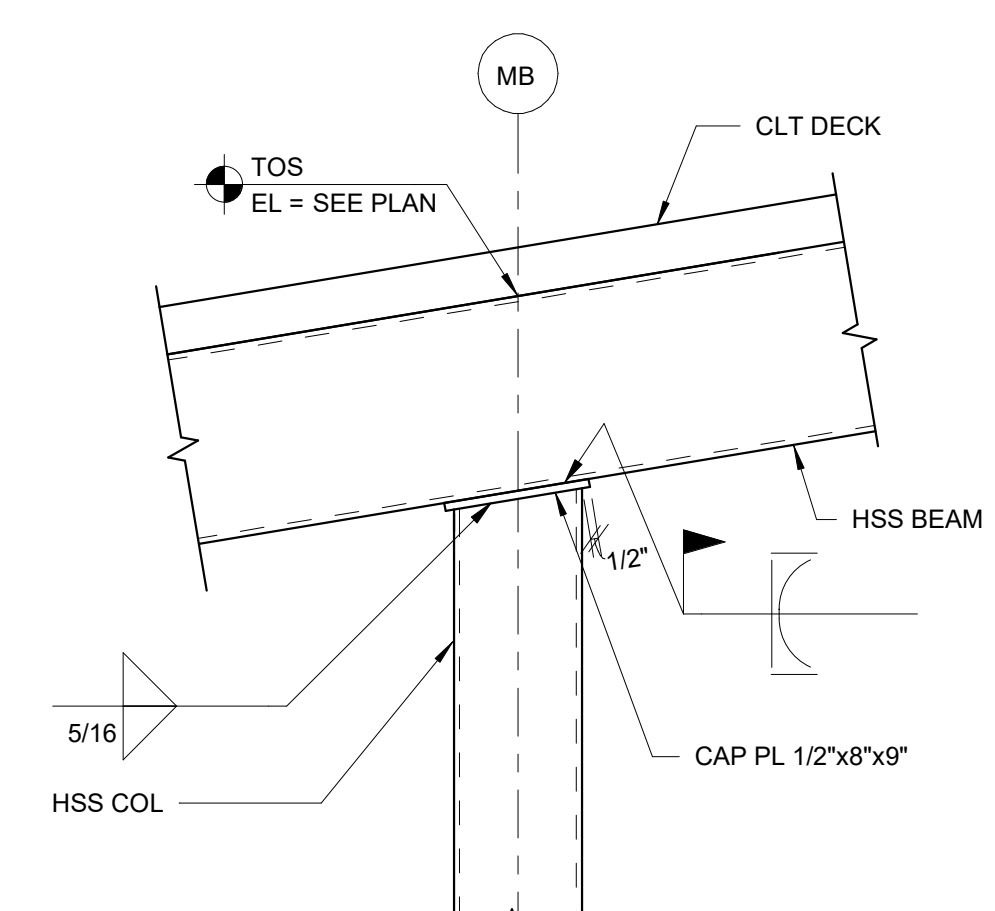
A2 TYPICAL CTL DECK JOINT



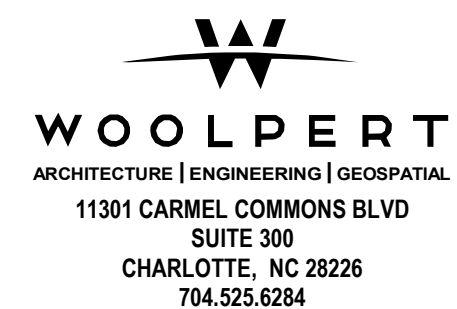
SECTION
1" = 1'-0"



A5 SECTION
1" = 1'-0"



A6 SECTION
1" = 1'-0"



	NUMBER	DATE	ISSUANCE SCHEDULE	DESCRIPTION

CITY OF CONCORD
J.E. "JIM" RAMSEUR PARK
DESIGN DEVELOPMENT DRAWINGS

1252 COX MILL ROAD
CONCORD, NC 28027

PROJECT NO:	081197
DATE ISSUED:	06/15/2023
<hr/>	
DESIGNED BY:	DM
DRAWN BY:	LB
CHECKED BY:	MM

SHEET NAME:
FRAMING DETAILS

SHEET NO:

S-505

01/14/25 - ISSUED FOR BIDDING

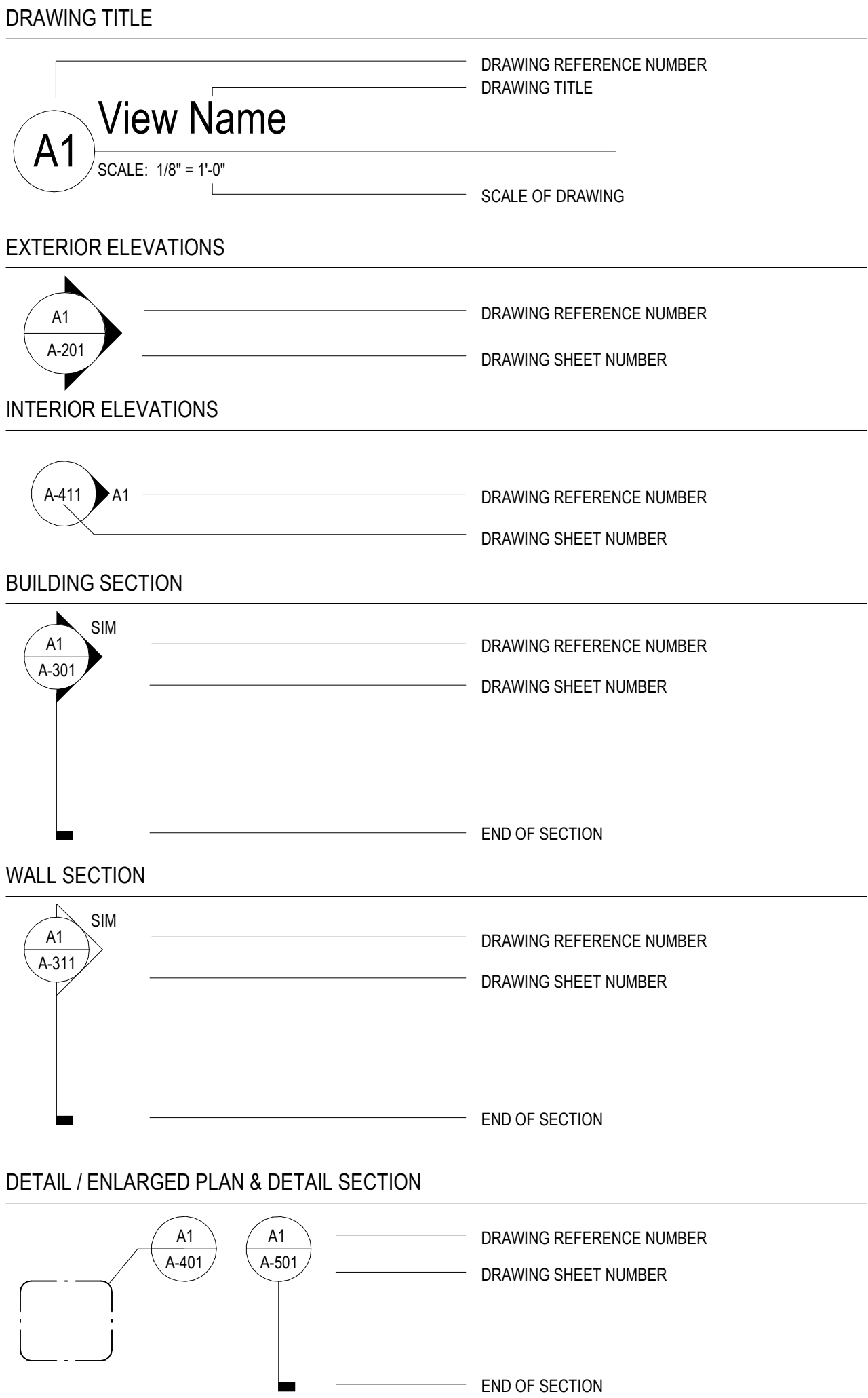
ABBREVIATIONS

SYMBOLS	
&	AND
∠	ANGLE
@	AT
⊙	CENTER LINE
∅	DIAMETER
□	CHANNEL
A	
ACOUS	ACOUSTICAL
ACP	ACOUSTICAL PANEL
ACPL	ACOUSTICAL PLASTER
ACT	ACOUSTICAL CEILING TILE
ADJ	ADJUSTABLE
AFF	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
AHR	ANCHOR
ALT	ALTERNATE
ALUM	ALUMINUM
APPROX	APPROXIMATELY
AP	ACOUSTICAL PANEL
APT	ACCENT PAINT
ATTEN	ATTENUATION
B	
BD	BOARD
BLDG	BUILDING
BLK	BLOCK
BM	BEAM
BMD	BOTTOM OF METAL DECK
BOD	BOTTOM OF DECK
BOT	BOTTOM
BRG	BEARING
BRK	BRICK
BSMT	BASEMENT
C	
C	COURSE(S)
CAB	CABINET
CB	CATCH BASIN
CEM	CEMENT
CEM PLAS	CEMENT PLASTER
CER	CERAMIC
CG	CORNER GUARD
CJ	CONTROL JOINT
CLG	CEILING
CLT	CROSS-LAMINATED TIMBER
CM	CERAMIC MOSAIC
CMU	CONCRETE MASONRY UNIT
CO	CLEAN OUT
COL	COLUMN
CONC	CONCRETE
CONSTR	CONSTRUCTION
CONT	CONTINUOUS
CPT	CARPET
CR	COLD ROLLED
CT	CERAMIC TILE
CTB	CERAMIC TILE BASE
CTW	CERAMIC TILE WAINSCOT
D	
DBL	DOUBLE
DET	DETAIL
DIA	DIAMETER
DIAG	DIAGONAL
DIM	DIMENSION
DISP	DISPENSER
DN	DOWN
DR	DOOR
DS	DOWNSPOUT
DWG	DRAWING
E	
E	EAST
EA	EACH
EG	EDGE GUARD
EH	ELECTRIC HEATER
EIFS	EXTERIOR INSULATION FINISH SYSTEM
EJ	EXPANSION JOINT
EL	ELEVATION
ELEC	ELECTRICAL
ELEV	ELEVATION
ENAM	ENAMEL
EPT	EPOXY PAINT
EQ	EQUAL
EQUIP	EQUIPMENT
EW	EACH WAY
EWC	ELECTRIC WATER COOLER
EXIST	EXISTING
EXP	EXPANSION
EXP	EXPOSED STRUCTURE
EXT	EXTERIOR
F	
FD	FLOOR DRAIN
FDTN	FOUNDATION

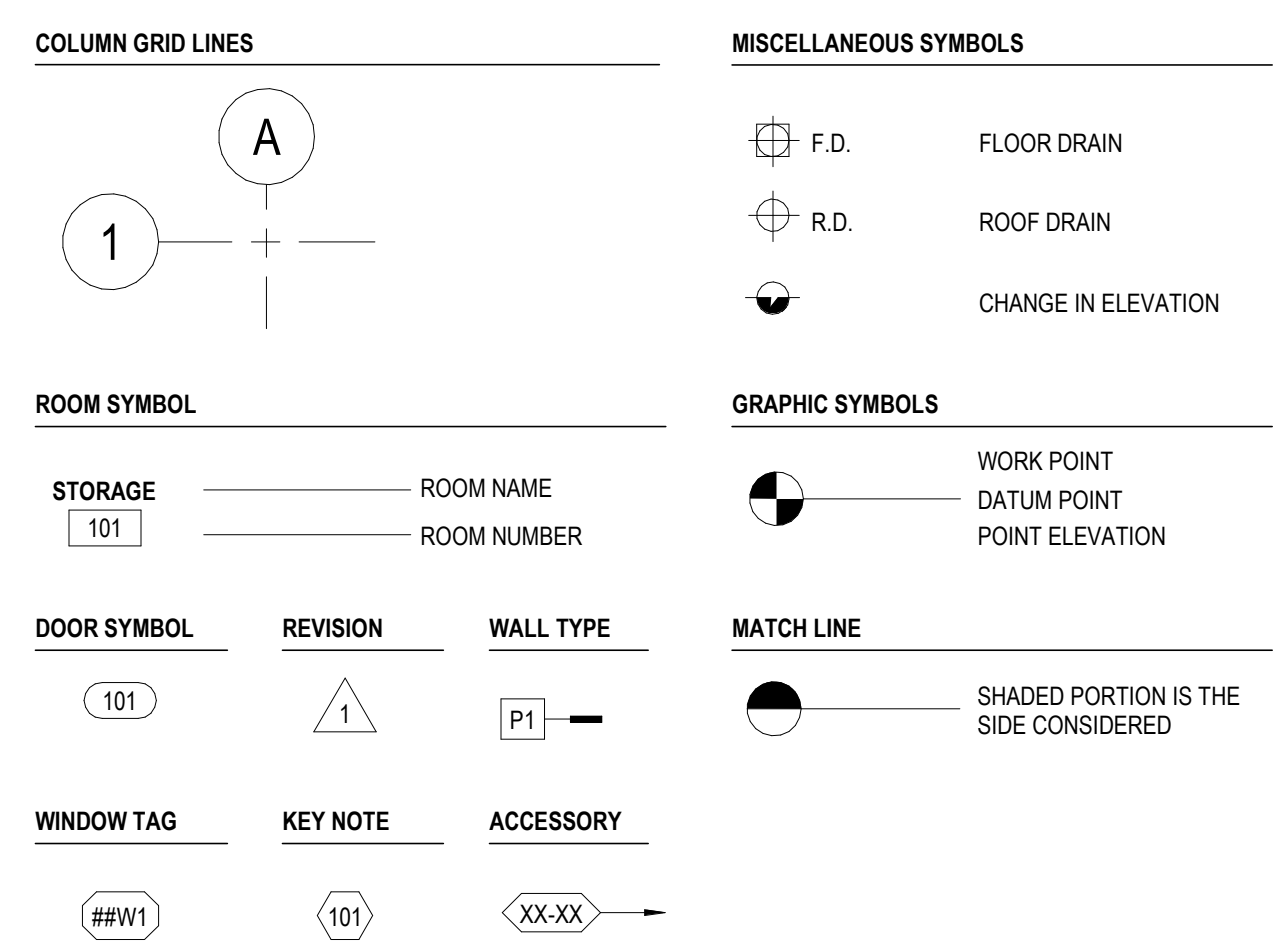
F Cont'd.	
FEC	FIRE EXTINGUISHER CABINET
FFC	FROM FACE OF CMU
FH	FLAT HEAD
FIN	FINISH
FLR	FLOOR
FLUOR	FLUORESCENT
F.PRG	FIREPROOFING
FR	FRAME
FRT	FIRE RETARDANT TREATED
FSEP	FOOD SERVICE EQUIPMENT PROVIDER
FT	FOOT
FTG	FOOTING
FV	FIELD VERIFY
G	
G	GROUND
G BLK	GLAZED BLOCK
GA	GAUGE
GALV	GALVANIZED
GB	GYPSUM BOARD
GC	GENERAL CONTRACTOR
GEN	GENERAL
GFCI	GROUND FAULT CIRCUIT INTERRUPT
GI	GALVANIZED IRON
GL	GLASS
GL BLK	GLASS BLOCK
GS	GROUT SOLID
GT	GLAZED TILE
GT	GROUT
GWB	GYPSUM WALL BOARD
GYP	GYPSUM
GYP BD	GYPSUM BOARD
GYP PLAS	GYPSUM PLASTER
H	
HC	HOLLOW CORE
HD	HEAD
HDW	HARDWARE
HDWD	HARDWOOD
HM	HOLLOW METAL
HNDRL	HANDRAIL
HORIZ	HORIZONTAL
HT	HEIGHT
I	
ID	INSIDE DIAMETER
IN	INCH
INSUL	INSULATION
INT	INTERIOR
INV	INVERT
J	
JAN	JANITOR
JT	JOINT
J-BOX	JUNCTION BOX
K	
KIT	KITCHEN
KPL	KICKPLATE
L	
LAM	LAMINATE
LAV	LAVATORY
LINO	LINOLEUM
LT WT	LIGHT WEIGHT
LVR	LOUVER
M	
MACH	MACHINE
MAX	MAXIMUM
MB	MARKER BOARD
MB/MR	MARKER BOARD/MAP RAIL
MECH	MECHANICAL
MFR	MANUFACTURER
MGB	MOISTURE GYPSUM BOARD
MGYP BD	MOISTURE GYPSUM BOARD
MH	MAN HOLE
MIN	MINIMUM
MIRR	MIRROR
MR	MOISTURE RESISTANT
MO	MASONRY OPENING
MTL	METAL
MULL	MULLION
N	
N	NORTH
NIC	NOT IN CONTRACT
NOM	NOMINAL
NTS	NOT TO SCALE
O	
OC	ON CENTER
OFOI	OWNER FURNISHED OWNER INSTALLED
OH	OVERHANG
OHD	OVERHEAD DOOR
OD	OUTSIDE DIAMETER
OPNG	OPENING
OPP	OPPOSITE

P	
PC	PRECAST CONCRETE
PL	PLATE
PEMB	PRE-ENGINEERED METAL BUILDING
PLAS	PLASTER
PLYWD	PLYWOOD
PORC	PORCELAIN
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PT	PAINT
PTD	PAPER TOWEL DISPENSER
PTN	PARTITION
PVC	POLYVINYL CHLORIDE
Q	
QT	QUARRY TILE
R	
R	RADIUS
R	RISERS
RB	RESILIENT BASE
RBR	RUBBER
RCP	REFLECTED CEILING PLAN
RD	ROOF DRAIN
REC	RECESSED
REF	REFERENCE
REINF	REINFORCED
REQD	REQUIRED
RES	RESISTANT
RESIL	RESILIENT
RET	RETAINING
RM	ROOM
RO	ROUGH OPENING
S	
S	SOUTH
SC	SEALED CONCRETE
SCHED	SCHEDULE
SCW	SOLID CORE WOOD
SECT	SECTION
SHT	SHEET
SIM	SIMILAR
SKF	SPECIALTY KITCHEN FLOORING
SLNT	SEALANT
SPEC	SPECIFICATION
SQ	SQUARE
SRB	STAIR RUBBER BASE
SSMR	STANDING SEAM METAL ROOF
SST	STAINLESS STEEL
STD	STANDARD
STL	STEEL
STUC	STUCCO
STRUCT	STRUCTURAL
SUSP	SUSPENDED
SV	SHEET VINYL
T	
T	TREADS
T & B	TOP AND BOTTOM
T & G	TONGUE AND GROOVE
TB	TACK BOARD
TEL	TELEPHONE
TER	TERRAZZO
TFF	TO FINISHED FACE
TOC	TOP OF CONCRETE
TOM	TOP OF MASONRY
TOS	TOP OF STEEL
TOW	TOP OF WALL
THRU	THROUGH
TS	TACK STRIP
TTD	TOILET TISSUE DIPENSER
TYP	TYPICAL
U	
UR	URINAL
UNO	UNLESS NOTED OTHERWISE
V	
VCP	VITRIFIED CLAY PIPE
VCT	VINYL COMPOSITION TILE
VET	VINYL ENHANCED TILE
VERT	VERTICAL
VWB	VENTED WALL BASE
VWC	VINYL WALL COVERING
W	
W	WEST
W	WITH
WC	WATER CLOSET
WD	WOOD
WF	WIDE FLANGE
WDP	WOOD SIDING
WR	WATER-RESISTANT
WP	WATERPROOF
WWF	WELDED WIRE FABRIC

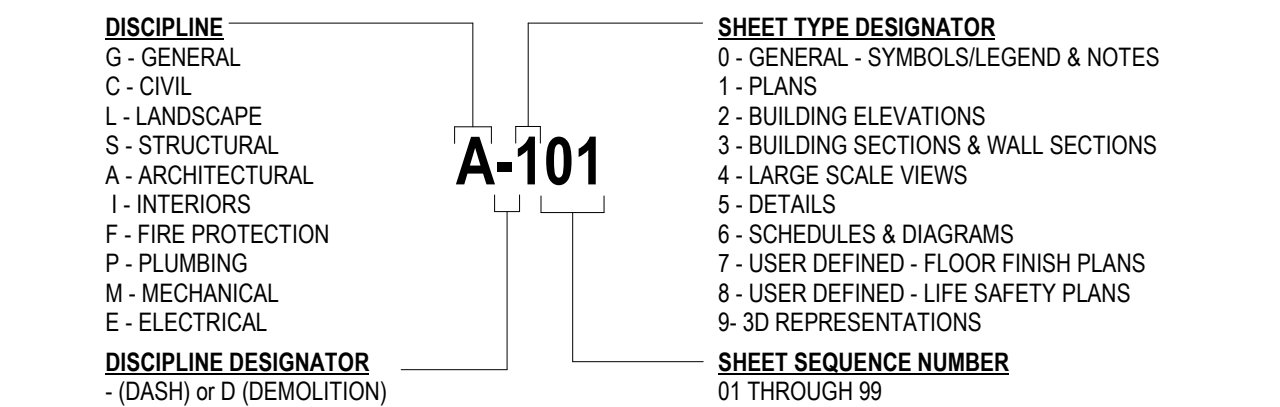
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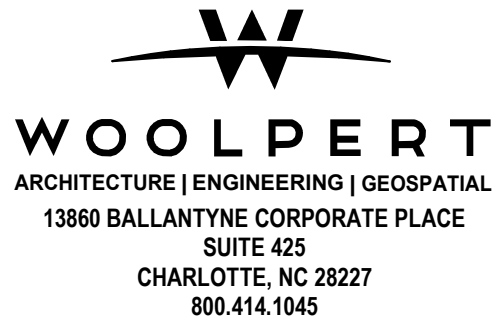
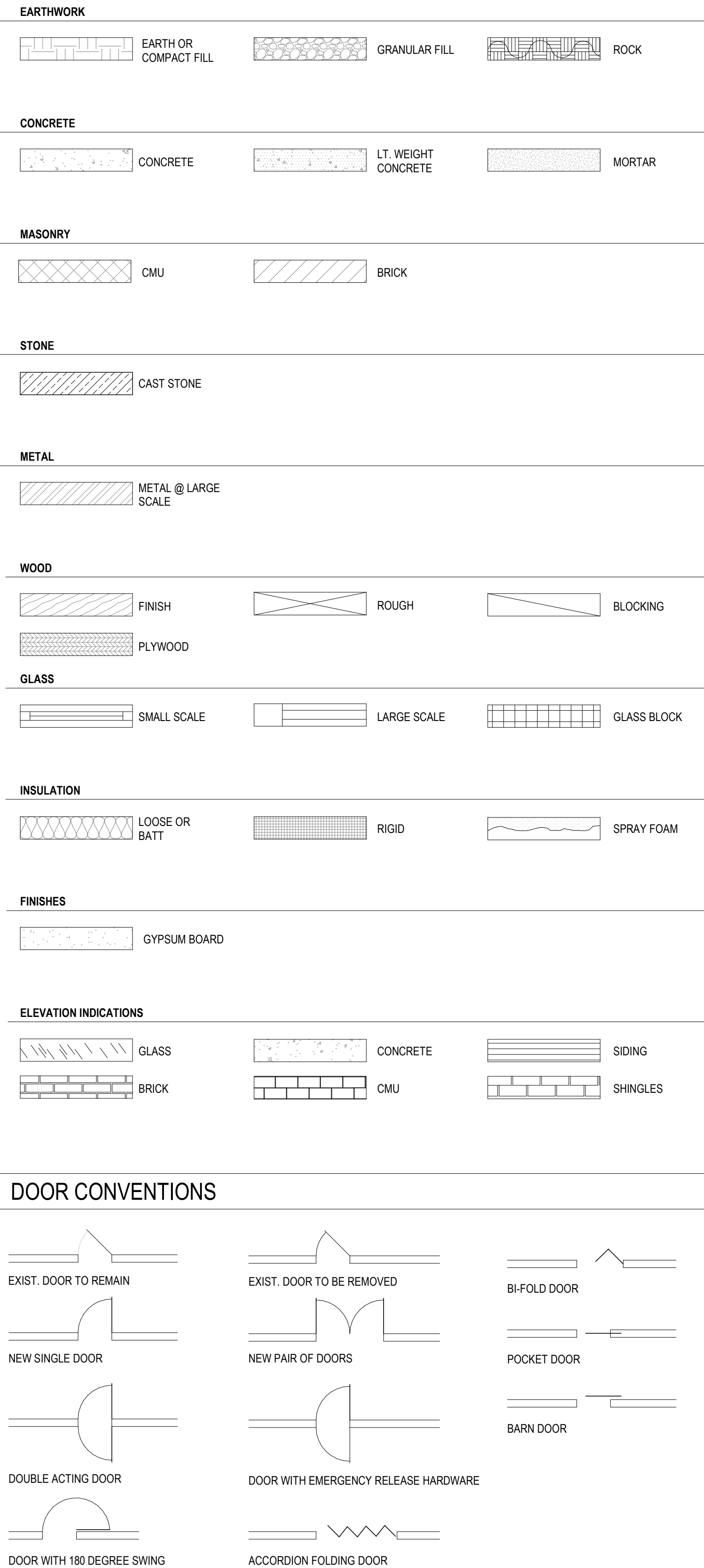
DRAWING SYMBOLS



SHEET NUMBERING SYSTEM



MATERIAL SYMBOLS



ISSUANCE SCHEDULE

DESCRIPTION

DATE

NUMBER

CITY OF CONCORD

J.E. "JIM" RAMSEUR PARK

PARKS & RECREATION DEPARTMENT

1252 Cox Mill Rd

Concord, NC 28027

PROJECT NO: 081197

DATE ISSUED: 06/15/2023

DESIGNED BY: BF

DRAWN BY: DL

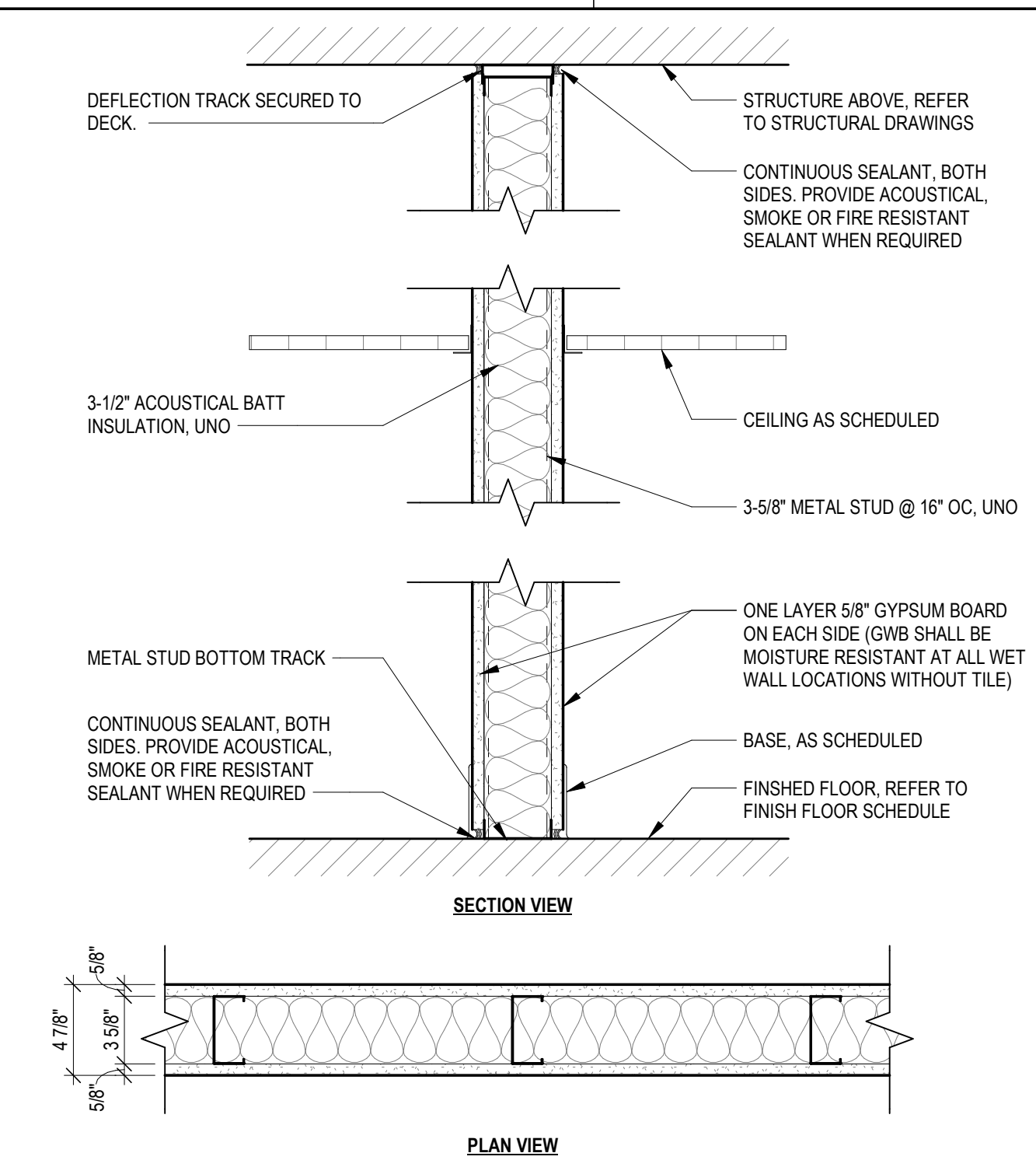
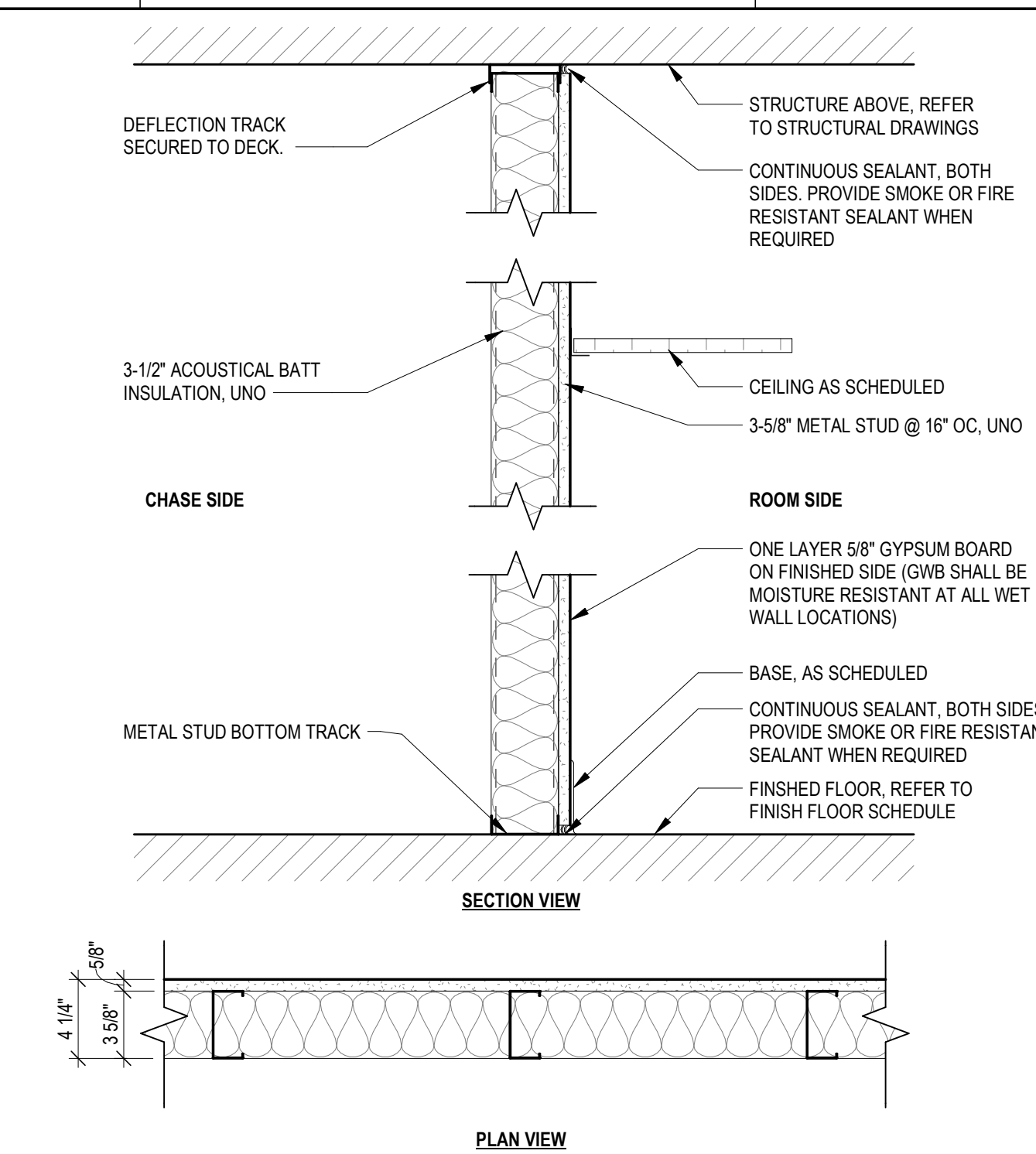
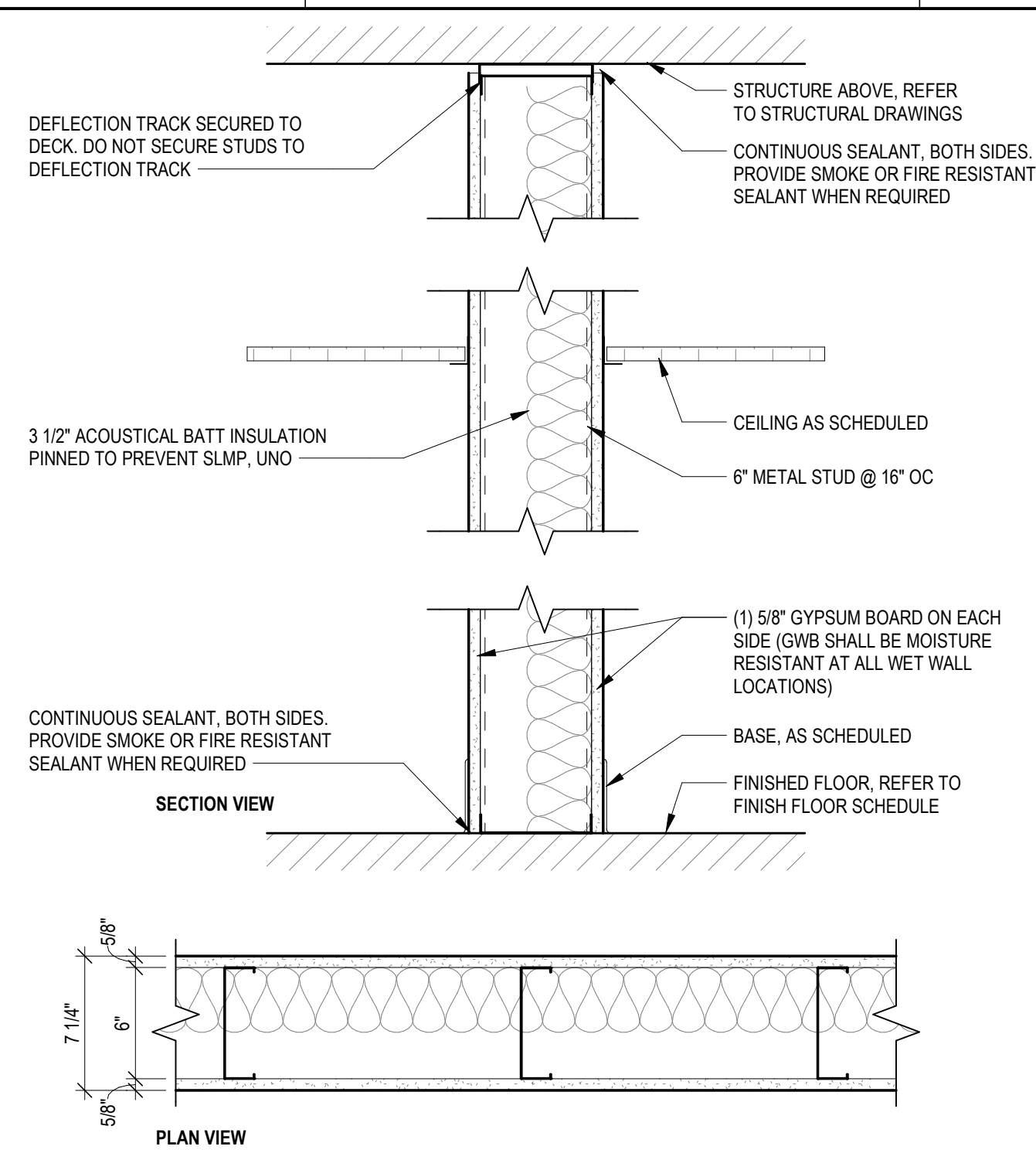
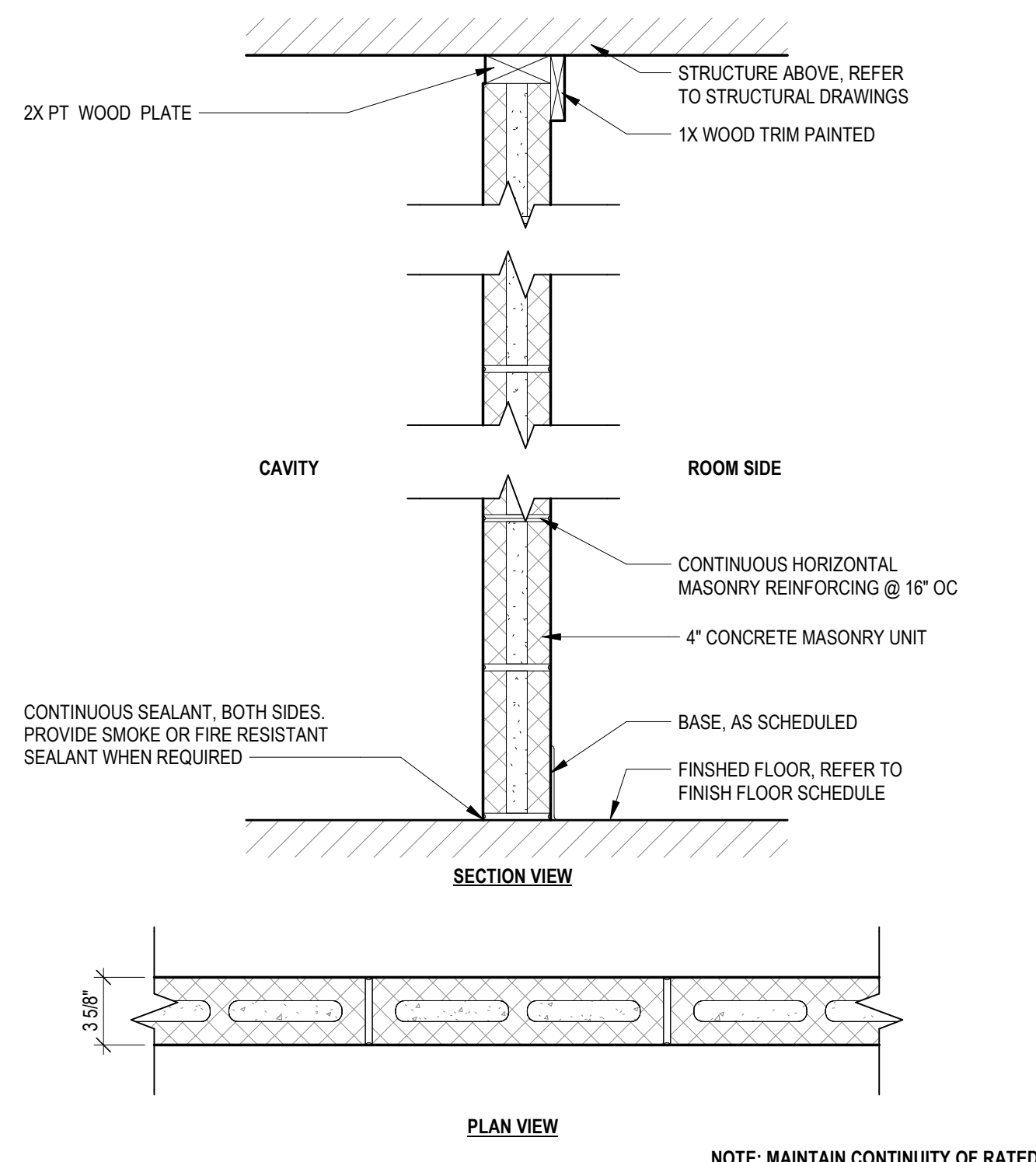
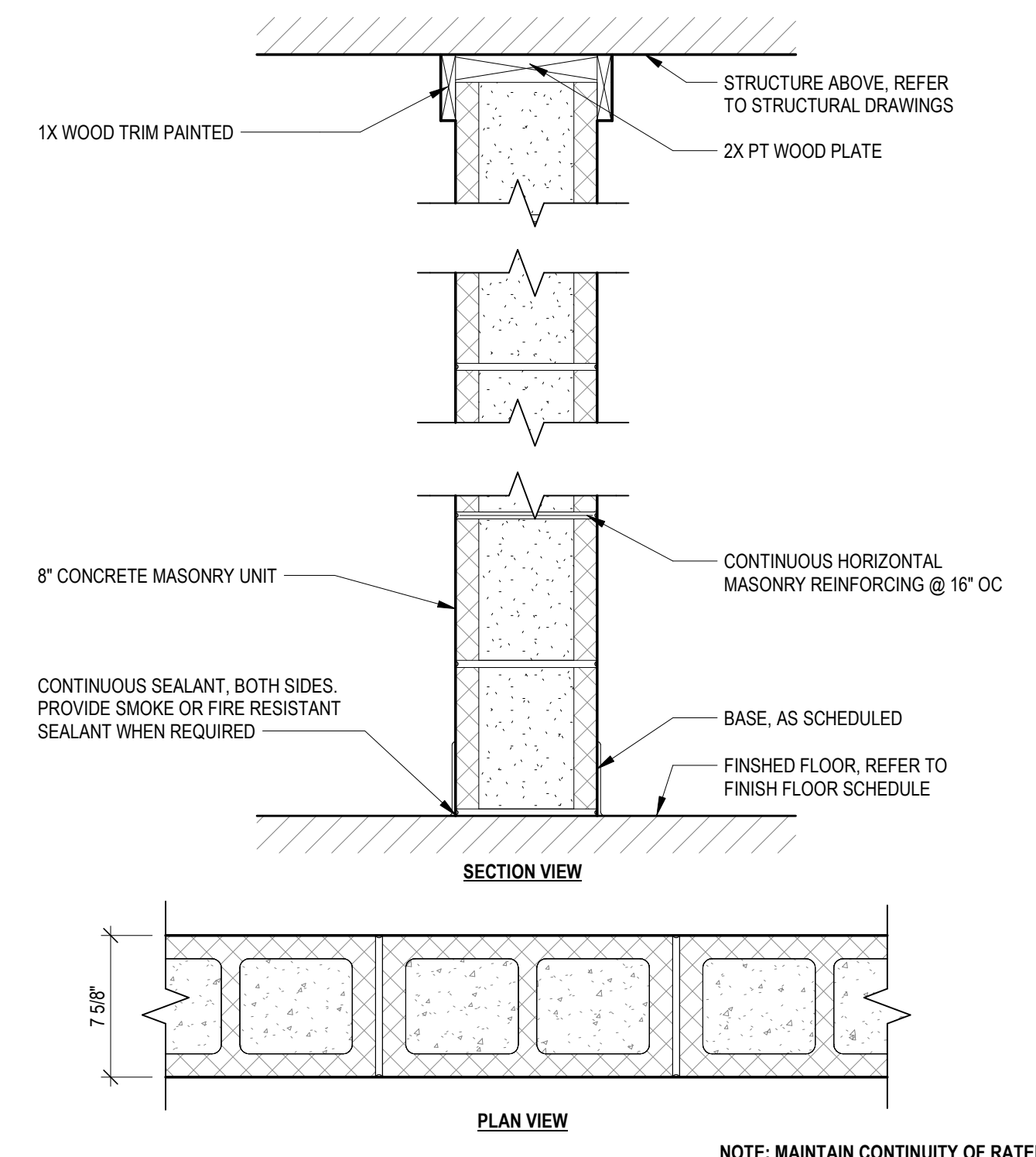
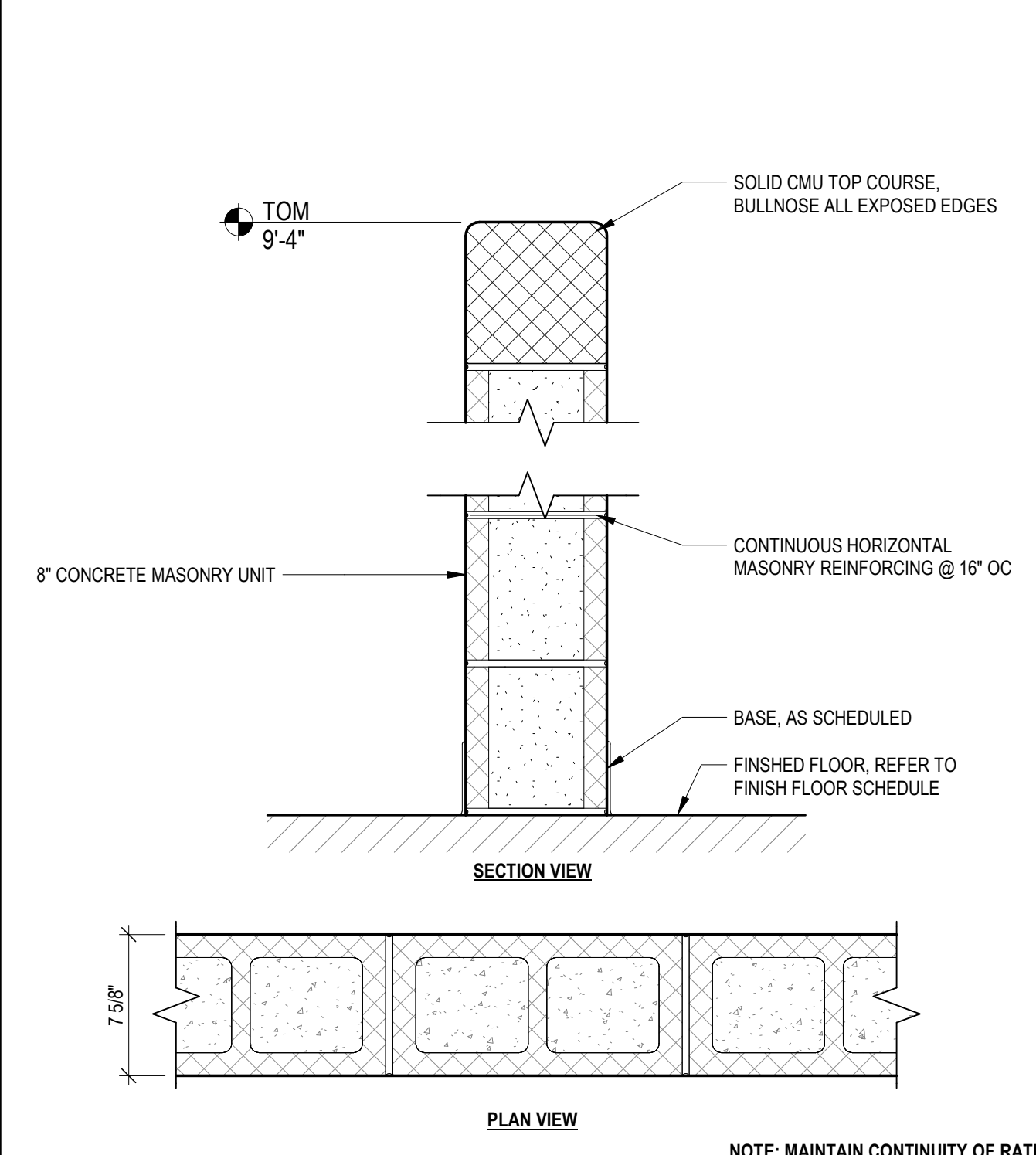
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SHEET NAME:

SYMBOLS AND ABBREVIATIONS

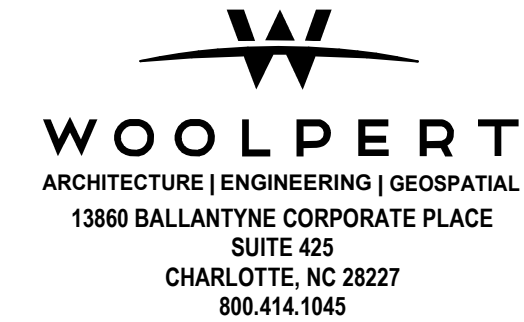
SHEET NO:

A-001

 <p>SECTION VIEW</p> <p>PLAN VIEW</p> <p>NOTE: MAINTAIN CONTINUITY OF RATED ASSEMBLY FOR ALL PENETRATIONS</p>		 <p>SECTION VIEW</p> <p>PLAN VIEW</p> <p>NOTE: MAINTAIN CONTINUITY OF RATED ASSEMBLY FOR ALL PENETRATIONS</p>		 <p>SECTION VIEW</p> <p>PLAN VIEW</p> <p>NOTE: MAINTAIN CONTINUITY OF RATED ASSEMBLY FOR ALL PENETRATIONS</p>			
4S SERIES	4S	ASSEMBLY TO COMPLY WITH UL DESIGN NO: UL U465 / STC 46 (NGC 2018106) / SMOKE RATED 3-5/8" METAL STUD AT 24" OC WITH 5/8" GWB ON EACH SIDE WITH CONTINUOUS 3-1/2" ACOUSTICAL ATTENUATION BATTS. EXTEND PARTITION AND SEAL TIGHT TO METAL DECK ABOVE. SEAL ALL OPENINGS AND PENETRATIONS.		6S	6S	ASSEMBLY TO COMPLY WITH UL DESIGN NO: UL U465 / STC 46 5-1/2" METAL STUD AT 16" OC WITH 5/8" GWB ON EACH SIDE WITH CONTINUOUS 3" ACOUSTICAL ATTENUATION BATTS. EXTEND PARTITION AND SEAL TIGHT TO METAL DECK ABOVE. SEAL ALL OPENINGS AND PENETRATIONS.	
	4S1	ASSEMBLY TO COMPLY WITH UL DESIGN NO: UL U465 / STC 46 (NGC 2018106) / FIRE RATING: 1-HOUR 3-5/8" METAL STUD AT 24" OC WITH 5/8" GWB ON EACH SIDE WITH CONTINUOUS 3-1/2" ACOUSTICAL ATTENUATION BATTS. EXTEND PARTITION AND SEAL TIGHT TO METAL DECK ABOVE. SEAL ALL OPENINGS AND PENETRATIONS.			6S1	ASSEMBLY TO COMPLY WITH UL DESIGN NO: UL U465 / STC 46 / FIRE RATING: 1-HOUR 6" METAL STUD AT 16" OC WITH 5/8" TYPE "X" GWB ON EACH SIDE WITH CONTINUOUS 3" SOUND ATTENUATION BATTS. EXTEND PARTITION AND SEAL TIGHT TO METAL DECK ABOVE. SEAL ALL OPENINGS AND PENETRATIONS.	
 <p>SECTION VIEW</p> <p>PLAN VIEW</p> <p>NOTE: MAINTAIN CONTINUITY OF RATED ASSEMBLY FOR ALL PENETRATIONS</p>		 <p>SECTION VIEW</p> <p>PLAN VIEW</p> <p>NOTE: MAINTAIN CONTINUITY OF RATED ASSEMBLY FOR ALL PENETRATIONS</p>		 <p>SECTION VIEW</p> <p>PLAN VIEW</p> <p>NOTE: MAINTAIN CONTINUITY OF RATED ASSEMBLY FOR ALL PENETRATIONS</p>			
4M SERIES	4M	3-5/8" CMU WITH HORIZONTAL JOINT REINFORCING AT 16" OC VERTICALLY, EXTEND PARTITION AND SEAL TIGHT TO METAL DECK ABOVE. SEAL ALL OPENINGS AND PENETRATIONS.		8M SERIES	8M	UL LISTING #: UL U906 / FIRE RATING: 1-HOUR 7-5/8" CMU WITH HORIZONTAL JOINT REINFORCING AT 16" OC VERTICALLY, EXTEND PARTITION AND SEAL TIGHT TO METAL DECK ABOVE. SEAL ALL OPENINGS AND PENETRATIONS.	
8C		7-5/8" CMU WITH HORIZONTAL JOINT REINFORCING AT 16" OC VERTICALLY		8C	8C	7-5/8" CMU WITH HORIZONTAL JOINT REINFORCING AT 16" OC VERTICALLY	

GENERAL NOTES:

- A. REFER TO LIFE SAFETY PLANS FOR LOCATIONS AND RATINGS OF FIRE RATED PARTITIONS AND PARTITIONS THAT RESIST THE PASSAGE OF SMOKE.
- B. PARTITION TYPES DO NOT INCLUDE ALL APPLIED FINISHES. REFER TO FINISH SCHEDULE.
- C. SEAL TOP OF WALL AT STRUCTURAL (ROOF/FLOOR) DECK, AT PERIMETER, AT WALL INTERSECTIONS, AT FLOOR, AND AT ALL PENETRATIONS. USE FIRE RATED SEALANT AS REQUIRED TO SEAL IN ACCORDANCE WITH JOINT SYSTEM UL HWD0039 AT CMU AND UL HWD0034 AT GYPSUM WALLBOARD PARTITIONS, WHERE PARTITIONS ARE INDICATED TO BE FIRE RATED.
- D. FOR ALL METAL STUD PARTITIONS, FINISHES SHALL BE TERMINATED AT SAME HEIGHT AS STUD ON BOTH SIDES, UNLESS NOTED OTHERWISE.
- E. ALL NON-BEARING WALLS AND PARTITIONS WHICH EXTEND TO THE UNDERSIDE OF THE METAL DECK SHALL BE POKETED TO RECEIVE METAL JOINTS. POKETS IN RATED WALLS SHALL BE FIRESTOPPED AS REQUIRED BY THE SPECIFICATIONS AND NOTES. POKETS IN NON-RATED WALLS SHALL BE STOPPED WITH MINERAL WOOL.
- F. WHERE WALL AND PARTITION TYPES ARE INDICATED AS FIRE RATED ASSEMBLIES, THE MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FIRE RATED ASSEMBLY INDICATED. REFER TO LIFE SAFETY PLANS.
- G. AT ALL FIRE RATED PARTITIONS PROVIDE APPROVED FIRE STOPPING MATERIAL AT ALL PENETRATIONS AND ALONG INTERSECTING SURFACES.
- H. IN ALL RATED MASONRY WALLS, LOAD-BEARING AND ALL WALLS THAT WHICH TERMINATE AT UNDERSIDE OF METAL DECK, ALL VOIDS SHALL BE FILLED WITH AN APPROVED FIRESAFING MATERIAL.
- I. PROVIDE 5/8" TYPE "X" MOISTURE RESISTANT GWB AT ALL TOILET AND SHOWER LOCATIONS.
- J. ALL CMU WALLS SHALL BE REINFORCED WITH HORIZONTAL MASONRY REINFORCING AT 16" ON CENTER VERTICALLY, UNLESS OTHERWISE NOTED.
- K. MASONRY FIREWALLS SHALL BE CONSTRUCTED OF MATERIALS CERTIFIED TO ACHIEVE THE FIRE RATING REQUIRED FOR THE THICKNESS INDICATED.



ISSUANCE SCHEDULE

DATE

NUMBER

C

B

CITY OF CONCORD

J.E. "JIM" RAMSEUR PARK
PARKS & RECREATION DEPARTMENT

1252 Cox Mill Rd
Concord, NC 28027

PROJECT NO: 081197

DATE ISSUED: 06/15/2023

DESIGNED BY: BF

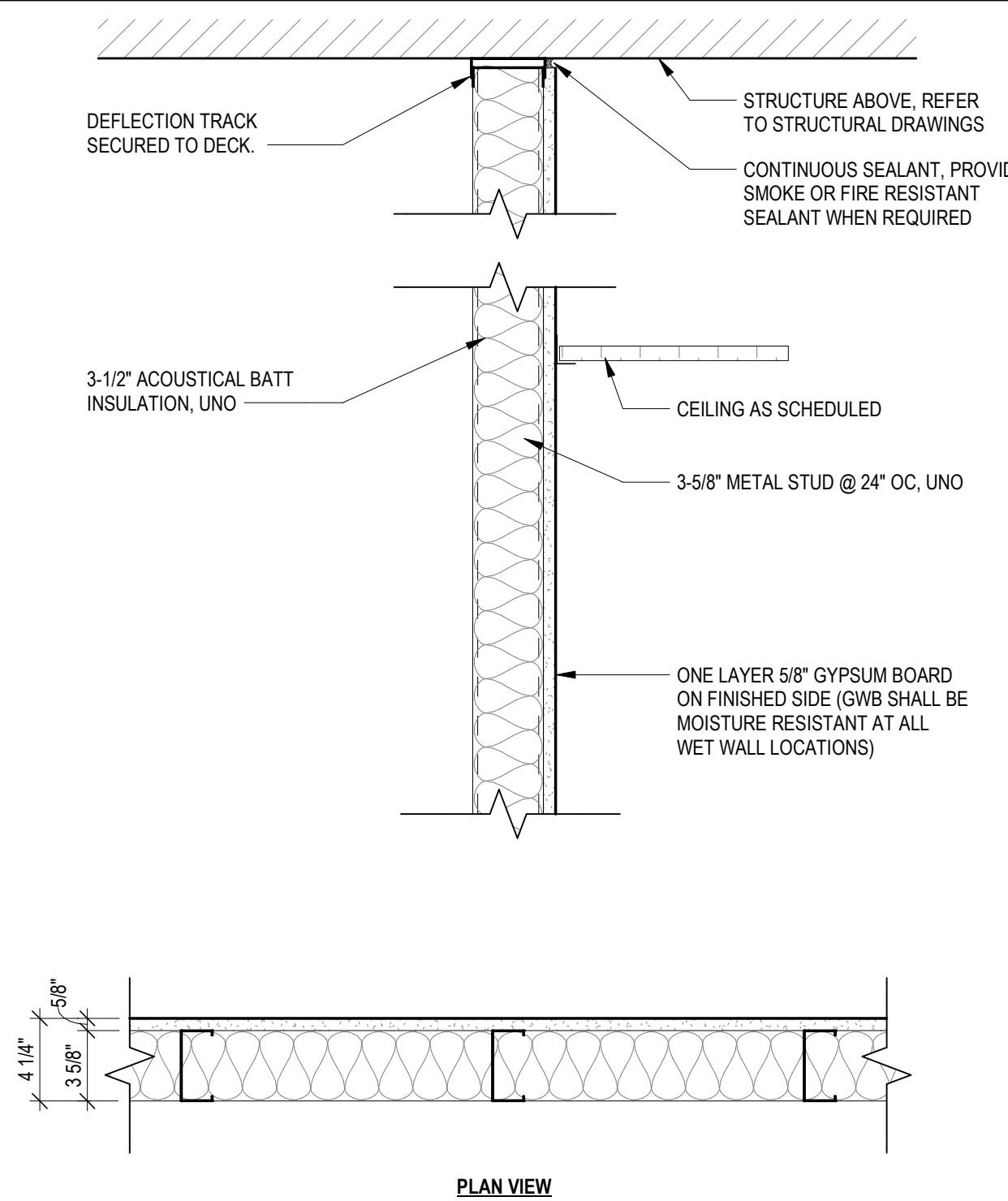
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CHECKED BY: BB

SHEET NAME:
PARTITION TYPES

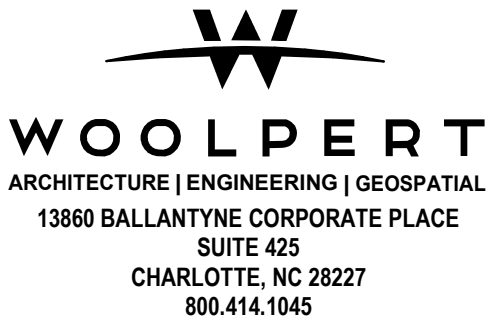
SHEET NO:

A-002

	 <p>DEFLECTION TRACK SECURED TO DECK.</p> <p>STRUCTURE ABOVE, REFER TO STRUCTURAL DRAWINGS</p> <p>CONTINUOUS SEALANT, PROVIDE SMOKE OR FIRE RESISTANT SEALANT WHEN REQUIRED</p> <p>3-1/2" ACOUSTICAL BATT INSULATION, UNO</p> <p>CEILING AS SCHEDULED</p> <p>3-5/8" METAL STUD @ 24" OC, UNO</p> <p>ONE LAYER 5/8" GYPSUM BOARD ON FINISHED SIDE (GWB SHALL BE MOISTURE RESISTANT AT ALL WET WALL LOCATIONS)</p> <p>PLAN VIEW</p> <p>CHASE SIDE</p> <p>ROOM SIDE</p> <p>METAL STUD BOTTOM TRACK</p> <p>ALIGN</p> <p>CONTINUOUS SEALANT, PROVIDE SMOKE OR FIRE RESISTANT SEALANT WHEN REQUIRED</p> <p>CONTINUOUS HORIZONTAL MASONRY REINFORCING @ 16" OC</p> <p>4" CONCRETE MASONRY UNIT</p> <p>CONTINUOUS SEALANT, BOTH SIDES, PROVIDE SMOKE OR FIRE RESISTANT SEALANT WHEN REQUIRED</p> <p>BASE, AS SCHEDULED</p> <p>FINISHED FLOOR, REFER TO FINISH FLOOR SCHEDULE</p> <p>SECTION VIEW</p> <p>PLAN VIEW</p> <p>NOTE: MAINTAIN CONTINUITY OF RATED ASSEMBLY FOR ALL PENETRATIONS</p>
4T SERIES	3-5/8" METAL STUD AT 24" OC WITH 5/8" GWB ON ONE SIDE WITH CONTINUOUS 3-1/2" ACOUSTICAL ATTENUATION BATTS. EXTEND PARTITION AND SEAL TIGHT TO METAL DECK ABOVE. <p>9' - 4" HT. 3-5/8" CMU WITH HORIZONTAL JOINT REINFORCING AT 16" OC VERTICALLY. EXTEND PARTITION AND SEAL TIGHT TO METAL DECK ABOVE. SEAL ALL OPENINGS AND PENETRATIONS.</p>
6T SERIES	<p>ASSEMBLY TO COMPLY WITH UL DESIGN NO: UL U465 / STC 48 (NGC 2018106) / FIRE RATING: 1-HOUR</p> <p>3-5/8" METAL STUD AT 24" OC WITH 5/8" GWB ON EACH SIDE WITH CONTINUOUS 3-1/2" ACOUSTICAL ATTENUATION BATTS. EXTEND PARTITION AND SEAL TIGHT TO METAL DECK ABOVE. SEAL ALL OPENINGS AND PENETRATIONS.</p> <p>3'-4" WAINSCOT - UL LISTING #: UL U906 / FIRE RATING: 1-HOUR</p> <p>5-5/8" CMU WITH HORIZONTAL JOINT REINFORCING AT 16" OC VERTICALLY. EXTEND PARTITION TO HEIGHT INDICATED AND SEAL TIGHT TO METAL STUD WALL ABOVE. SEAL ALL OPENINGS AND PENETRATIONS.</p>
6T SERIES	<p>DEFLECTION TRACK SECURED TO DECK.</p> <p>STRUCTURE ABOVE, REFER TO STRUCTURAL DRAWINGS</p> <p>CONTINUOUS SEALANT, BOTH SIDES, PROVIDE ACOUSTICAL, SMOKE OR FIRE RESISTANT SEALANT WHEN REQUIRED</p> <p>3-1/2" ACOUSTICAL BATT INSULATION, UNO</p> <p>CEILING AS SCHEDULED</p> <p>4" METAL STUD @ 24" OC, UNO</p> <p>ONE LAYER 5/8" GYPSUM BOARD ON EACH SIDE (GWB SHALL BE MOISTURE RESISTANT AT ALL WET WALL LOCATIONS WITHOUT TILE)</p> <p>PLAN VIEW</p> <p>METAL STUD BOTTOM TRACK</p> <p>CONTINUOUS SEALANT, BOTH SIDES, PROVIDE ACOUSTICAL, SMOKE OR FIRE RESISTANT SEALANT WHEN REQUIRED</p> <p>6" BOND BEAM</p> <p>6" CONCRETE MASONRY UNIT</p> <p>CONTINUOUS HORIZONTAL MASONRY REINFORCING @ 16" OC</p> <p>BASE, AS SCHEDULED</p> <p>CONTINUOUS SEALANT, BOTH SIDES, PROVIDE SMOKE OR FIRE RESISTANT SEALANT WHEN REQUIRED</p> <p>FINISHED FLOOR, REFER TO FINISH FLOOR SCHEDULE</p> <p>SECTION VIEW</p> <p>PLAN VIEW</p> <p>NOTE: MAINTAIN CONTINUITY OF RATED ASSEMBLY FOR ALL PENETRATIONS</p>
8T SERIES	<p>DEFLECTION TRACK SECURED TO DECK. DO NOT SECURE STUDS TO DEFLECTION TRACK</p> <p>STRUCTURE ABOVE, REFER TO STRUCTURAL DRAWINGS</p> <p>CONTINUOUS SEALANT, BOTH SIDES, PROVIDE SMOKE OR FIRE RESISTANT SEALANT WHEN REQUIRED</p> <p>3" ACOUSTICAL BATT INSULATION, UNO</p> <p>CEILING AS SCHEDULED</p> <p>6" METAL STUD @ 16" OC</p> <p>PLAN VIEW</p> <p>CONTINUOUS SEALANT, BOTH SIDES, PROVIDE SMOKE OR FIRE RESISTANT SEALANT WHEN REQUIRED</p> <p>(1) 5/8" GYPSUM BOARD ON EACH SIDE (GWB SHALL BE MOISTURE RESISTANT AT ALL WET WALL LOCATIONS)</p> <p>8" CONCRETE MASONRY UNIT</p> <p>CONTINUOUS HORIZONTAL MASONRY REINFORCING @ 16" OC</p> <p>BASE, AS SCHEDULED</p> <p>CONTINUOUS SEALANT, BOTH SIDES, PROVIDE SMOKE OR FIRE RESISTANT SEALANT WHEN REQUIRED</p> <p>FINISHED FLOOR, REFER TO FINISH FLOOR SCHEDULE</p> <p>SECTION VIEW</p> <p>PLAN VIEW</p> <p>NOTE: MAINTAIN CONTINUITY OF RATED ASSEMBLY FOR ALL PENETRATIONS</p>
8T SERIES	<p>ASSEMBLY TO COMPLY WITH UL DESIGN NO: UL U465 / STC 46 / FIRE RATING: 1-HOUR</p> <p>6" METAL STUD AT 16" OC WITH 5/8" TYPE "X" GWB ON EACH SIDE WITH CONTINUOUS 3" SOUND ATTENUATION BATTS. EXTEND PARTITION AND SEAL TIGHT TO METAL DECK ABOVE. SEAL ALL OPENINGS AND PENETRATIONS.</p> <p>UL LISTING #: UL U906 / FIRE RATING: 1-HOUR</p> <p>7-5/8" CMU WITH HORIZONTAL JOINT REINFORCING AT 16" OC VERTICALLY. EXTEND PARTITION AND SEAL TIGHT TO METAL DECK ABOVE. SEAL ALL OPENINGS AND PENETRATIONS.</p>

GENERAL NOTES:

- A. REFER TO LIFE SAFETY PLANS FOR LOCATIONS AND RATINGS OF FIRE RATED PARTITIONS AND PARTITIONS THAT RESIST THE PASSAGE OF SMOKE.
- B. PARTITION TYPES DO NOT INCLUDE ALL APPLIED FINISHES. REFER TO FINISH SCHEDULE.
- C. SEAL TOP OF WALL AT STRUCTURAL (ROOF/FLOOR) DECK, AT PERIMETER, AT WALL INTERSECTIONS, AT FLOOR, AND AT ALL PENETRATIONS. USE FIRE RATED SEALANT AS REQUIRED TO SEAL IN ACCORDANCE WITH JOINT SYSTEM UL HWD0039 AT CMU AND UL HWD0034 AT GYPSUM WALLBOARD PARTITIONS, WHERE PARTITIONS ARE INDICATED TO BE FIRE RATED.
- D. FOR ALL METAL STUD PARTITIONS, FINISHES SHALL BE TERMINATED AT SAME HEIGHT AS STUD ON BOTH SIDES, UNLESS NOTED OTHERWISE.
- E. ALL NON-BEARING WALLS AND PARTITIONS WHICH EXTEND TO THE UNDERSIDE OF THE METAL DECK SHALL BE POKETED TO RECEIVE METAL JOINTS. POKETS IN RATED WALLS SHALL BE FIRESTOPPED AS REQUIRED BY THE SPECIFICATIONS AND NOTES. POKETS IN NON-RATED WALLS SHALL BE STOPPED WITH MINERAL WOOL.
- F. WHERE WALL AND PARTITION TYPES ARE INDICATED AS FIRE RATED ASSEMBLIES, THE MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FIRE RATED ASSEMBLY INDICATED. REFER TO LIFE SAFETY PLANS.
- G. AT ALL FIRE RATED PARTITIONS PROVIDE APPROVED FIRE STOPPING MATERIAL AT ALL PENETRATIONS AND ALONG INTERSECTING SURFACES.
- H. IN ALL RATED MASONRY WALLS, LOAD-BEARING AND ALL WALLS THAT WHICH TERMINATE AT UNDERSIDE OF METAL DECK, ALL VOIDS SHALL BE FILLED WITH AN APPROVED FIRESAFING MATERIAL.
- I. PROVIDE 5/8" TYPE "X" MOISTURE RESISTANT GWB AT ALL TOILET AND SHOWER LOCATIONS.
- J. ALL CMU WALLS SHALL BE REINFORCED WITH HORIZONTAL MASONRY REINFORCING AT 16" ON CENTER VERTICALLY, UNLESS OTHERWISE NOTED.
- K. MASONRY FIREWALLS SHALL BE CONSTRUCTED OF MATERIALS CERTIFIED TO ACHIEVE THE FIRE RATING REQUIRED FOR THE THICKNESS INDICATED.



ISSUANCE SCHEDULE

DATE

NUMBER

C

CITY OF CONCORD
J.E. "JIM" RAMSEUR PARK
PARKS & RECREATION DEPARTMENT

PROJECT NO: 081197
DATE ISSUED: 06/15/2023
DESIGNED BY: BF
DRAWN BY: DL
CHECKED BY: BB

SHEET NAME:
PARTITION TYPES

SHEET NO:

A-003

2018 APPENDIX B
BUILDING CODE SUMMARY
FOR ALL COMMERCIAL PROJECTS
(EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)
(Reproduce the following data on the building plans sheet 1 or 2)

Name of Project: J.E. "JIM" RAMSEUR PARK - PICKLEBALL RESTROOM
Address: 1252 COX MILL ROAD, CONCORD, NC Zip Code 28027
Owner/Authorized Agent: CITY OF CONCORD Phone # () - E-Mail
Owned By: City/County Private State
Code Enforcement Jurisdiction: City County CABARRUS State

DESIGNER	FIRM	NAME	LICENSE #	TELEPHONE #	E-MAIL
Architectural	WOOLPERT	BRYAN D. FIKE	13565	(704) 525-3032	BRYAN.FIKE@WOOLPERT.COM
Civil	WOOLPERT	RAY M. NIX, JR	054074	(843) 972-4566	RAY.NIX@WOOLPERT.COM
Electrical	OPTIMA ENGINEERING	BRANDON L. MILLER	028197	(704) 338-1292	BMILLER@OPTIMAENGINEERING.COM
Fire Alarm	WOOLPERT	GEORGE C. FOWLER, III	26023	(704) 338-1292	GFOWLER@OPTIMAENGINEERING.COM
Plumbing	WOOLPERT	RONALD V. ALMOND	17228	(704) 338-1292	RALMOND@OPTIMAENGINEERING.COM
Mechanical	WOOLPERT	MARK MAINRIDGE	28511	(801) 699-4987	MARK.MAINRIDGE@WOOLPERT.COM
Sprinkler-Standpipe	WOOLPERT	MARK MAINRIDGE	28511	(801) 699-4987	MARK.MAINRIDGE@WOOLPERT.COM
Structural	WOOLPERT	MARK MAINRIDGE	28511	(801) 699-4987	MARK.MAINRIDGE@WOOLPERT.COM
Retaining Walls >5' High	WOOLPERT	MARK MAINRIDGE	28511	(801) 699-4987	MARK.MAINRIDGE@WOOLPERT.COM
Other	LANDSCAPE ARCH (WOOLPERT)	ANDREW R. PACK	798	(704) 525-6284	ANDREW.PACK@WOOLPERT.COM

2018 NC CODE FOR: New Construction Addition Renovation
1st Time Interior Completion
Shell/Core
Phased Construction – Shell/Core
Renovation
2018 NC EXISTING BUILDING CODE: Prescriptive Repair Chapter 14
Alteration: Level I Level II Level III Level IV
Historic Property Change of Use
CONSTRUCTED:(date) ORIGINAL OCCUPANCY(S) (Ch. 3):
RENOVATED: (date) CURRENT OCCUPANCY(S) (Ch. 3):
RISK CATEGORY (table 1604.5) Current: I II III IV
Proposed: I II III IV

BASIC BUILDING DATA
Construction Type: I-A I-B II-A II-B III-A III-B IV V-A V-B
(check all that apply)
Sprinklers: No Partial Yes NFPA 13 NFPA 13R NFPA 13D
Standpipes: No Yes Class I II III Wet Dry
Fire District: No Yes (Primary) Flood Hazard Area: No Yes
Special Inspections Required: No Yes

FLOOR	EXISTING (SQ FT)	NEW (SQ FT)	RENO/ALTER (SQ.FT)	SUB-TOTAL
6 th Floor				
5 th Floor				
4 th Floor				
3 rd Floor				
2 nd Floor				
Mezzanine				
1 st Floor	0 SF	760 SF	0 SF	760 SF
Basement				
TOTAL	0 SF	760 SF	0 SF	760 SF

ALLOWABLE AREA
Primary Occupancy Classification: SELECT ONE
Assembly Business Educational Factory Hazardous Institutional Mercantile Residential Storage Utility and Miscellaneous
A-1 A-2 A-3 A-4 A-5
F-1 Moderate F-2 Low
H-1 Detonate H-2 Deflagrate H-3 Combust H-4 Health H-5 HPM
I-1 Condition 1 2
I-2 Condition 1 2 3 4 5
I-3 Condition 1 2 3 4 5
I-4
R-1 R-2 R-3 R-4
S-1 Moderate S-2 Low High-piled
Parking Garage Open Enclosed Repair Garage
Utility and Miscellaneous

Accessory Occupancy Classification(s):
Incidental Uses (Table 509):
Special Uses (Chapter 4 – List Code Sections):
Special Provisions: (Chapter 5 – List Code Sections):
Mixed Occupancy: No Yes Separation: Hr. Exception:
Non-Separated Use (508.3)
The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building. The most restrictive type of construction, so determined, shall apply to the entire building.
Separated Use (508.4)
See below for area calculations for each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1.
Actual Area of Occupancy A + Actual Area of Occupancy B Allowable Area of Occupancy A Allowable Area of Occupancy B ≤ 1
+ + + ... = ≤ 1.00

STORY NO.	DESCRIPTION AND USE	(A) BLDG AREA PER STORY (ACTUAL)	(B) TABLE 506.2.4 AREA	(C) AREA FOR FRONTAGE INCREASE ^{1,2}	(D) ALLOWABLE AREA PER STORY OR UNLIMITED ^{1,3}
1	GROUP U	760 SF	5,500 SF	N/A	5,500 SF

¹ Frontage area increases from Section 506.3 are computed thus:
a. Perimeter which fronts a public way or open space having 20 feet minimum width = (F)
b. Total Building Perimeter = (P)
c. Ratio (F/P) = (F/P)
d. W = Minimum width of public way = (W)
e. Percent of frontage increase $I_r = 100 [F/P - 0.25] \times W/30 = (\%)$
² Unlimited area applicable under conditions of Section 507.
³ Maximum Building Area = total number of stories in the building x D (maximum 3 stories) (506.2).
⁴ The maximum area of open parking garages must comply with Table 406.5.4
⁵ Frontage increase is based on the unsprinklered area value in Table 506.2.

	ALLOWABLE (TABLE 503)	SHOWN ON PLANS	CODE REFERENCE
Building Height in Feet (Table 504.3)	40'	16'-8"	
Building Height in Stories (Table 504.4)	1	1	

¹ Provide code reference if the "Show on Plans" quantity is not based on Table 504.3 or 504.4.
² The maximum height of air traffic control towers must comply with Table 412.3.1
³ The maximum height of open parking garages must comply with Table 406.5.4

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	RATING REQ'D	RATING PROVIDED (W/ REDUCTION)	DETAIL # AND SHEET #	DESIGN # FOR RATED ASSEMBLY	DESIGN # FOR RATED PENETRATION	DESIGN # FOR RATED JOINTS
Structural Frame, including columns, girders, trusses	10'	0					
Bearing Walls		0					
Exterior		0					
North	10'	0					
East	10'	0					
West	10'	0					
South	10'	0					
Interior	N/A	0					
Nonbearing Walls and Partitions		0					
Exterior walls		0					
North	10'	0					
East	10'	0					
West	10'	0					
South	10'	0					
Interior walls and partitions		0					
Floor Construction Including supporting beams and joists	N/A	0					
Floor Ceiling Assembly	N/A	0					
Column Supporting Floors	N/A	0					
Roof Construction, including supporting beams and joists	10'	0					
Roof Ceiling Assembly	N/A	0					
Column Supporting Roof	10'	0					
Shaft Enclosures - Exit	N/A	N/A					
Shaft Enclosures - Other	N/A	N/A					
Corridor Separation	N/A	N/A					
Occupancy/Fire Barrier Separation	N/A	N/A					
Party/Fire Wall Separation	N/A	N/A					
Smoke Barrier Separation	N/A	N/A					
Smoke Partition	N/A	N/A					
Tenant/Dwelling Unit/Sleeping Unit Separation	N/A	N/A					
Incidental Use Separation	N/A	N/A					

* Indicate section number permitting reduction

FIRE SEPARATION DISTANCE (FEET FROM PERPETRY LINES)	DEGREES OF OPENINGS PROTECTION (TABLE 705.8)	ALLOWABLE AREA (%)	ACTUAL SHOWN ON PLANS (%)
30 OR GREATER	UP, NS	NO LIMIT	

LIFE SAFETY SYSTEM REQUIREMENTS
Emergency Lighting: No Yes
Exit Signs: No Yes
Fire Alarm: No Yes
Smoke Detection Systems: No Yes Partial
Carbon Monoxide Detection: No Yes

LIFE SAFETY PLAN REQUIREMENTS
Life Safety Plan Sheet #: A-100-PB
Fire and/or smoke rated wall locations (Chapter 7)
Assumed and real property line locations (if not on the site plan)
Exterior wall opening area with respect to distance to assumed property lines (705.8)
Occupancy types for each area as it relates to occupant load calculation (Table 1004.1.2)
Occupant loads for each area
Exit access travel distances (1017)
Common path of travel distances (1006.2.1 & 2006.3.2(1))
Dead end lengths (1020.4)
Clear exit widths for each exit door
Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)
Actual occupant load for each exit door
A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation and supporting construction for a fire barrier/fire partition/smoke barrier.
Location of doors with panic hardware (1010.1.10)
Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)
Location of doors with electromagnetic egress locks (1010.1.9.9)
Location of doors equipped with hold-open devices
Location of emergency escape windows (1030)
The square footage of each fire area (202)
The square footage of each smoke compartment for Occupancy Classification I-2 (407.5)
Note any code exceptions or table notes that may have been utilized regarding the items above

Section/Table/Note	Title

TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE A UNITS REQUIRED	TYPE A UNITS PROVIDED	TYPE B UNITS REQUIRED	TYPE B UNITS PROVIDED	TOTAL ACCESSIBLE UNITS PROVIDED

LOT OR PARKING AREA	TOTAL # OF PARKING SPACES REQUIRED	PROVIDED	# OF ACCESSIBLE SPACES PROVIDED	TOTAL # ACCESSIBLE PROVIDED
			REGULAR WITH 5' ACCESS AISLE	
			132" ACCESS AISLE	
			8' ACCESS AISLE	
TOTAL				

USE	WATERCLOSETS	URINALS	LAVATORIES	SHOWERS / TUBS	DRINKING FOUNTAINS
	MALE FEMALE UNISEX		MALE FEMALE UNISEX		REGULAR ACCESSIBLE
SPACE	EXIST'G NEW				
	2 3 1 1 2 2 1 0 0 0 1 1				
REQ'D	SEE SHEET G-003 FOR REQUIRED FIXTURES BASED ON SITE LOADING ESTIMATES				

SPECIAL APPROVALS
Special approval: (Local Jurisdiction, Department of Insurance, SCO, DPI, DHHS, ICC, etc., describe below)
NOTE: REQUIRED PLUMBING FIXTURES ARE BASED ON SITE/PARKING CALCULATIONS.
BUILDING IS A SUPPORT BUILDING FOR PARK. DRINKING FOUNTAINS PROVIDED ARE PEDESTAL MOUNTED OUTSIDE OF BUILDING AND NOT SHOWN ON BUILDING PLAN.

ENERGY SUMMARY
ENERGY REQUIREMENTS:
The following data shall be considered minimum and any special attribute required to meet the North Carolina Energy Conservation Code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.

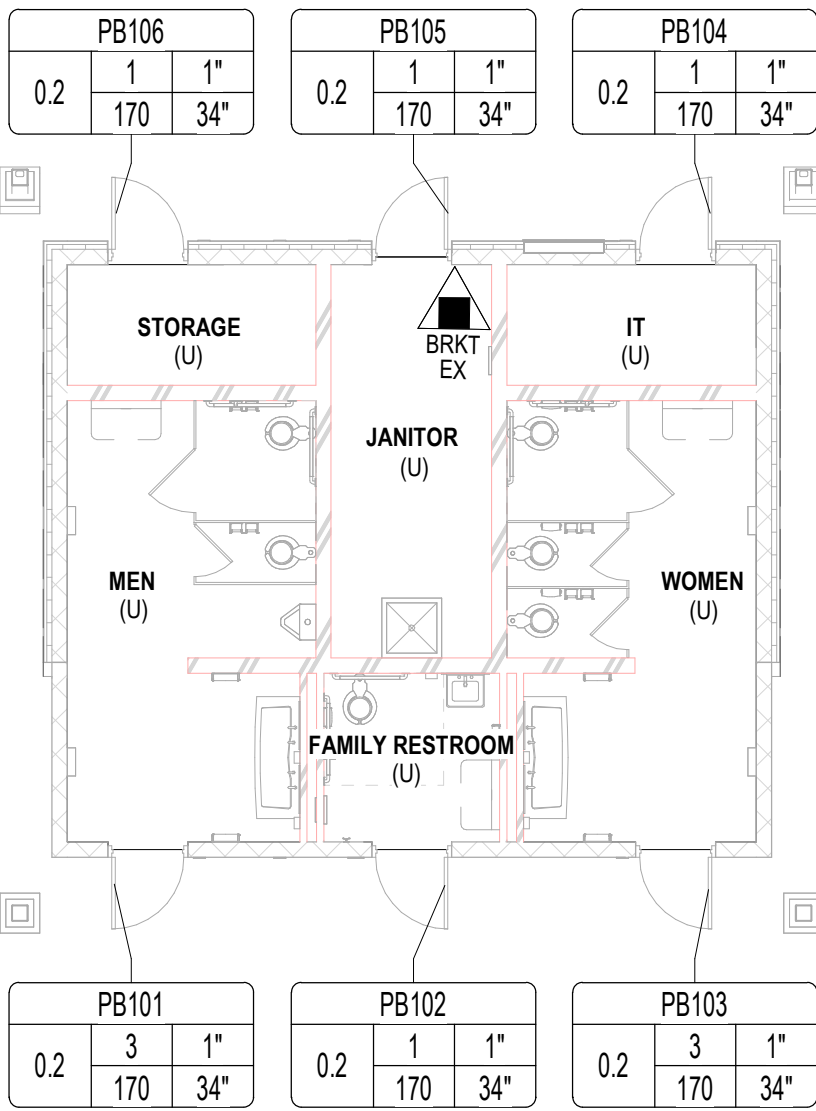
Existing building envelope complies with code: No Yes (The remainder of this section is not applicable)
Exempt Building: No Yes (Provide Code or Statutory reference): GROUP U OCCUPANCY, NCBC 1301.1.1
Climate Zone: 3A 4A 5A
Method of Compliance: Energy Code Performance Prescriptive
ASHRAE 90.1 Performance Prescriptive
(If "Other" specify source here) N/A

THERMAL ENVELOPE (Prescriptive method only)
Roof/ceiling Assembly (each assembly)
Description of assembly:
U-Value of total assembly:
R-Value of insulation:
Skylights in each assembly:
U-Value of skylight:
Total square footage of skylights in each assembly:
Exterior Walls (each assembly)
Description of assembly:
U-Value of total assembly:
R-Value of insulation:
Openings (windows or doors with glazing)
U-Value of assembly:
Solar heat gain coefficient:
Projection factor:
Door R-Values:
Walls below grade (each assembly)
Description of assembly:
U-Value of total assembly:
R-Value of insulation:
Floors over unconditioned space (each assembly)
Description of assembly:
U-Value of total assembly:
R-Value of insulation:
Floors slab on grade
Description of assembly:
U-Value of total assembly:
R-Value of insulation:
Horizontal/Vertical requirement:
Slab Heated:
2018 NC Administrative Code and Policies Appendix B for Building

LIFE SAFETY LEGEND

TRAVEL DISTANCE (TD)

BRKT EX
PORTABLE FIRE EXTINGUISHER
WALL BRACKET MOUNTED
TYPE = DRY CHEMICAL
RATING = 2A:10B:C MINIMUM



A6 REFERENCE PLAN
1/8" = 1'-0"



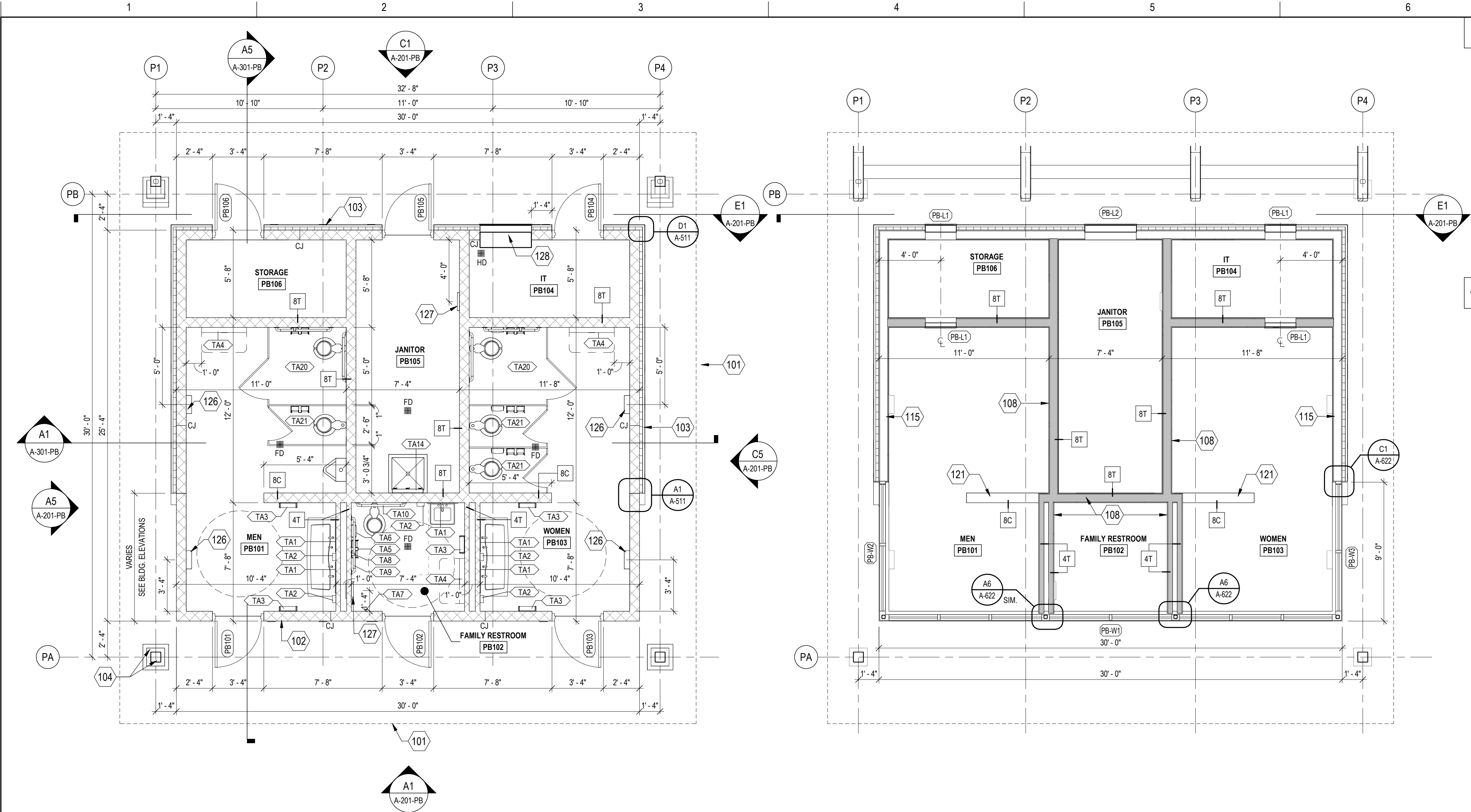
ISSUANCE SCHEDULE
DESCRIPTION
DATE
NUMBER

CITY OF CONCORD
J.E. "JIM" RAMSEUR PARK
PARKS & RECREATION DEPARTMENT
PICKLEBALL RESTROOM (PB)

PROJECT NO: 081197
DATE ISSUED: 06/15/2023
DESIGNED BY: BF
DRAWN BY: BF
CHECKED BY: BB

SHEET NAME:
PB - CODE SUMMARY AND
LIFE SAFETY PLAN

SHEET NO:
A-100-PB



C1 FLOOR PLAN
1/4" = 1'-0"

C4 CLERESTORY PLAN
1/4" = 1'-0"

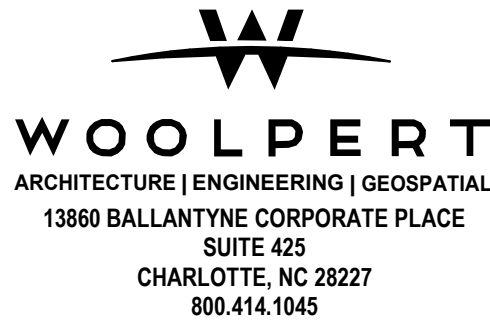
TOILET ACCESSORY SCHEDULE	
ID	Description
TA1	24X36 MIRROR W/ STAINLESS STEEL ANGLE FRAME
TA2	SURFACE MOUNTED SOAP DISPENSER - OFOI
TA3	ADA COMPLIANT SURFACE MOUNTED AUTOMATIC HAND DRYER
TA4	SURFACE MOUNTED BABY CHANGING STATION
TA5	TWO-ROLL SURFACE MOUNTED TOILET TISSUE DISPENSER - OFOI
TA6	SURFACE MOUNTED SANITARY NAPKIN DISPENSER - OFOI
TA7	DOUBLE ROBE HOOK
TA8	18" GRAB BAR
TA9	42" GRAB BAR
TA10	36" GRAB BAR
TA14	MOP AND BROOM HOLDER
TA20	TYPICAL ACCESSIBLE TOILET STALL
TA21	TYPICAL TOILET STALL

GENERAL NOTES:

1. ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT OF ALL DISCREPANCIES PRIOR TO STARTING WORK.
2. ALL DIMENSIONS ARE FACE OF MASONRY, POURED CONCRETE, OR FACE OF STUD (WOOD OR METAL, U.N.O.).
3. ALL MASONRY DIMENSIONS ARE NOMINAL, U.N.O.
4. REFER TO MEP DRAWINGS FOR MOUNTING HEIGHTS OF SWITCHES, OUTLETS, ALARMS AND ALL SURFACE MOUNTED COMPONENTS.
5. REFER TO SHEETS A-601 FOR DOOR SCHEDULE AND A-701 FOR FINISH SCHEDULE.
6. PROVIDE 1.5% SLOPE TO FLOOR DRAINS, MINIMUM OF 3" IN ALL DIRECTIONS, U.N.O.
7. MASONRY CONTRACTOR SHALL COORDINATE ALL CONDUIT AND RECESSED FIXTURES WITH APPLICABLE TRADES PRIOR TO COMMENCING INSTALLATION OF MASONRY.

SHEET KEYNOTES:

- 101 OUTLINE OF ROOF OR STRUCTURE ABOVE, TYP.
- 102 ARCHITECTURAL CMU - 8" PARTIALLY GROUTED W/ INSULATION FILL
- 103 CLADDING SYSTEM - HIGH-DENSITY FIBER CEMENT PANELS ON ALUMINUM GRID FRAMING SYSTEM. BASIS-OF-DESIGN IS EQUITONE TECTIVA PANELS ON UNIVERSE 7000 EXPOSED FASTENER SYSTEM
- 104 STEEL COLUMN W/ CONCRETE BASE, SEE STRUCTURAL - PROVIDE BASE PLATE COVER PER DETAIL C1/A-502
- 108 ALIGN FINISHED FACE OF GYP BD W/ CMU WALL BELOW
- 115 EXTERIOR WALL ASSEMBLY, SEE WALL SECTIONS FOR DETAILS
- 121 PROVIDE SOLID CMU TOP COURSE OF WING WALL, BULLNOSE ALL EXPOSED EDGES, TYP. TOP OF WALL: 9'-4" AFF
- 126 SURFACE-MOUNTED ELECTRIC WALL HEATER, SEE MECHANICAL DRAWINGS. MASONRY CONTRACTOR TO COORDINATE RECESSED J-BOXES AND POWER REQUIREMENTS WITH ELECTRICAL CONTRACTOR PRIOR TO CONSTRUCTION.
- 127 RECESSED ELECTRIC WALL HEATER, SEE MECHANICAL DRAWINGS. MASONRY CONTRACTOR TO COORDINATE RECESSED J-BOXES AND POWER REQUIREMENTS WITH ELECTRICAL CONTRACTOR PRIOR TO CONSTRUCTION. SEE DETAIL D5/A-502.
- 128 PTAC UNIT, SEE MECHANICAL DRAWINGS. PROVIDE CONDENSATION LINE ALONG INSIDE WALL TO HUB DRAIN.



ISSUANCE SCHEDULE	
NUMBER	DATE DESCRIPTION

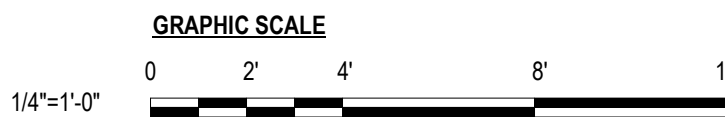
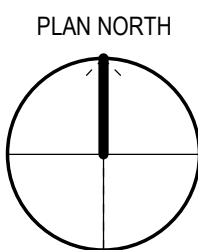
CITY OF CONCORD
J.E. "JIM" RAMSEUR PARK
PARKS & RECREATION DEPARTMENT
PICKLEBALL RESTROOM (PB)
1252 COX MILL ROAD
CONCORD, NC 28027

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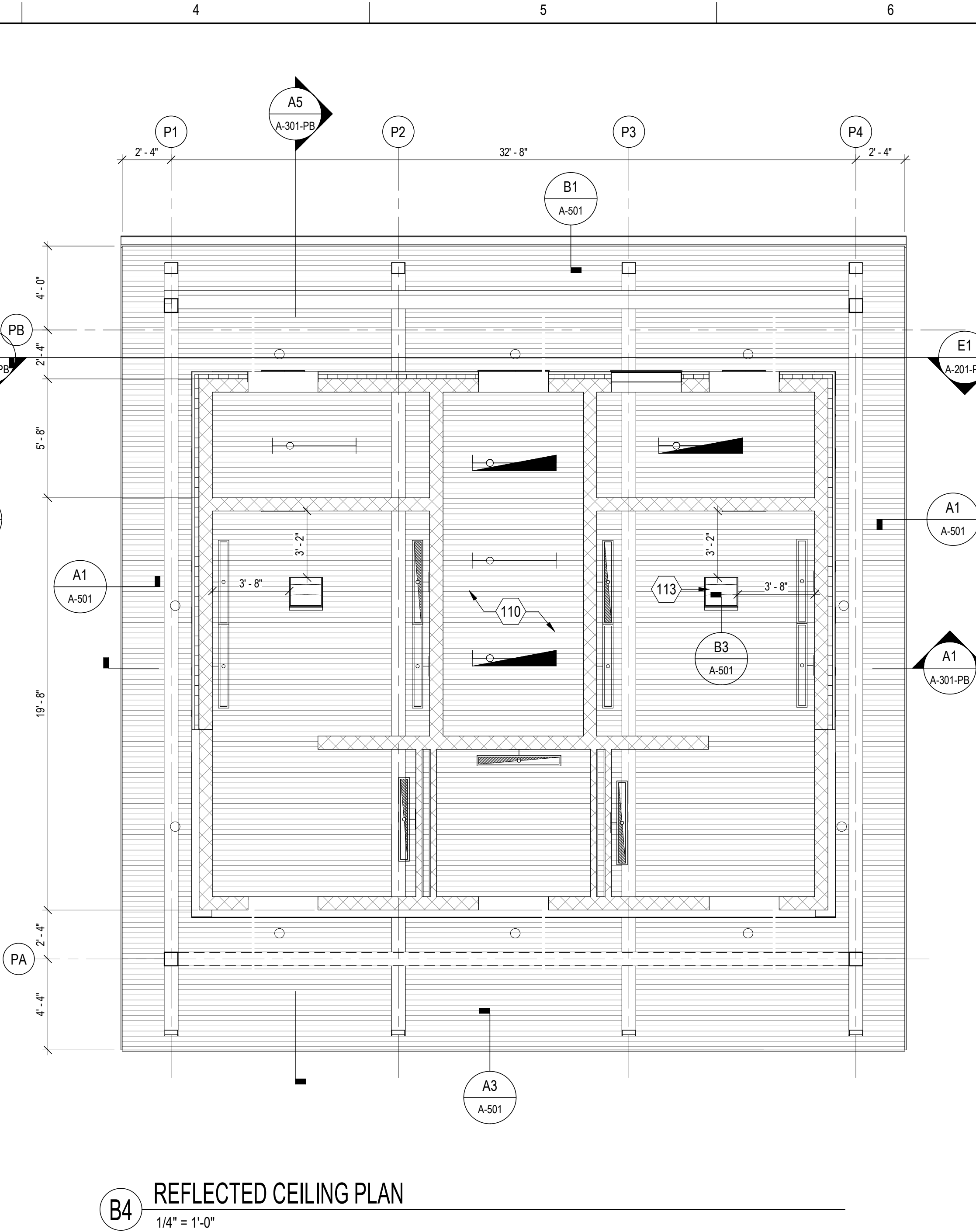
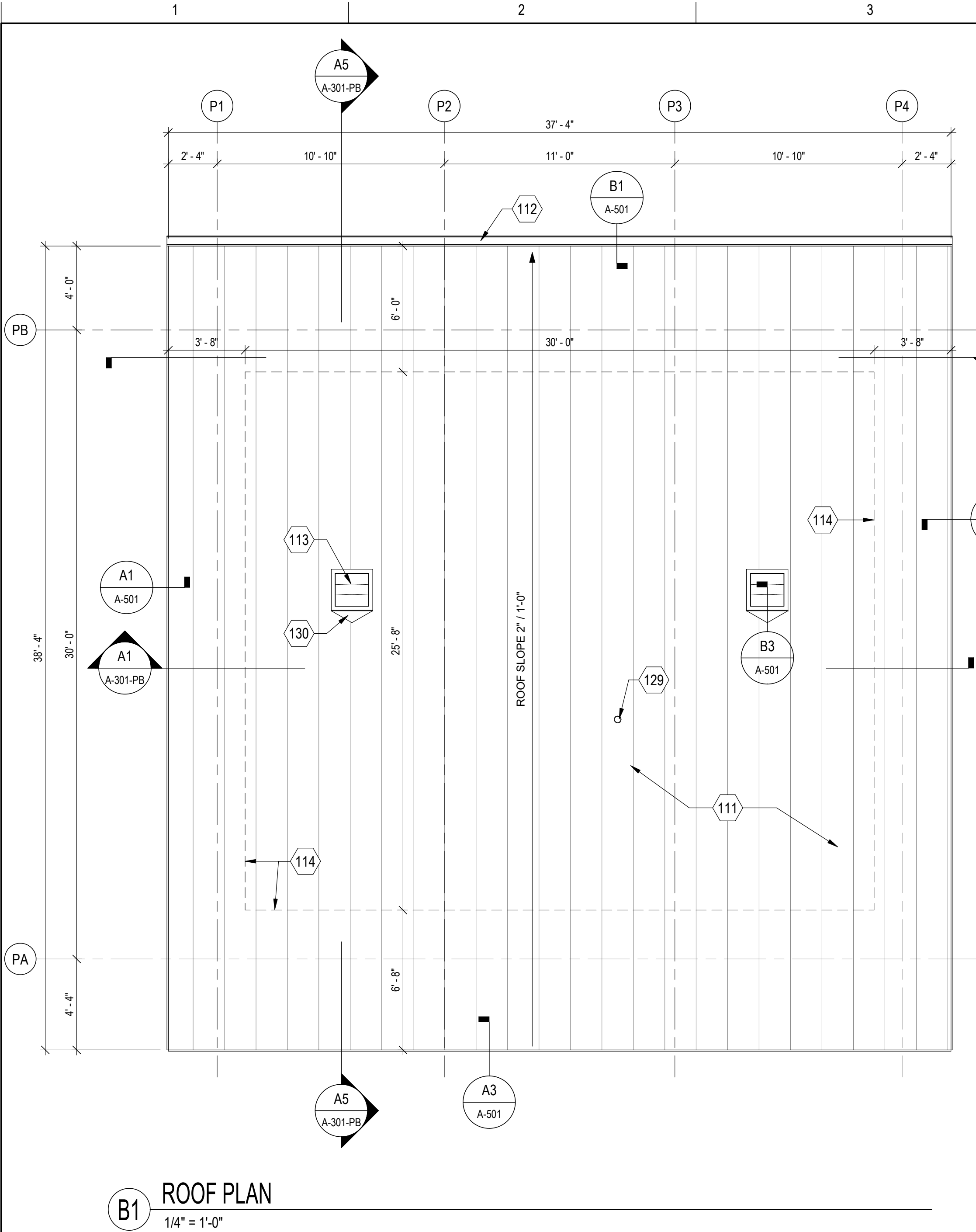
SHEET NAME:
PB - FLOOR PLAN &
CLERESTORY PLAN

SHEET NO:

A-101-PB



01/14/25 -ISSUED FOR BIDDING



GENERAL NOTES:

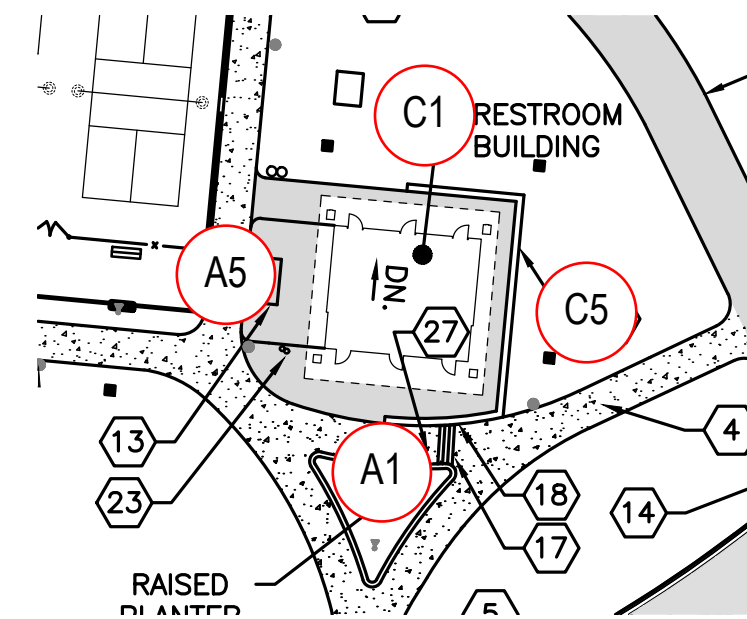
1. IN THE CASE OF MINOR DISCREPANCIES BETWEEN MEP AND ARCHITECTURAL DOCUMENTS IN THE LOCATION OF CEILING MOUNTED COMPONENTS, THE ARCHITECTURAL REFLECTED CEILING PLAN SHALL GOVERN. NOTIFY ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
2. SEE MEP DRAWINGS FOR DETAILED INFORMATION, LOCATION AND ADDITIONAL INFORMATION.
3. SEE ELECTRICAL DRAWINGS FOR LIGHT FIXTURE AND SPECIAL SYSTEM TYPES.
4. SEE MECHANICAL DRAWINGS FOR DIFFUSER AND GRILLE TYPES.
5. CENTER LIGHT FIXTURE IN ROOM OR SPACE IF NOT OTHERWISE LOCATED BY DIMENSIONS OR GRAPHIC REPRESENTATION.
6. ALL RCP DIMENSIONS ARE CLEAR FINISHED DIMENSIONS, UNLESS OTHERWISE NOTED.
7. REFER TO FINISH SCHEDULE FOR CEILING TYPES AND HEIGHTS NOT INDICATED ON THE REFLECTED CEILING PLANS.
8. SMOKE AND HEAT DETECTORS TO BE GREATER THAN 3'-0" FROM MECHANICAL DIFFUSERS.
9. PROVIDE ICE AND WATER SHIELD 24" MIN. FROM ALL EAVES AND PENETRATIONS.
10. ALL ROOF SURFACES TO BE 2" VERTICAL PER 1'-0" HORIZONTAL. U.N.O.
11. PROVIDE ALL CRICKETS, SADDLES, FLASHING AND RELATED COMPONENTS AS REQUIRED TO PREVENT PONDING AND CREATE A COMPLETE ROOFING SYSTEM.
12. PROVIDE CRICKETS AT ROOF CURBS AND/OR EQUIPMENT WHERE REQUIRED TO PROVIDE POSITIVE DRAINAGE TO ROOF DRAINS.
13. ALL ROOFTOP MECHANICAL, ELECTRICAL AND/OR PLUMBING EQUIPMENT SHOWN FOR REFERENCE ONLY. REFER TO MEP DOCUMENTS FOR SPECIFIC DESIGN INFO.
14. REFER TO STRUCTURAL DRAWINGS FOR ROOF PENETRATIONS AND FRAMING REQUIREMENTS IN ROOFS. VERIFY LOCATIONS, SIZES & TYPES REQUIRED BY MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS.
15. REFER TO SHEET A-501 FOR TYPICAL ROOF DETAILS.
16. ALL DOWNSPOUTS TO GRADE FROM ROOF DRAINAGE SYSTEMS CONNECT TO UNDERGROUND STORM SYSTEM UNO.
17. COORDINATE W/ WALL SECTIONS AND STRUCTURAL FOR THE FOLLOWING ELEVATIONS:
 - EAVE HEIGHT
 - DECK BEARING ELEVATION
 - TOP OF MASONRY

SHEET KEYNOTES:

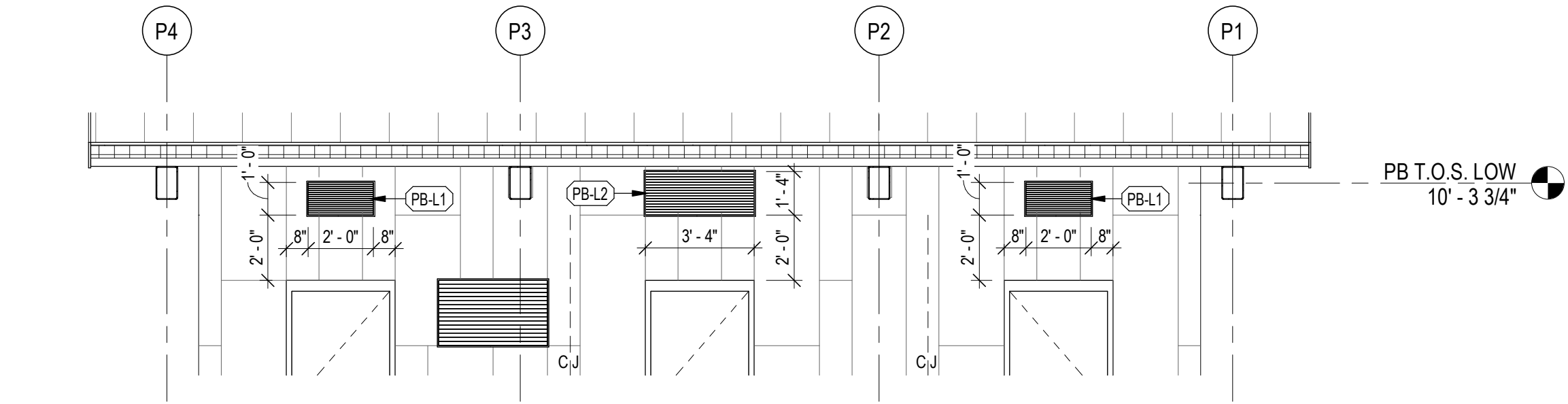
- 110 EXPOSED CLT WOOD DECK
111 STANDING SEAM METAL ROOF
112 METAL GUTTER AND DOWNSPOUT, TYP.
113 SKYLIGHT, TYP. - SEE DETAIL B3/A-501
114 OUTLINE OF WALLS BELOW
129 VTR, TYP. SEE D3 ON A-501
130 CRICKET HIGH SIDE OF SKYLIGHTS PER ROOFING MANUFACTURER RECOMMENDATIONS, TYP.

LEGEND:

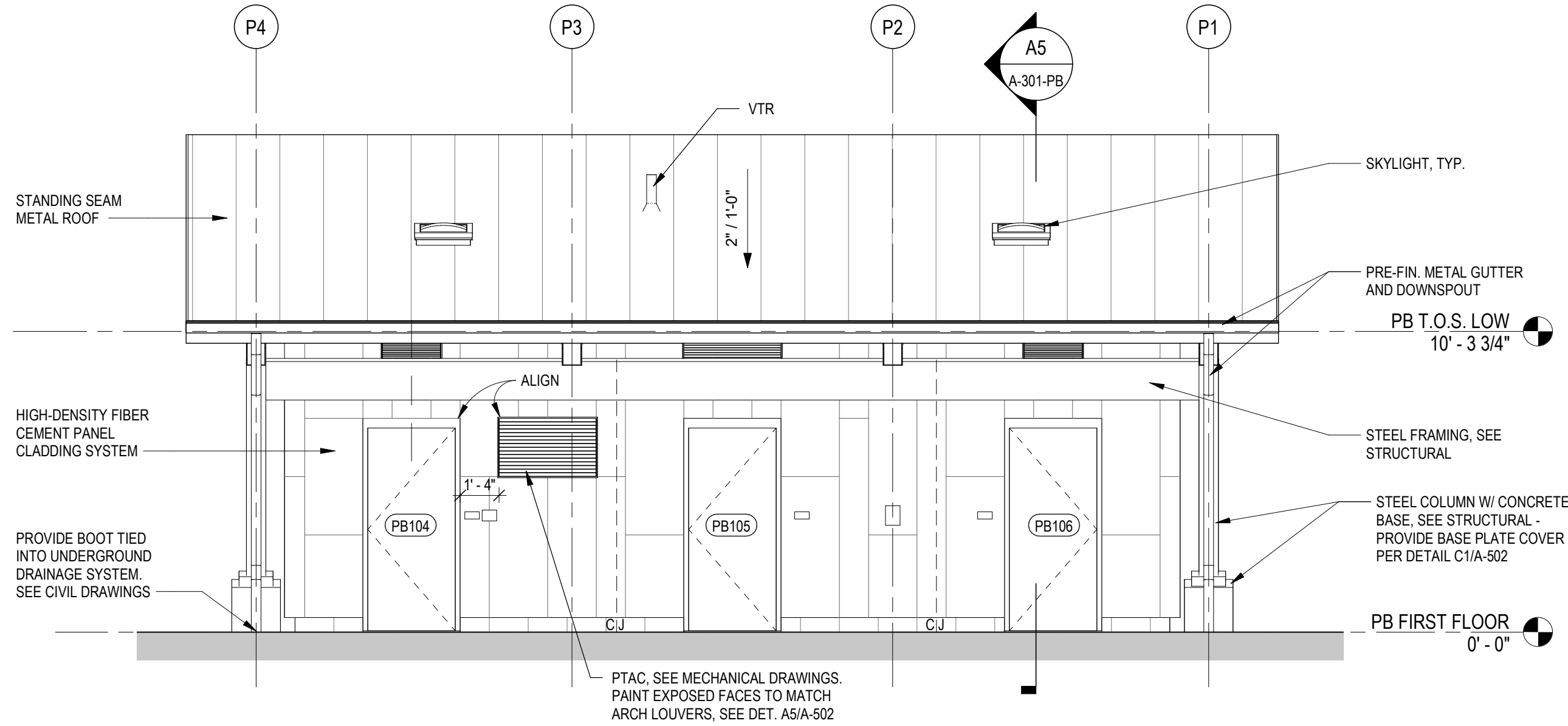
- EXPOSED CLT WOOD DECK
- LIGHT FIXTURE, REFER TO ELECTRICAL DRAWINGS
- EMERGENCY / NIGHT LIGHT FIXTURES, REFER TO ELECTRICAL DRAWINGS
- HVAC SUPPLY, RETURN, EXHAUST DIFFUSER, REFER TO MECHANICAL DRAWINGS
- SMOKE DETECTOR
- SPEAKER



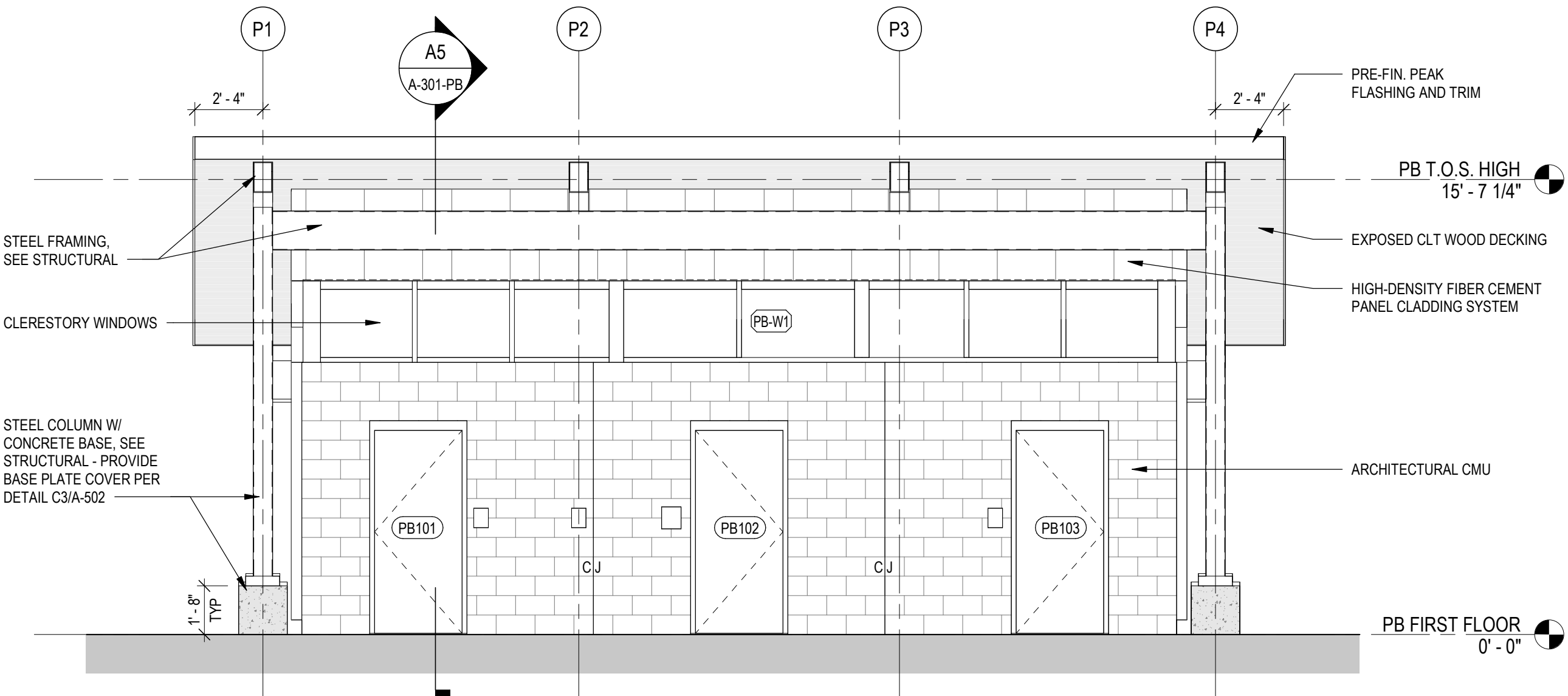
KEY PLAN



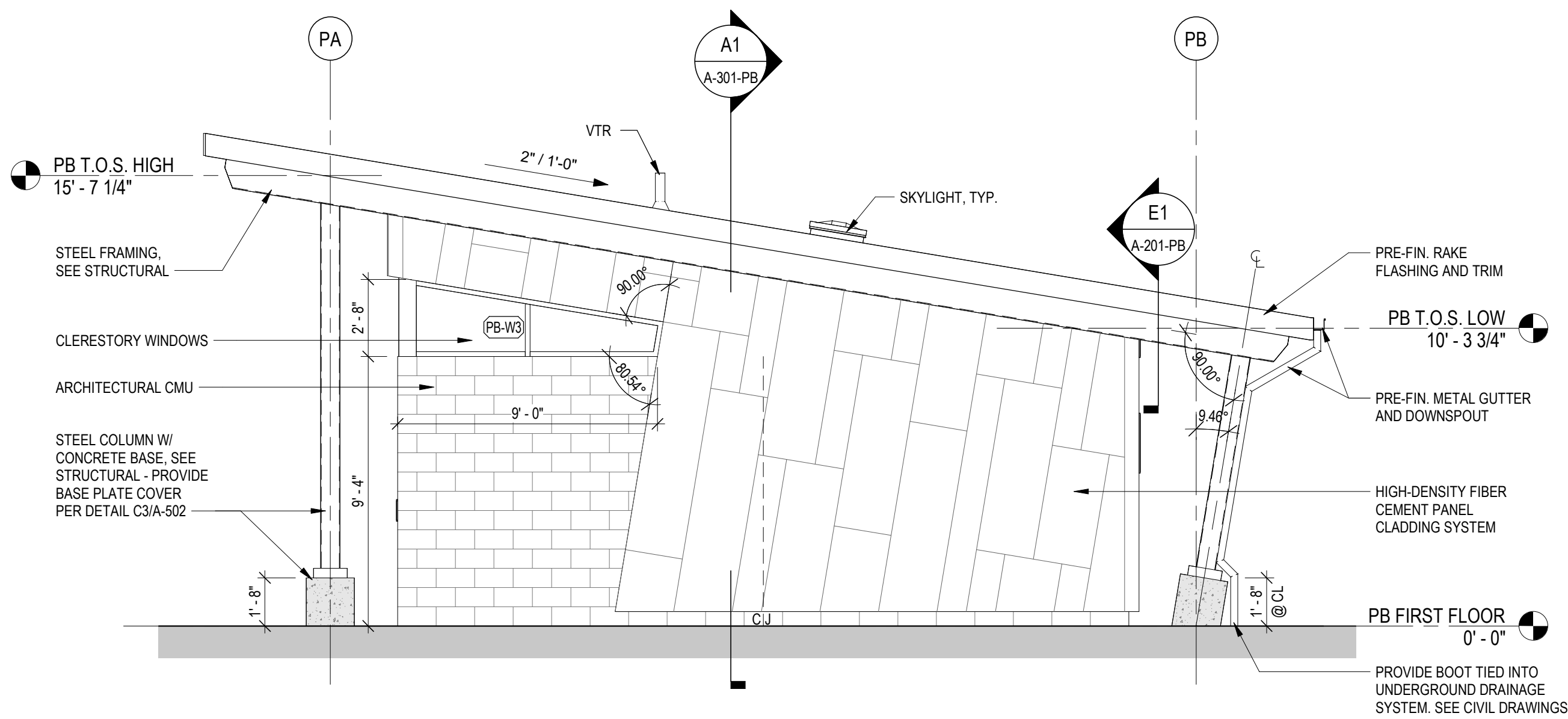
E1 PARTIAL NORTH ELEVATION
1/4" = 1'-0"



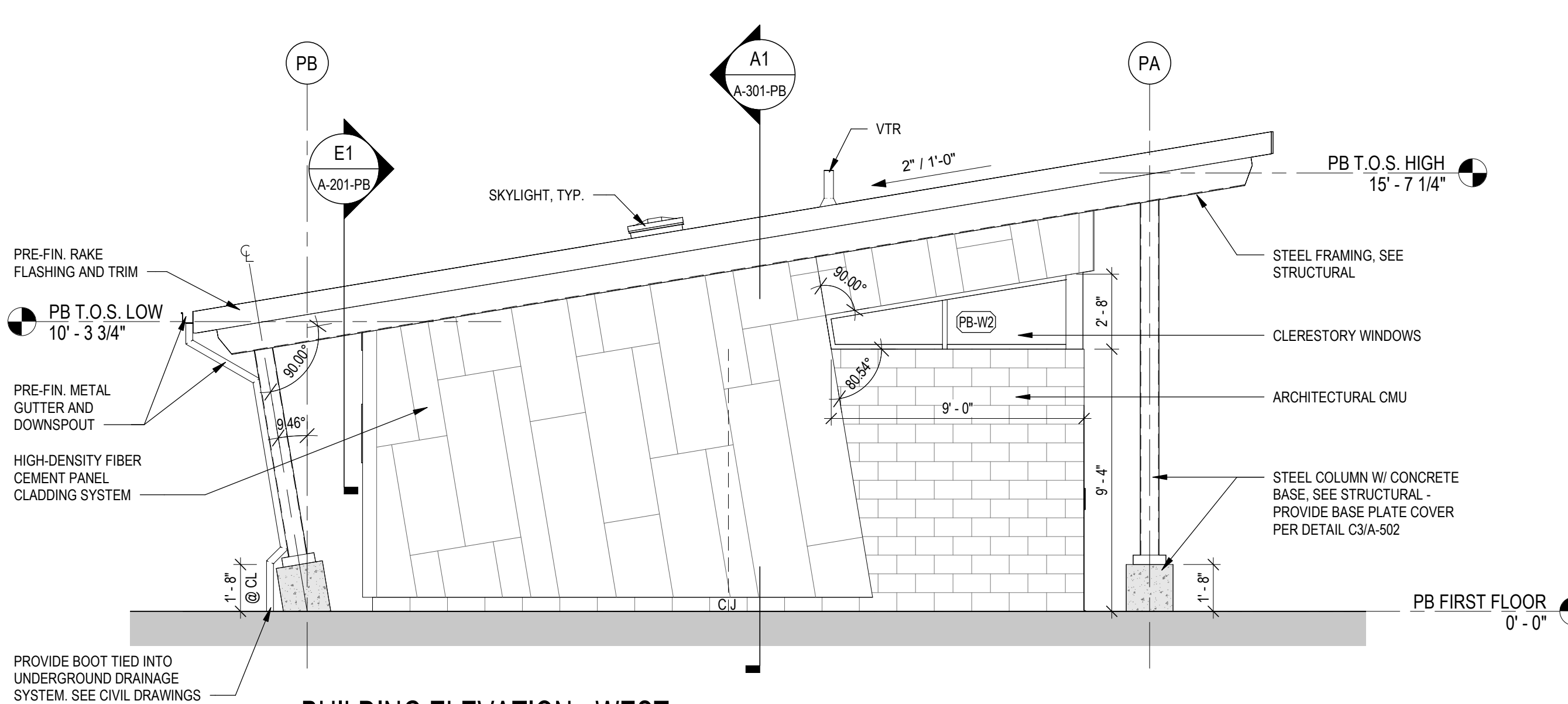
C1 BUILDING ELEVATION - NORTH
1/4" = 1'-0"



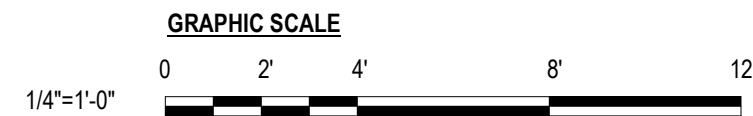
A1 BUILDING ELEVATION - SOUTH
1/4" = 1'-0"



C5 BUILDING ELEVATION - EAST
1/4" = 1'-0"

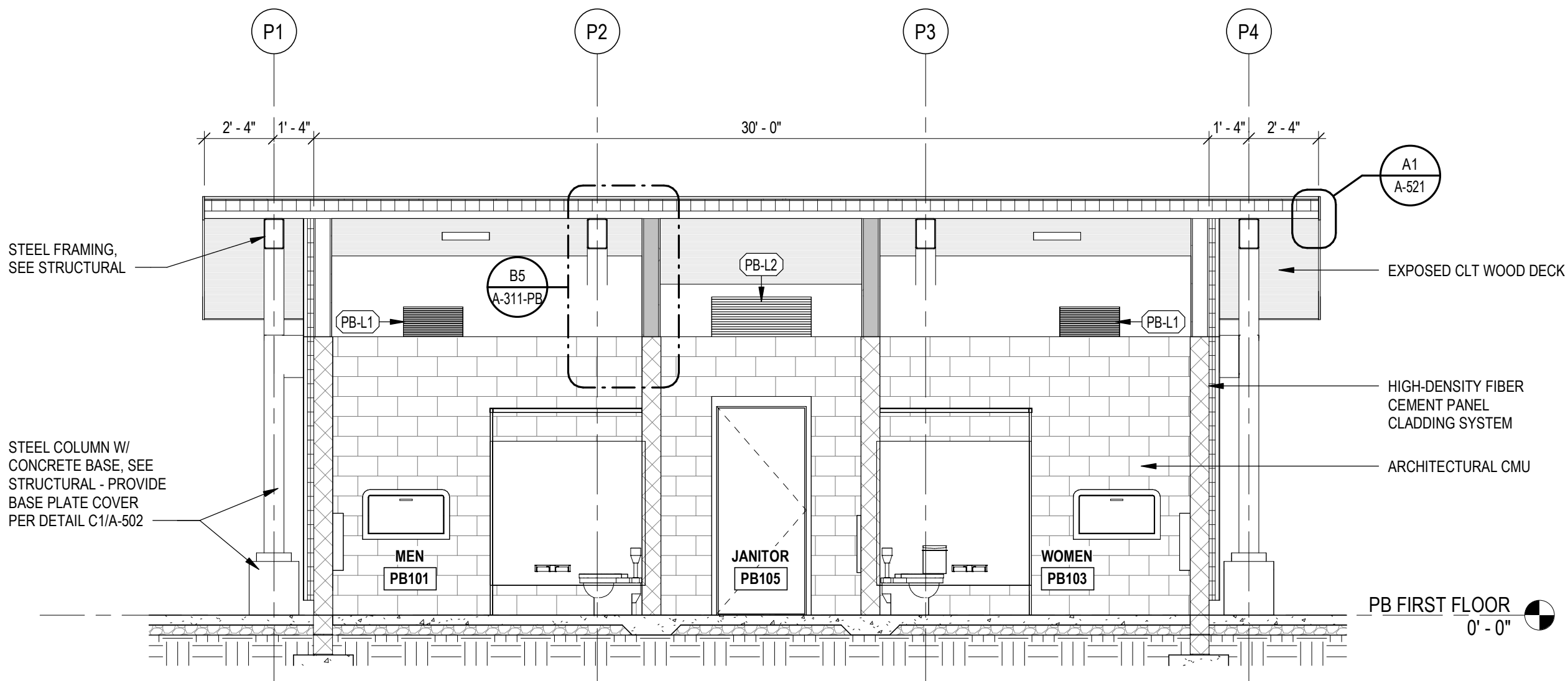


A5 BUILDING ELEVATION - WEST
1/4" = 1'-0"

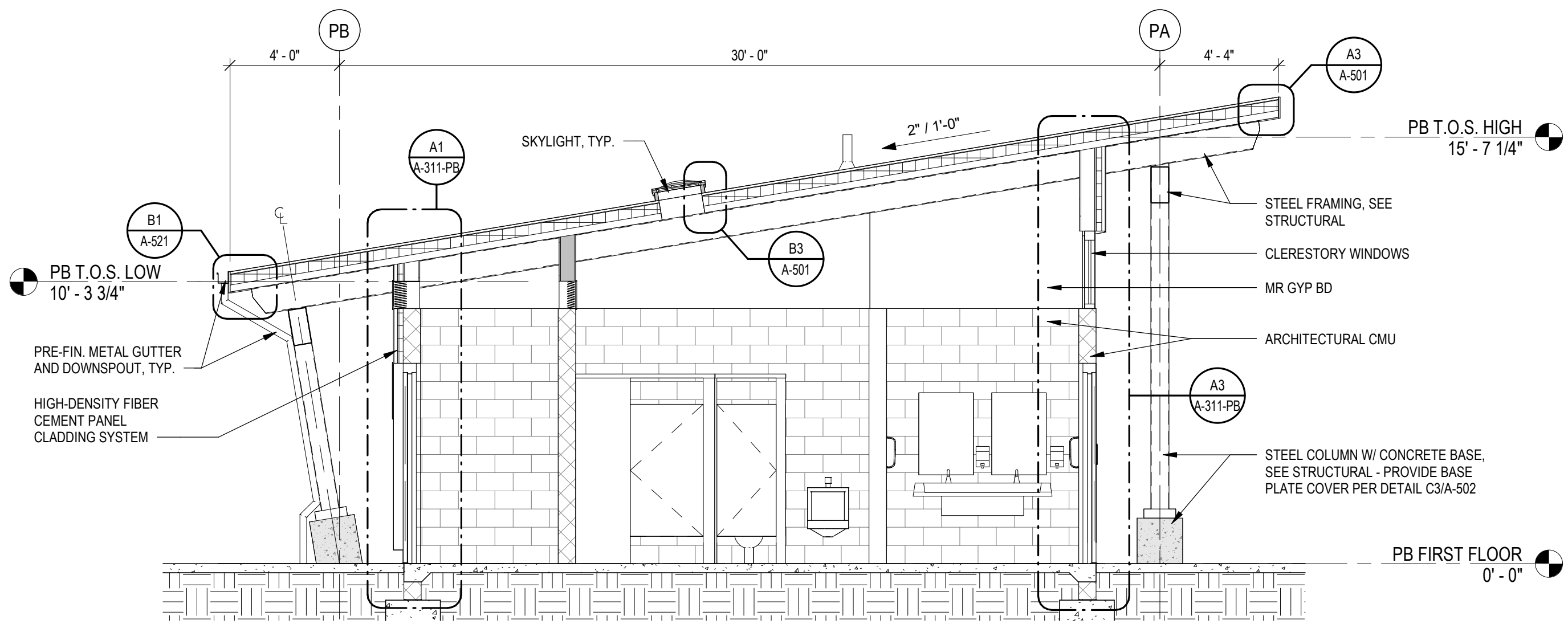


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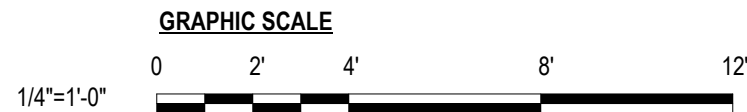
Autodesk Docs://JE Ramseur Park - Pickleball Restroom_ARCH_P22.rvt



A1 BUILDING SECTION
1/4" = 1'-0"



A5 BUILDING SECTION
1/4" = 1'-0"



ISSUANCE SCHEDULE

DATE

NUMBER

C

B

A

CITY OF CONCORD
J.E. "JIM" RAMSEUR PARK
PARKS & RECREATION DEPARTMENT
PICKLEBALL RESTROOM (PB)
1252 COX MILL ROAD
CONCORD, NC 28027

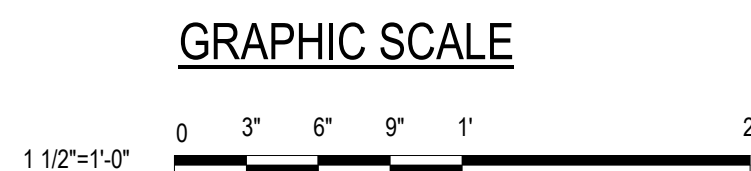
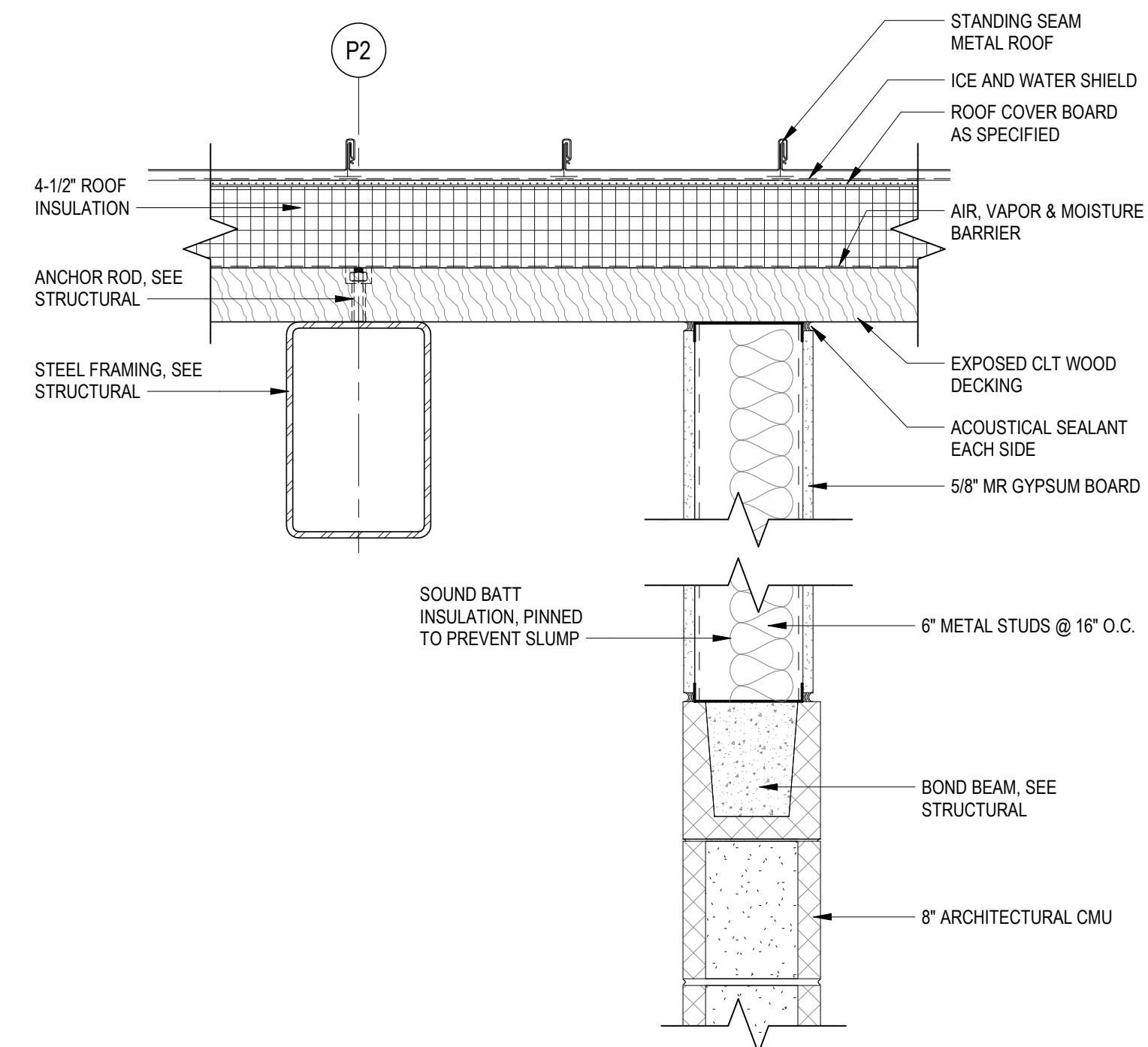
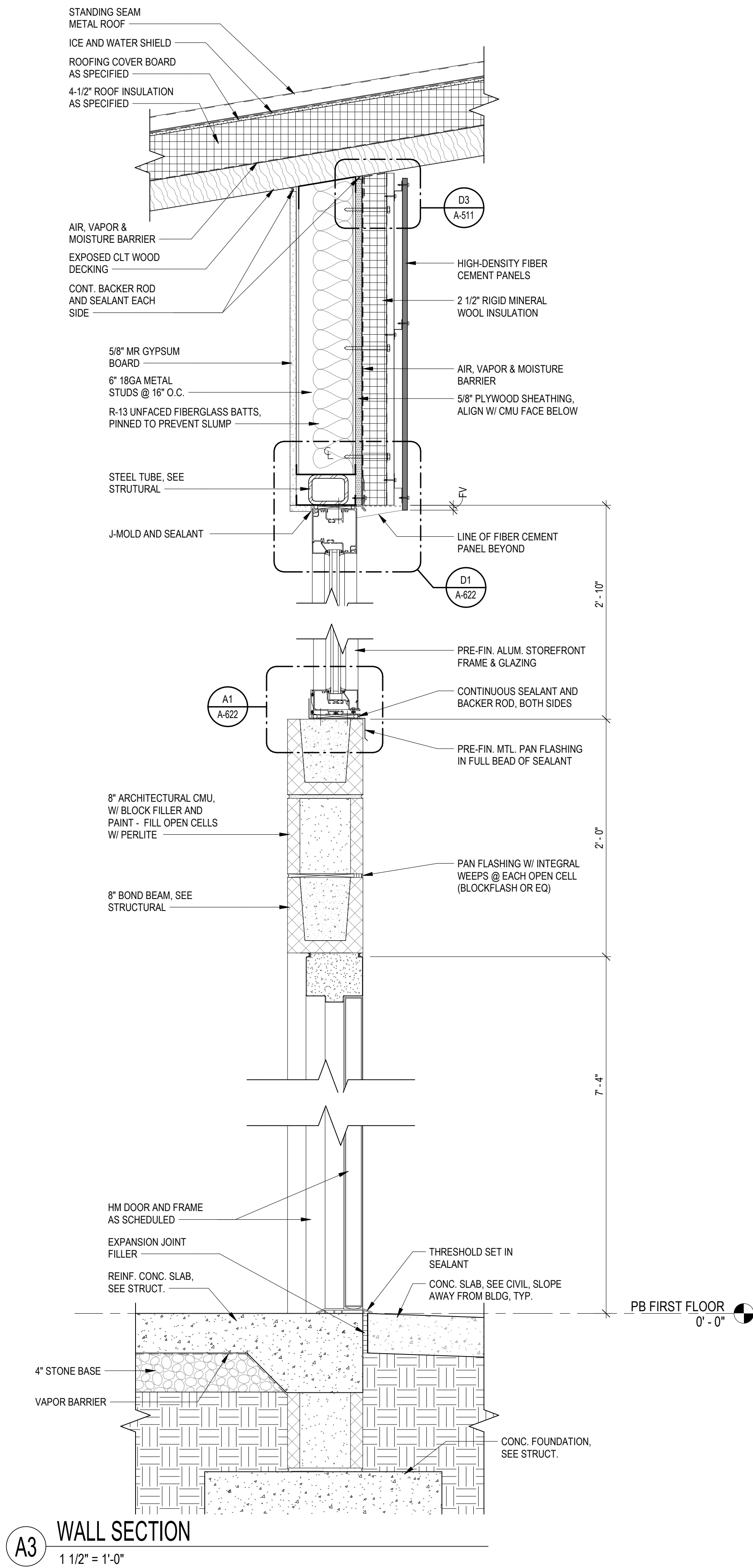
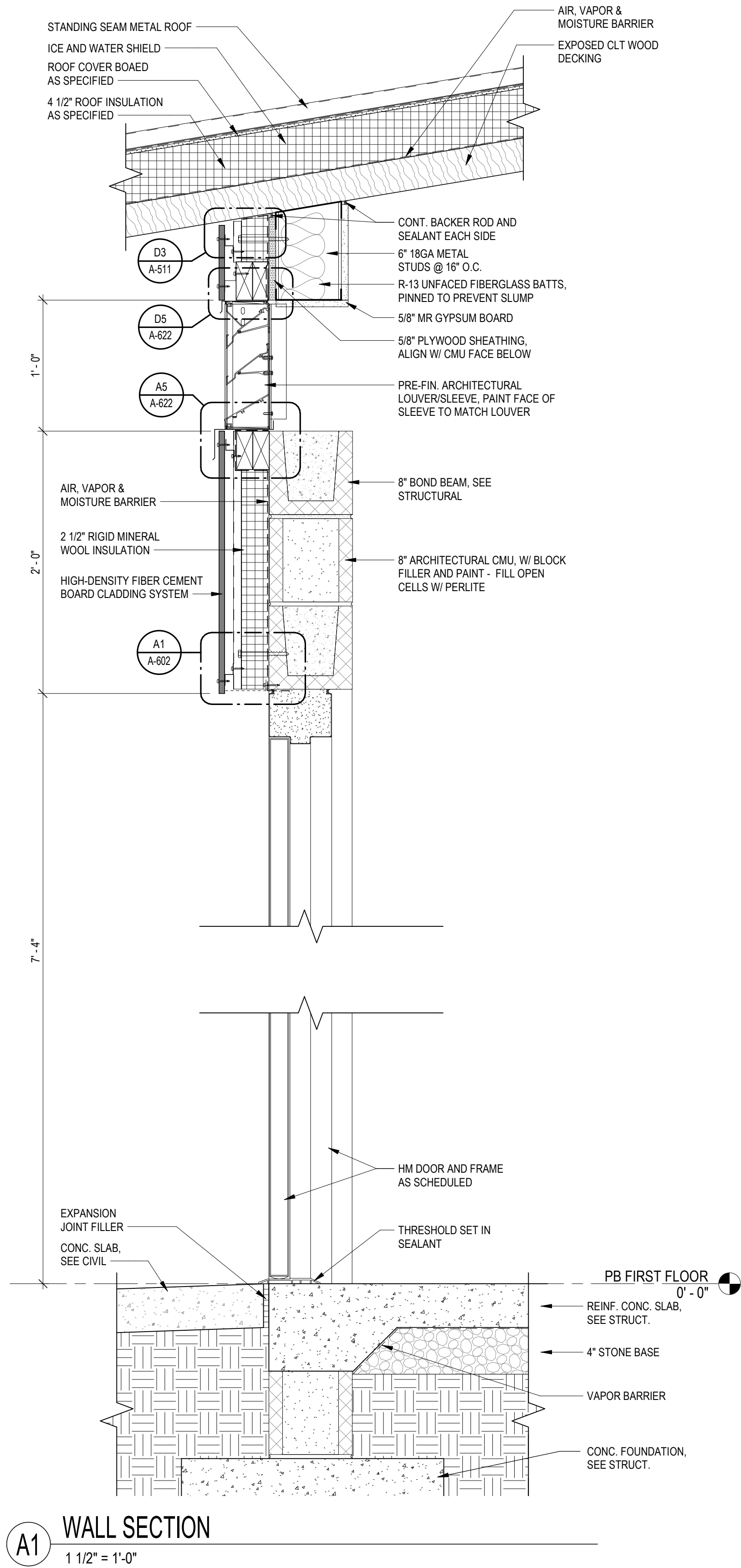
PROJECT NO: 081197
DATE ISSUED: 06/15/2023
DESIGNED BY: BF
DRAWN BY: DL
CHECKED BY: BB

SHEET NAME:
PB - BUILDING SECTIONS

SHEET NO:

A-301-PB

01/14/25 -ISSUED FOR BIDDING



2018 APPENDIX B
BUILDING CODE SUMMARY
FOR ALL COMMERCIAL PROJECTS
(EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)
(Reproduce the following data on the building plans sheet 1 or 2)

Name of Project: J.E. "JIM" RAMSEUR PARK - SPLASHPAD PAVILION
Address: 1252 COX MILL ROAD, CONCORD, NC Zip Code 28027
Owner/Authorized Agent: CITY OF CONCORD Phone # () - E-Mail
Owned By: City/County Private State
Code Enforcement Jurisdiction: City County CABARRUS State

DESIGNER	FIRM	NAME	LICENSE #	TELEPHONE #	E-MAIL
Architectural	WOOLPERT	BRYAN D. FIKE	13565	(704) 525-3032	BRYAN.FIKE@WOOLPERT.COM
Civil	WOOLPERT	RAY M. NIX, JR	054074	(843) 972-4566	RAY.NIX@WOOLPERT.COM
Electrical	OPTIMA ENGINEERING	BRANDON L. MILLER	028297	(704) 338-1292	BMILLER@OPTIMAENGINEERING.COM
Fire Alarm	N/A				
Plumbing	OPTIMA ENGINEERING	GEORGE C. FOWLER, III	26023	(704) 338-1292	GFOWLER@OPTIMAENGINEERING.COM
Mechanical	OPTIMA ENGINEERING	RONALD V. ALMOND	17228	(704) 338-1292	RALMOND@OPTIMAENGINEERING.COM
Sprinkler-Standpipe	N/A				
Structural	WOOLPERT	MARK MAINRIDGE	28511	(801) 699-4987	MARK.MAINRIDGE@WOOLPERT.COM
Retaining Walls >5' High					
Other	LANDSCAPE ARCH (WOOLPERT)	ANDREW R. PACK	798	(704) 525-6284	ANDREW.PACK@WOOLPERT.COM

("Others" should include firms and individuals such as truss, precast, pre-engineered, interior designers, etc.)

2018 NC CODE FOR: New Construction Addition Renovation
Alteration: 1st Time Interior Completion Shell/Core Phased Construction - Shell/Core Renovation
2018 NC EXISTING BUILDING CODE: Prescriptive Repair Chapter 14
Alteration: Level I Level II Level III Level IV
Historic Property Change of Use
CONSTRUCTED:(date) ORIGINAL OCCUPANCY(S) (Ch. 3):
RENOVATED: (date) CURRENT OCCUPANCY(S) (Ch. 3):
RISK CATEGORY (table 1604.5) Current: I II III IV
Proposed: I II III IV

BASIC BUILDING DATA
Construction Type: I-A I-B II-A II-B III-A III-B IV V-A V-B
(check all that apply)
Sprinklers: No Partial Yes NFPA 13 NFPA 13R NFPA 13D
Standpipes: No Yes Class I II III Wet Dry
Fire District: No Yes (Primary) Flood Hazard Area: No Yes
Special Inspections Required: No Yes

2018 NC Administrative Code and Policies Appendix B for Building

FLOOR	EXISTING (SQ FT)	NEW (SQ FT)	RENO/ALTER (SQ.FT)	SUB-TOTAL
6 th Floor				
5 th Floor				
4 th Floor				
3 rd Floor				
2 nd Floor				
Mezzanine				
1 st Floor	0 SF	653 SF	0 SF	653 SF
Basement				
TOTAL	0 SF	653 SF	0 SF	653 SF

ALLOWABLE AREA
Primary Occupancy Classification: SELECT ONE
Assembly Business Educational Factory Hazardous Institutional Mercantile Residential Storage Utility and Miscellaneous
A-1 A-2 A-3 A-4 A-5
F-1 Moderate F-2 Low
H-1 Detonate H-2 Deflagrate H-3 Combust H-4 Health H-5 HPM
I-1 Condition 1 2
I-2 Condition 1 2 3 4 5
I-3 Condition 1 2 3 4 5
I-4
R-1 R-2 R-3 R-4
S-1 Moderate S-2 Low High-piled
Parking Garage Open Enclosed Repair Garage
Utility and Miscellaneous

Accessory Occupancy Classification(s):
Incidental Uses (Table 509):
Special Uses (Chapter 4 - List Code Sections) S-1 CONTROL AREA FOR CHEMICAL STORAGE
Special Provisions: (Chapter 5 - List Code Sections):
Mixed Occupancy: No Yes Separation: Hr. Exception:
Non-Separated Use (508.3)
The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building. The most restrictive type of construction, so determined, shall apply to the entire building.
Separated Use (508.4)
See below for area calculations for each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1.

$$\frac{\text{Actual Area of Occupancy A}}{\text{Allowable Area of Occupancy A}} + \frac{\text{Actual Area of Occupancy B}}{\text{Allowable Area of Occupancy B}} \leq 1$$
$$+ + + \dots = \leq 1.00$$

2018 NC Administrative Code and Policies

Appendix B for Building

STORY NO.	DESCRIPTION AND USE	(A) BLDG AREA PER STORY (ACTUAL)	(B) TABLE 506.2.4 AREA	(C) AREA FOR FRONTAGE INCREASE ^{1,2}	(D) ALLOWABLE AREA PER STORY OR UNLIMITED ^{1,3}
1	GROUP U	607 SF	5,500 SF	N/A	5,500 SF
1	S-1	46 SF	9,000 SF	N/A	5,500 SF

¹ Frontage area increases from Section 506.3 are computed thus:
a. Perimeter which fronts a public way or open space having 20 feet minimum width = (F)
b. Total Building Perimeter = (P)
c. Ratio (F/P) = (F/P)
d. W = Minimum width of public way = (W)
e. Percent of frontage increase $I_r = 100 [F/P - 0.25] \times W/30 = (\%)$
² Unlimited area applicable under conditions of Section 507.
³ Maximum Building Area = total number of stories in the building x D (maximum 3 stories) (506.2).
⁴ The maximum area of open parking garages must comply with Table 406.5.4
⁵ Frontage increase is based on the unsprinklered area value in Table 506.2.

	ALLOWABLE (TABLE 503)	SHOWN ON PLANS	CODE REFERENCE
Building Height in Feet (Table 504.3)	40'	20'-0"	
Building Height in Stories (Table 504.4)	1	1	

¹ Provide code reference if the "Show on Plans" quantity is not based on Table 504.3 or 504.4.
² The maximum height of air traffic control towers must comply with Table 412.3.1
³ The maximum height of open parking garages must comply with Table 406.5.4

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	RATING REQ'D	RATING PROVIDED (W/ REDUCTION)	DETAIL # AND SHEET #	DESIGN # FOR RATED ASSEMBLY	DESIGN # FOR RATED PENETRATION	DESIGN # FOR RATED JOINTS
Structural Frame, including columns, girders, trusses	10'	0					
Bearing Walls		0					
Exterior		0					
North	10'	0					
East	10'	0					
West	10'	0					
South	10'	0					
Interior	N/A	0					
Nonbearing Walls and Partitions		0					
Exterior walls		0					
North	10'	0					
East	10'	0					
West	10'	0					
South	10'	0					
Interior walls and partitions	1HR	1HR	8M/A-002	UL U906	UL U906	8M/A-002	
Floor Construction Including supporting beams and joists	N/A	0					
Floor Ceiling Assembly	N/A	1HR	1HR	B5/A-311-SP	UL U499	UL U499	B5/A-311-SP
Column Supporting Floors	N/A	0					
Roof Construction, including supporting beams and joists	10'	0					
Roof Ceiling Assembly	N/A	N/A					
Column Supporting Roof	10'	0					
Shaft Enclosures - Exit	N/A	N/A					
Shaft Enclosures - Other	N/A	N/A					
Corridor Separation	N/A	N/A					
Occupancy/Fire Barrier Separation	N/A	1HR	1HR	8M/A-002	UL U906	UL U906	8M/A-002
Party/Fire Wall Separation	N/A	N/A					
Smoke Barrier Separation	N/A	N/A					
Smoke Partition	N/A	N/A					
Tenant/Dwelling Unit/Sleeping Unit Separation	N/A	N/A					
Incidental Use Separation	N/A	N/A					

* Indicate section number permitting reduction

FIRE SEPARATION DISTANCE (FEET FROM PROPERTY LINES)	DEGREES OF OPENINGS PROTECTION (TABLE 705.8)	ALLOWABLE AREA (%)	ACTUAL SHOWN ON PLANS (%)
30 OR GREATER	UP, NS	NO LIMIT	N/A

2018 NC Administrative Code and Policies

Appendix B for Building

LIFE SAFETY SYSTEM REQUIREMENTS

Emergency Lighting: No Yes
Exit Signs: No Yes
Fire Alarm: No Yes
Smoke Detection Systems: No Yes Partial
Carbon Monoxide Detection: No Yes

LIFE SAFETY PLAN REQUIREMENTS

Life Safety Plan Sheet #: A-100-SP

Fire and/or smoke rated wall locations (Chapter 7)
Assumed and real property line locations (if not on the site plan)
Exterior wall opening area with respect to distance to assumed property lines (705.8)
Occupancy types for each area as it relates to occupant load calculation (Table 1004.1.2)
Occupant loads for each area
Exit access travel distances (1017)
Common path of travel distances (1006.2.1 & 2006.3.2(1))
Dead end lengths (1020.4)
Clear exit widths for each exit door
Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)
Actual occupant load for each exit door
A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation and supporting construction for a fire barrier/fire partition/smoke barrier.
Location of doors with panic hardware (1010.1.10)
Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)
Location of doors with electromagnetic egress locks (1010.1.9.9)
Location of doors equipped with hold-open devices
Location of emergency escape windows (1030)
The square footage of each fire area (202)
The square footage of each smoke compartment for Occupancy Classification I-2 (407.5)
Note any code exceptions or table notes that may have been utilized regarding the items above

Section/Table/Note	Title

ACCESSIBLE DWELLING UNITS
(SECTION 1107)

TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE A UNITS REQUIRED	TYPE A UNITS PROVIDED	TYPE B UNITS REQUIRED	TYPE B UNITS PROVIDED	TOTAL ACCESSIBLE UNITS PROVIDED

ACCESSIBLE PARKING
(SECTION 1106)

LOT OR PARKING AREA	TOTAL # OF PARKING SPACES REQUIRED	PROVIDED	# OF ACCESSIBLE SPACES PROVIDED			TOTAL # ACCESSIBLE PROVIDED
			REGULAR WITH 5' ACCESS AISLE	132" ACCESS AISLE	8' ACCESS AISLE	
TOTAL						

PLUMBING FIXTURE REQUIREMENTS
(TABLE 2902.1)

USE	WATERCLOSETS			URINALS	LAVATORIES			SHOWERS / TUBS	DRINKING FOUNTAINS	
	MALE	FEMALE	UNISEX		MALE	FEMALE	UNISEX		REGULAR	ACCESSIBLE
SPACE	EXIST'G	0	0	0	0	0	0	0	0	0
NEW	1	1	2	0	1	1	2	0	1	1
REQ'D	SEE SHEET G-003 FOR REQUIRED FIXTURES BASED ON SITE LOADING ESTIMATES							0	0.33	0.33

SPECIAL APPROVALS

Special approval: (Local Jurisdiction, Department of Insurance, SCO, DPI, DHHS, ICC, etc., describe below)
NOTE: REQUIRED PLUMBING FIXTURES ARE BASED ON SITE/PARKING CALCULATIONS.
BUILDING IS A SUPPORT BUILDING FOR PARK. DRINKING FOUNTAINS PROVIDED ARE PEDESTAL MOUNTED OUTSIDE OF BUILDING AND NOT SHOWN ON BUILDING PLAN.

ENERGY SUMMARY

ENERGY REQUIREMENTS:

The following data shall be considered minimum and any special attribute required to meet the North Carolina Energy Conservation Code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.

Existing building envelope complies with code: No Yes (The remainder of this section is not applicable)

Exempt Building: No Yes (Provide Code or Statutory reference): GROUP U OCCUPANCY, NCBC 1301.1.1

Climate Zone: 3A 4A 5A

Method of Compliance: Energy Code Performance Prescriptive
ASHRAE 90.1 Performance Prescriptive
(If "Other" specify source here) N/A

THERMAL ENVELOPE (Prescriptive method only)

Roof/ceiling Assembly (each assembly)

Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____
Skylights in each assembly: _____
U-Value of skylight: _____
Total square footage of skylights in each assembly: _____

Exterior Walls (each assembly)

Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____
Openings (windows or doors with glazing)
U-Value of assembly: _____
Solar heat gain coefficient: _____
Projection factor: _____
Door R-Values: _____

Walls below grade (each assembly)

Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____

Floors over unconditioned space (each assembly)

Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____

Floors slab on grade

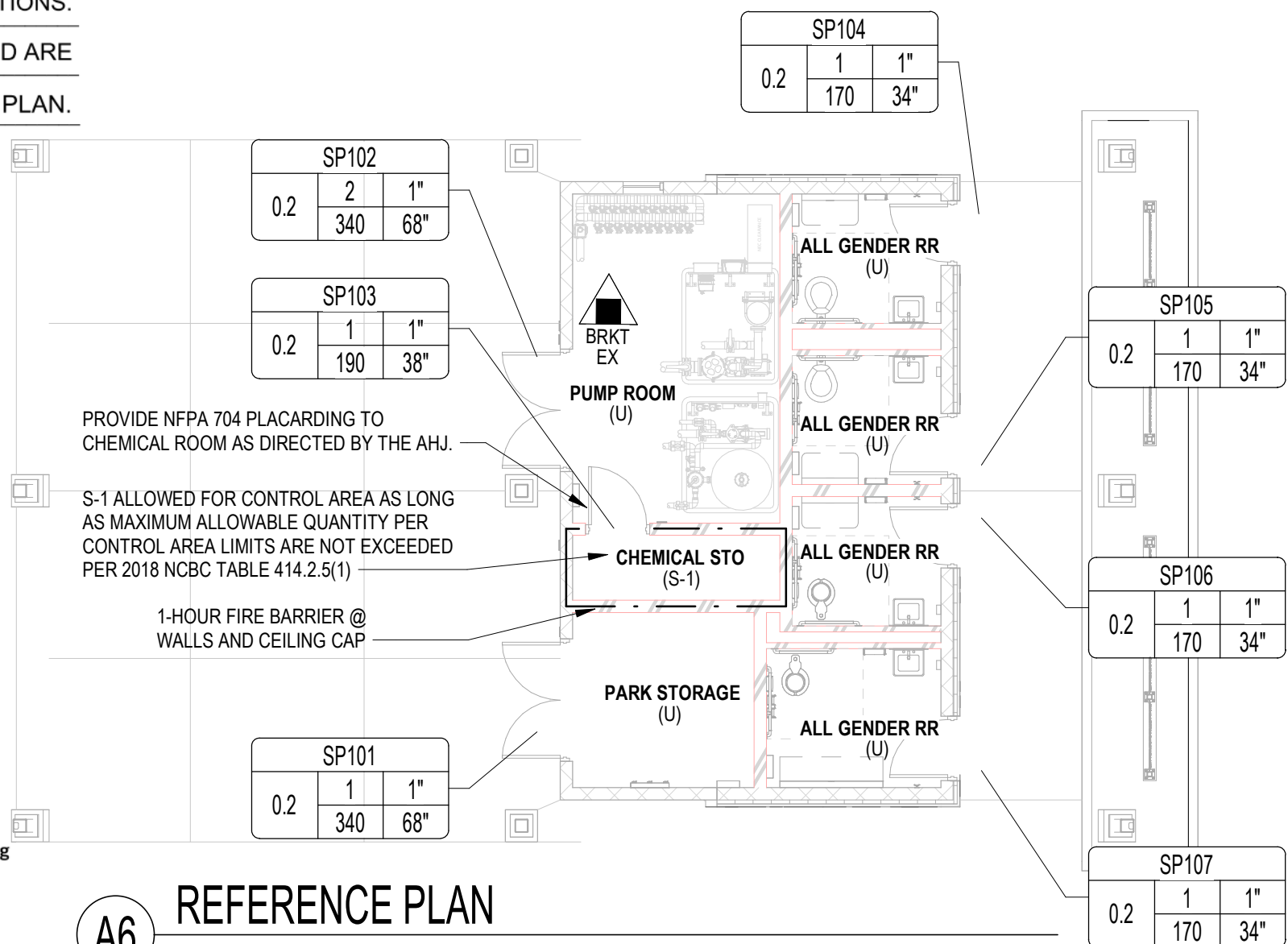
Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____
Horizontal/Vertical requirement: _____
Slab Heated: _____

2018 NC Administrative Code and Policies

Appendix B for Building

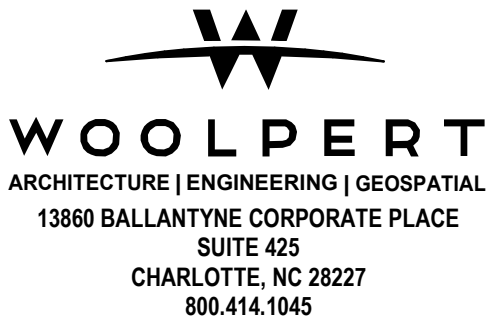
LIFE SAFETY LEGEND

TRAVEL DISTANCE (TD)
PORTABLE FIRE EXTINGUISHER
WALL BRACKET MOUNTED
TYPE = DRY CHEMICAL
RATING = 2A:10B:C MINIMUM



REFERENCE PLAN

1/8" = 1'-0"



ISSUANCE SCHEDULE
DESCRIPTION
DATE
NUMBER

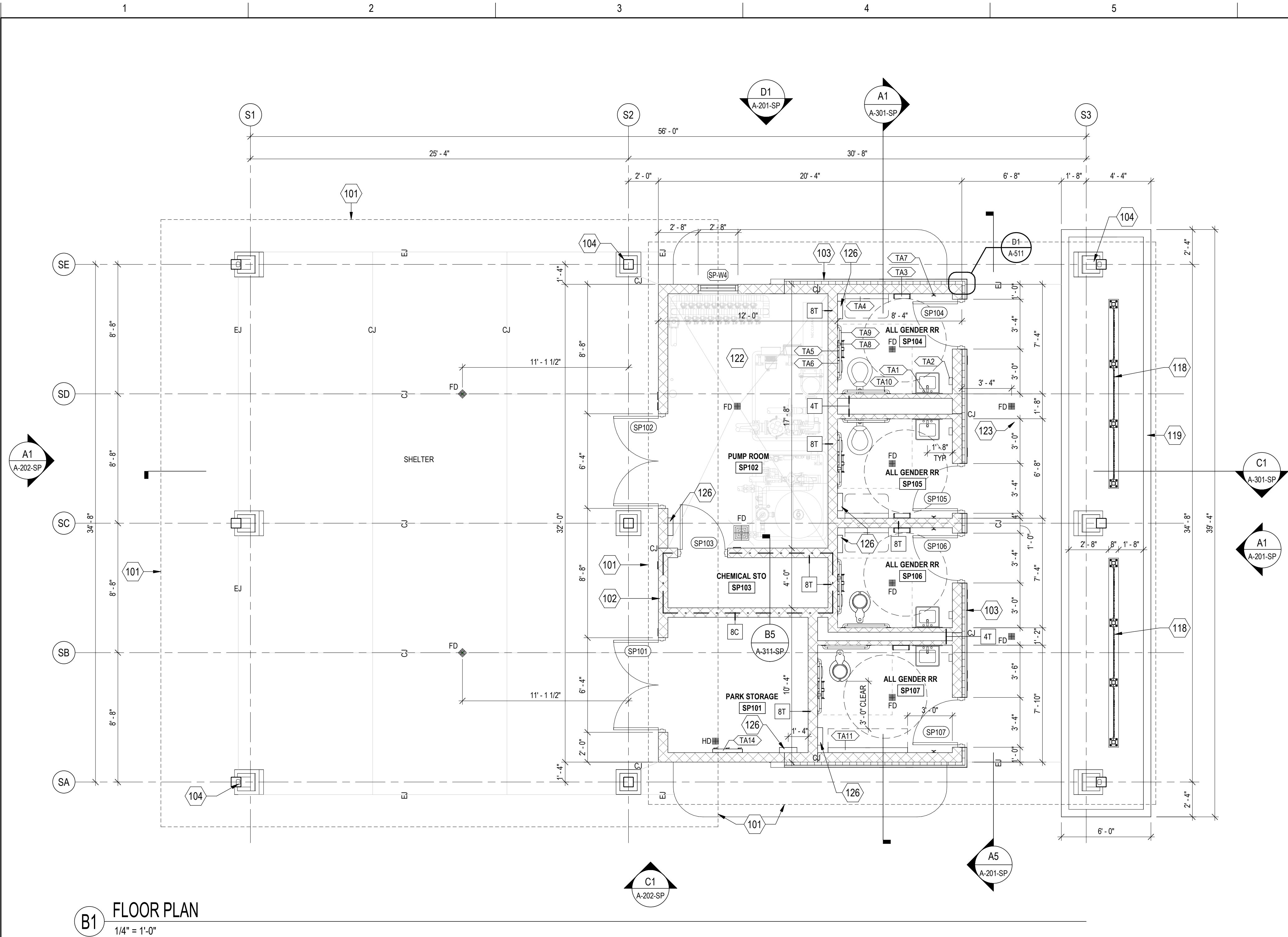
CITY OF CONCORD
J.E. "JIM" RAMSEUR PARK
PARKS & RECREATION DEPARTMENT
SPLASHPAD PAVILION (SP)
1252 COX MILL ROAD
CONCORD, NC 28027

PROJECT NO: 081197
DATE ISSUED: 06/15/2023
DESIGNED BY: BF
DRAWN BY: BF
CHECKED BY: BB

SHEET NAME:
SP - CODE SUMMARY AND
LIFE SAFETY PLAN

SHEET NO:

A-100-SP



B1 FLOOR PLAN
1/4" = 1'-0"

TOILET ACCESSORY SCHEDULE	
ID	Description
TA1	24X36 MIRROR W/ STAINLESS STEEL ANGLE FRAME
TA2	SURFACE MOUNTED SOAP DISPENSER - OFOI
TA3	ADA COMPLIANT SURFACE MOUNTED AUTOMATIC HAND DRYER
TA4	SURFACE MOUNTED BABY CHANGING STATION
TA5	TWO-ROLL SURFACE MOUNTED TOILET TISSUE DISPENSER - OFOI
TA6	SURFACE MOUNTED SANITARY NAPKIN DISPOSAL - OFOI
TA7	DOUBLE ROBE HOOK
TA8	18" GRAB BAR
TA9	42" GRAB BAR
TA10	36" GRAB BAR
TA11	SURFACE MOUNTED ADULT CHANGING STATION
TA14	MOP AND BROOM HOLDER

GENERAL NOTES:

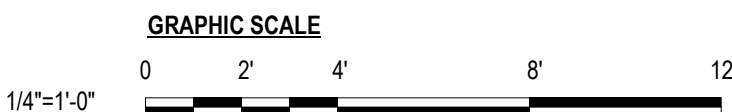
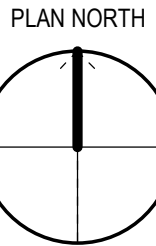
- ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT OF ALL DISCREPANCIES PRIOR TO STARTING WORK
- ALL DIMENSIONS ARE FACE OF MASONRY, POURED CONCRETE, OR FACE OF STUD (WOOD OR METAL, U.N.O.)
- ALL MASONRY DIMENSIONS ARE NOMINAL, U.N.O.
- REFER TO MEP DRAWINGS FOR MOUNTING HEIGHTS OF SWITCHES, OUTLETS, ALARMS AND ALL SURFACE MOUNTED COMPONENTS.
- REFER TO SHEETS A-401 FOR ACCESSORY DETAILS AND MOUNTING HEIGHTS.
- REFER TO SHEETS A-601 FOR DOOR SCHEDULE AND A-701 FOR FINISH SCHEDULE.
- PROVIDE 1.5% SLOPE TO FLOOR DRAINS, MINIMUM OF 3' IN ALL DIRECTIONS, U.N.O.
- MASONRY CONTRACTOR SHALL COORDINATE ALL CONDUIT AND RECESSED FIXTURES WITH APPLICABLE TRADES PRIOR TO COMMENCING INSTALLATION OF MASONRY.
- CONTRACTOR TO PROVIDE CONCRETE SLAB CONTROL JOINTS PER INDUSTRY STANDARD AND AROUND COLUMNS AND DRAINS TO PREVENT RANDOM CRACKING. SUBMIT CONTROL JOINT PLAN FOR ARCHITECT APPROVAL. JOINTS SHOWN ARE REPRESENTATIVE.

SHEET KEYNOTES:

- OUTLINE OF ROOF OR STRUCTURE ABOVE, TYP.
- ARCHITECTURAL CMU - 8" PARTIALLY GROUTED W/ INSULATION FILL
- CLADDING SYSTEM - HIGH-DENSITY FIBER CEMENT PANELS ON ALUMINUM GRID FRAMING SYSTEM. BASIS-OF-DESIGN IS EQUITONE TECTIVA PANELS ON UNIVERSE 7000 EXPOSED FASTENER SYSTEM
- STEEL COLUMN W/ CONCRETE BASE, SEE STRUCTURAL - PROVIDE BASE PLATE COVER PER DETAIL C1/A-502
- ORNAMENTAL METAL SCREEN PANEL, SEE SHEET A-562
- CURB AND PLANTER, SEE LANDSCAPE ARCHITECTURE PLANS
- CONTRACTOR TO COORDINATE FINAL EQUIPMENT LAYOUT WITH DOH APPROVED PLANS. COORDINATE FINAL FLOOR DRAIN LOCATIONS WITH EQUIPMENT LAYOUT. SLOPE FLOOR TO DRAINS.
- SEE CIVIL DRAWINGS FOR HARDSCAPE BELOW ROOFS. PROVIDE POSITIVE SLOPE TO DRAINS
- SURFACE-MOUNTED ELECTRIC WALL HEATER, SEE MECHANICAL DRAWINGS. MASONRY CONTRACTOR TO COORDINATE RECESSED J-BOXES AND POWER REQUIREMENTS WITH ELECTRICAL CONTRACTOR PRIOR TO CONSTRUCTION.

LEGEND:

--- 1-HR FIRE BARRIER AT CONTROL AREA



ISSUANCE SCHEDULE

NUMBER DATE DESCRIPTION

CITY OF CONCORD
J.E. "JIM" RAMSEUR PARK
PARKS & RECREATION DEPARTMENT
SPLASHPAD PAVILION (SP)

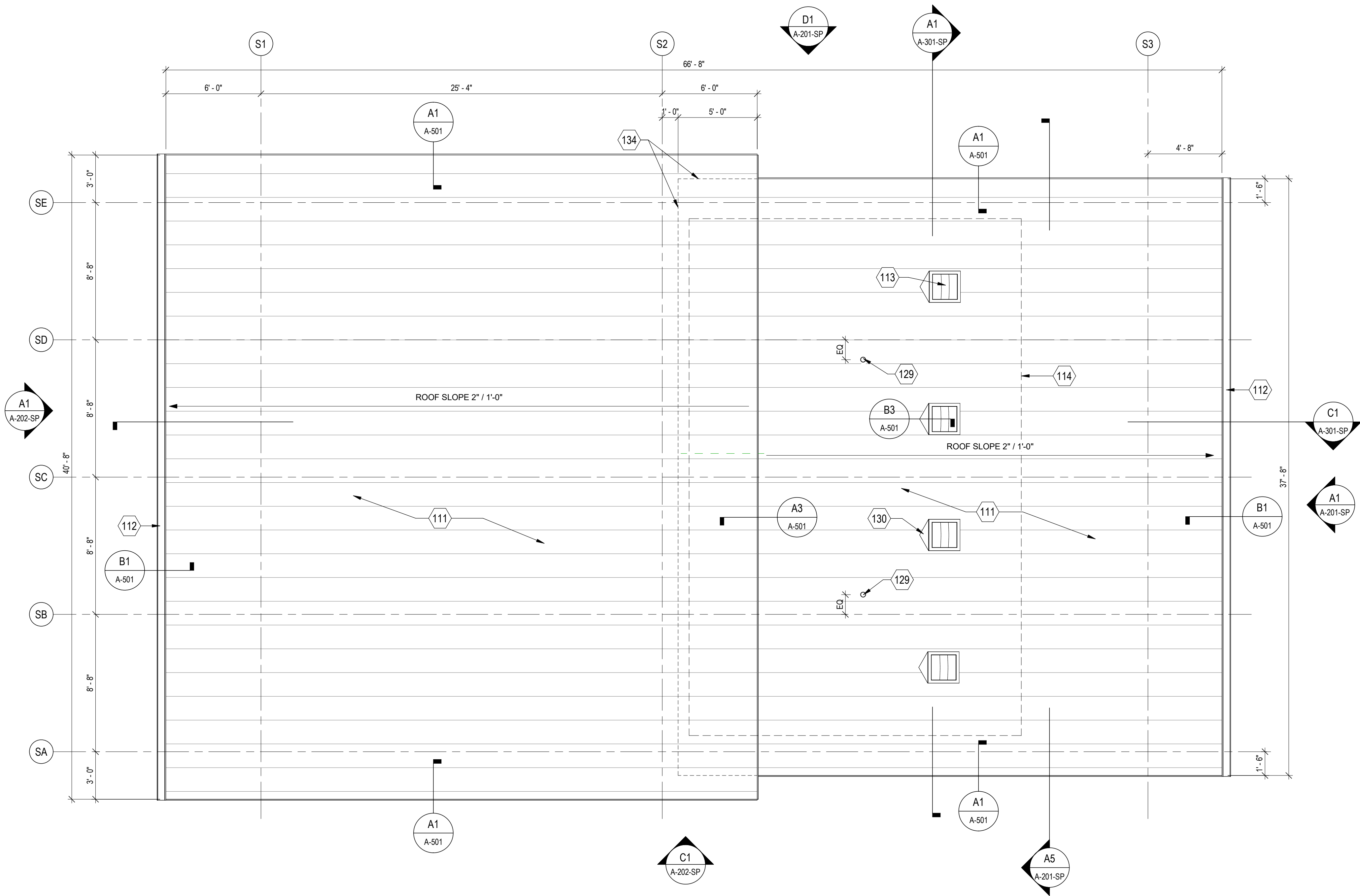
1252 COX MILL ROAD
CONCORD, NC 28027

PROJECT NO: 081197
DATE ISSUED: 06/15/2023
DESIGNED BY: BF
DRAWN BY: DL
CHECKED BY: BB

SHEET NAME:
SP - FLOOR PLAN

SHEET NO:

A-101-SP



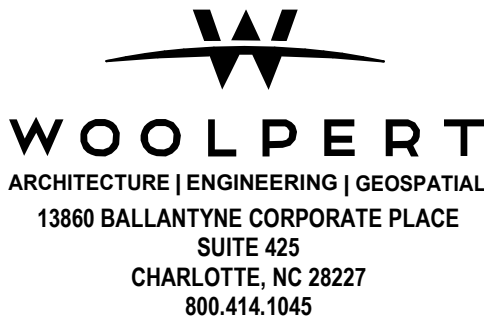
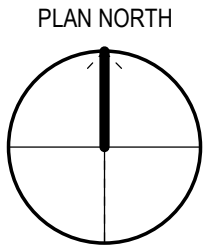
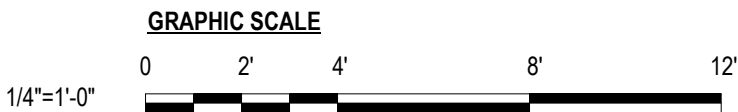
B1 ROOF PLAN
1/4" = 1'-0"

GENERAL NOTES:

1. PROVIDE ICE AND WATER SHIELD 24" MIN. FROM ALL EAVES AND PENETRATIONS.
2. ALL ROOF SURFACES TO BE 2" VERTICAL PER 1'-0" HORIZONTAL, U.N.O.
3. PROVIDE ALL CRICKETS, SADDLES, FLASHING AND RELATED COMPONENTS AS REQUIRED TO PREVENT PONDING AND CREATE A COMPLETE ROOFING SYSTEM.
4. PROVIDE CRICKETS AT ROOF CURBS AND/OR EQUIPMENT WHERE REQUIRED TO PROVIDE POSITIVE DRAINAGE TO ROOF DRAINS.
5. ALL ROOFTOP MECHANICAL, ELECTRICAL AND/OR PLUMBING EQUIPMENT SHOWN FOR REFERENCE ONLY. REFER TO MEP DOCUMENTS FOR SPECIFIC DESIGN INFO.
6. REFER TO STRUCTURAL DRAWINGS FOR ROOF PENETRATIONS AND FRAMING REQUIREMENTS IN ROOFS. VERIFY LOCATIONS, SIZES & TYPES REQUIRED BY MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS.
7. REFER TO SHEET A-501 FOR TYPICAL ROOF DETAILS.
8. ALL DOWNSPOUTS TO GRADE FROM ROOF DRAINAGE SYSTEMS CONNECT TO UNDERGROUND STORM SYSTEM UNO.
9. COORDINATE W/ WALL SECTIONS AND STRUCTURAL FOR THE FOLLOWING ELEVATIONS.
 - EAVE HEIGHT
 - DECK BEARING ELEVATION
 - TOP OF MASONRY

SHEET KEYNOTES:

- | | |
|-----|---|
| 111 | STANDING SEAM METAL ROOF |
| 112 | METAL GUTTER AND DOWNSPOUT, TYP. |
| 113 | SKYLIGHT, TYP. - SEE DETAIL B3/A-501 |
| 114 | OUTLINE OF WALLS BELOW |
| 129 | VTR, TYP. SEE D3 ON A-501 |
| 130 | CRICKET HIGH SIDE OF SKYLIGHTS PER ROOFING MANUFACTURER RECOMMENDATIONS, TYP. |
| 134 | OUTLINE OF ROOF BELOW |



ISSUANCE SCHEDULE

DESCRIPTION
DATE
NUMBER

C

CITY OF CONCORD
J.E. "JIM" RAMSEUR PARK
PARKS & RECREATION DEPARTMENT
SPLASHPAD PAVILION (SP)

1252 COX MILL ROAD
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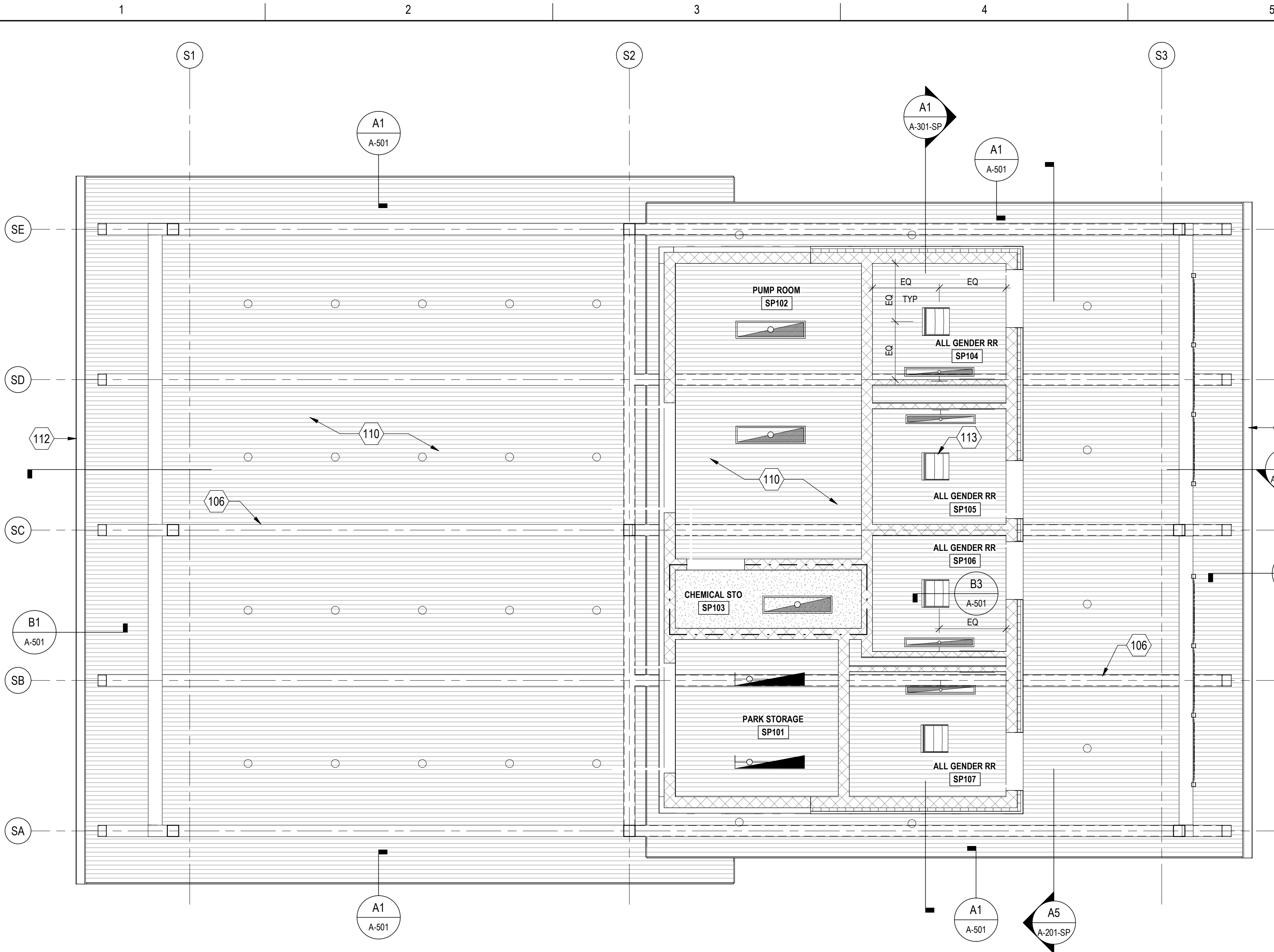
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SP - ROOF PLAN

SHEET NO:

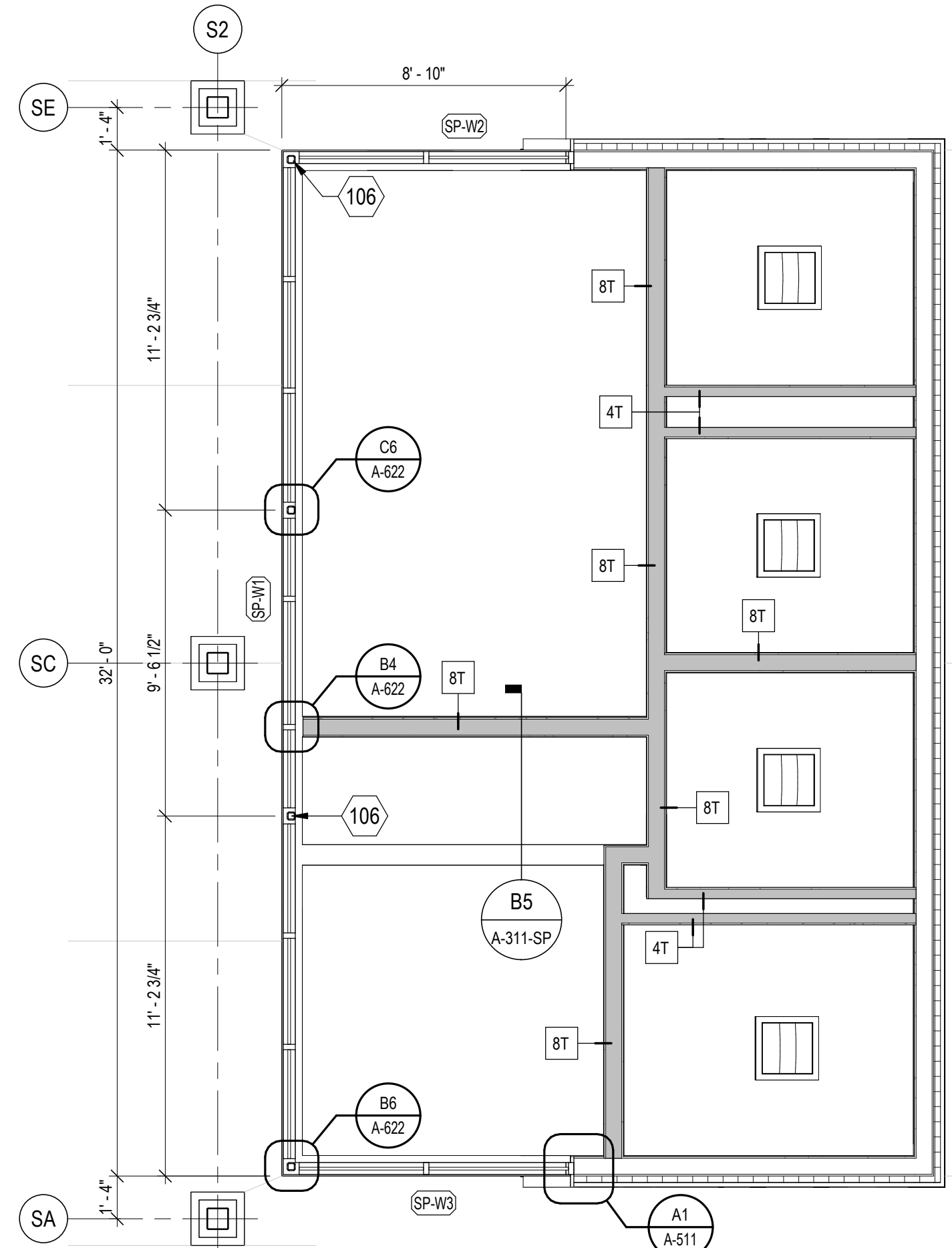
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B1 REFLECTED CEILING PLAN
1/4" = 1'-0"



B5 CLERESTORY PLAN
1/4" = 1'-0"

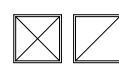
LEGEND

EXPOSED CLT WOOD DECK

GYPSUM BOARD CEILING

LIGHT FIXTURE, REFER TO ELECTRICAL DRAWINGS

EMERGENCY / NIGHT LIGHT FIXTURES, REFER TO ELECTRICAL DRAWINGS



HVAC SUPPLY, RETURN, EXHAUST DIFFUSER, REFER TO MECHANICAL DRAWINGS



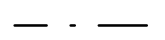
SMOKE DETECTOR



SPEAKER



CEILING HEIGHT



1-HR FIRE BARRIER AT CONTROL AREA



STEEL FRAMING, SEE STRUCTURAL



EXPOSED CLT WOOD DECK



METAL GUTTER AND DOWNSPOUT, TYP.



SKYLIGHT, TYP. - SEE DETAIL B3/A-501

SHEET KEYNOTES:

GENERAL NOTES:

- PROVIDE ICE AND WATER SHIELD 24" MIN. FROM ALL EAVES AND PENETRATIONS.
- ALL ROOF SURFACES TO BE 2" VERTICAL PER 1'-0" HORIZONTAL, U.N.O.
- PROVIDE ALL CRICKETS, SADDLES, FLASHING AND RELATED COMPONENTS AS REQUIRED TO PREVENT PONDING AND CREATE A COMPLETE ROOFING SYSTEM.
- PROVIDE CRICKETS AT ROOF CURBS AND/OR EQUIPMENT WHERE REQUIRED TO PROVIDE POSITIVE DRAINAGE TO ROOF DRAINS.
- ALL ROOFTOP MECHANICAL, ELECTRICAL AND/OR PLUMBING EQUIPMENT SHOWN FOR REFERENCE ONLY. REFER TO MEP DOCUMENTS FOR SPECIFIC DESIGN INFO.
- REFER TO STRUCTURAL DRAWINGS FOR ROOF PENETRATIONS AND FRAMING REQUIREMENTS IN ROOFS. VERIFY LOCATIONS, SIZES & TYPES REQUIRED BY MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS.
- REFER TO SHEET A-501 FOR TYPICAL ROOF DETAILS.
- ALL DOWNSPOUTS TO GRADE FROM ROOF DRAINAGE SYSTEMS CONNECT TO UNDERGROUND STORM SYSTEM UNO.
- COORDINATE W/ WALL SECTIONS AND STRUCTURAL FOR THE FOLLOWING ELEVATIONS.
 - EAVE HEIGHT
 - DECK BEARING ELEVATION
 - TOP OF MASONRY



ISSUANCE SCHEDULE	
NUMBER	DATE DESCRIPTION

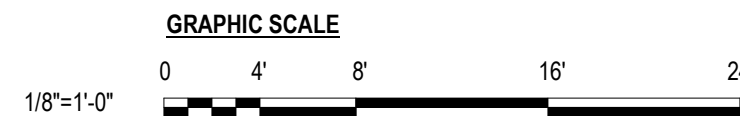
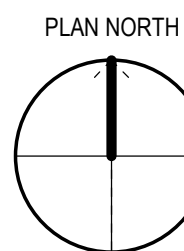
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J.E. "JIM" RAMSEUR PARK
PARKS & RECREATION DEPARTMENT
SPLASHPAD PAVILION (SP)

PROJECT NO: 081197
DATE ISSUED: 06/15/2023
DESIGNED BY: BF
DRAWN BY: DL
CHECKED BY: BB

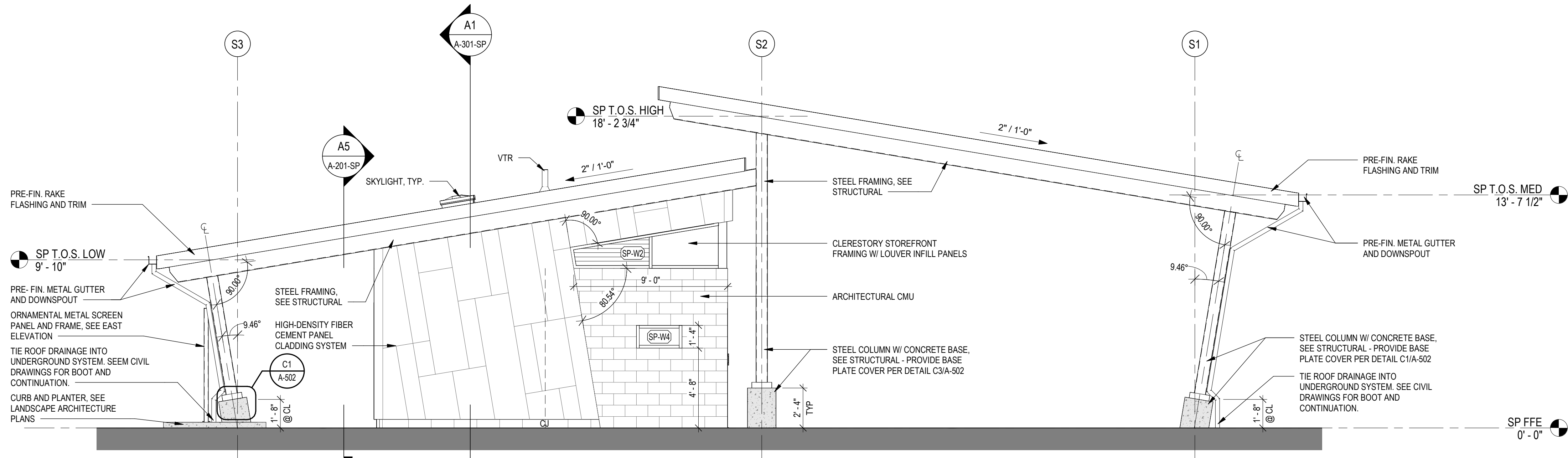
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SP - REFLECTED CEILING PLAN

SHEET NO:

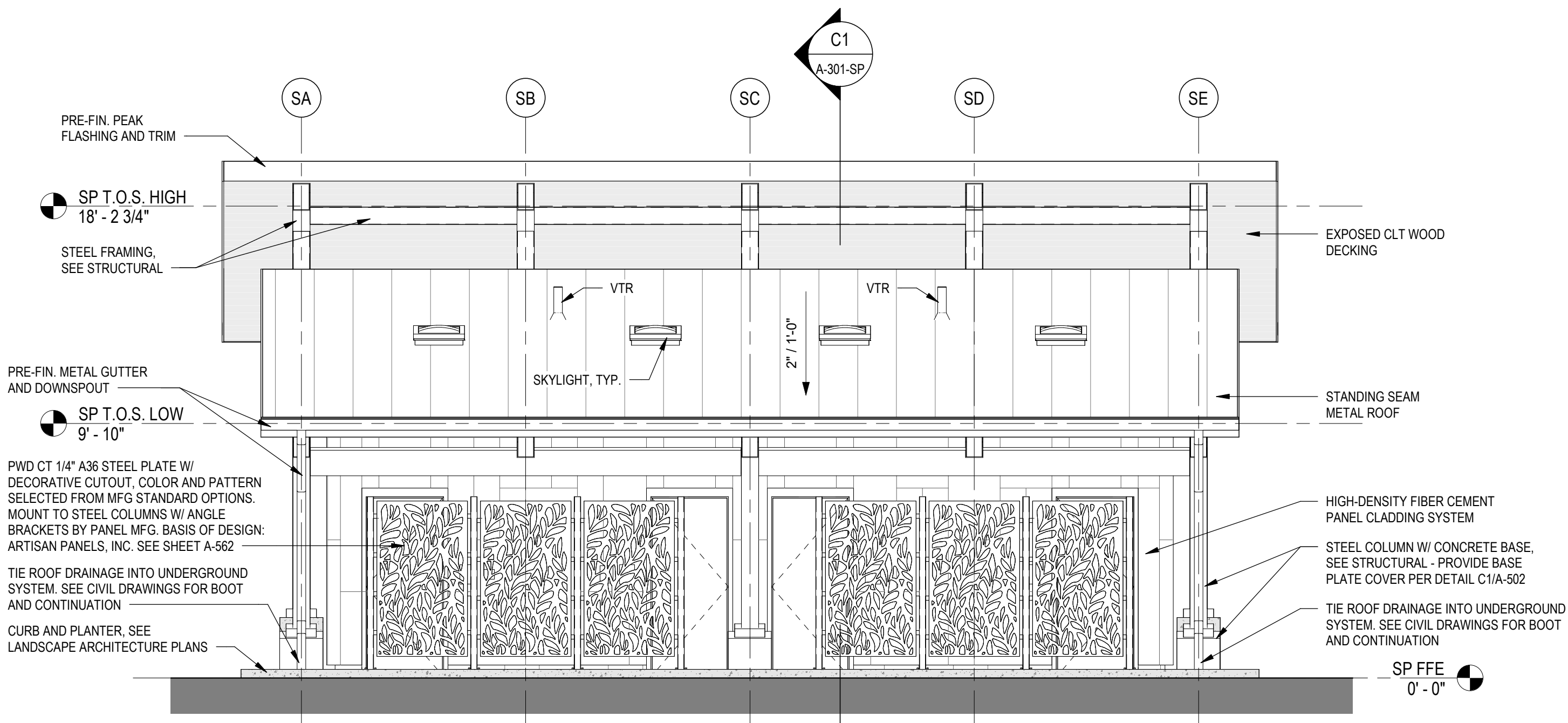
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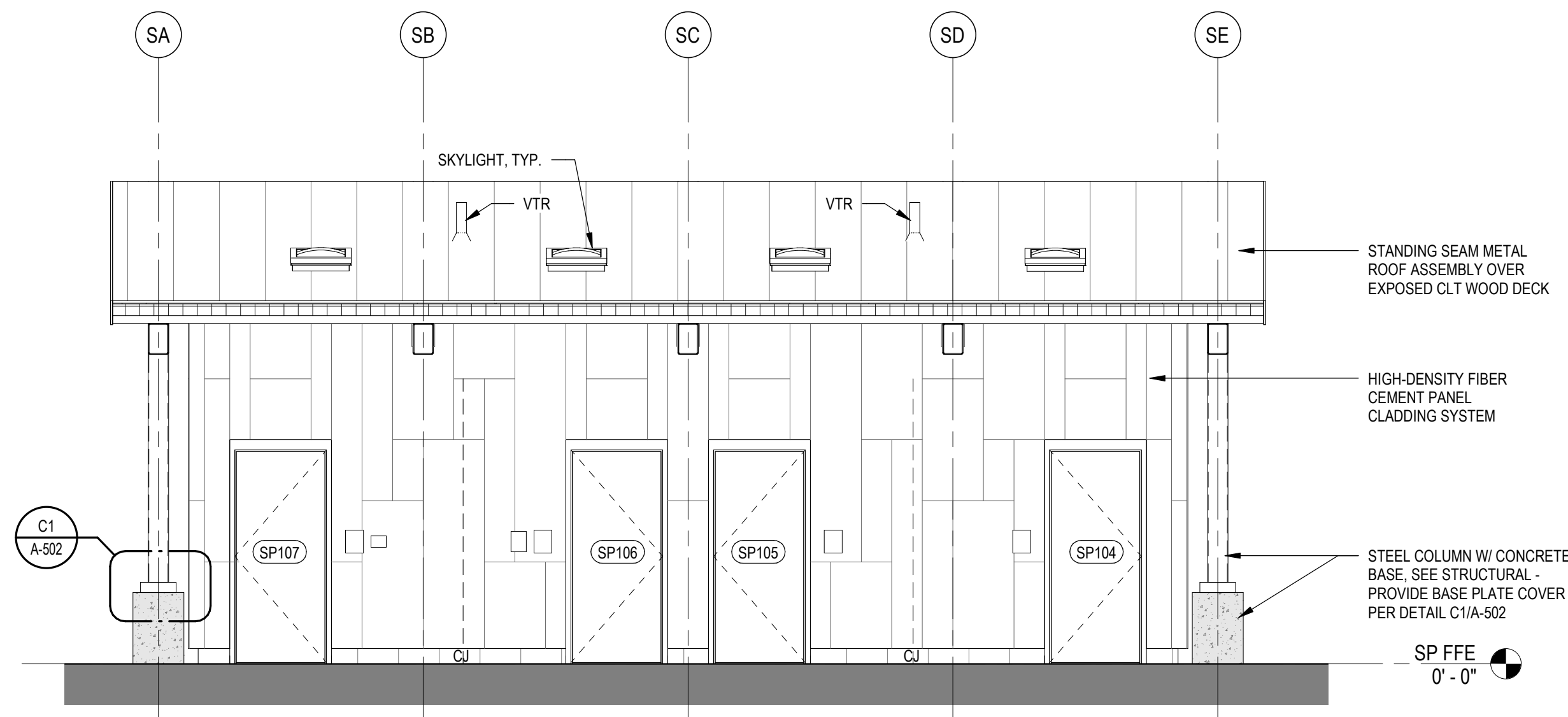
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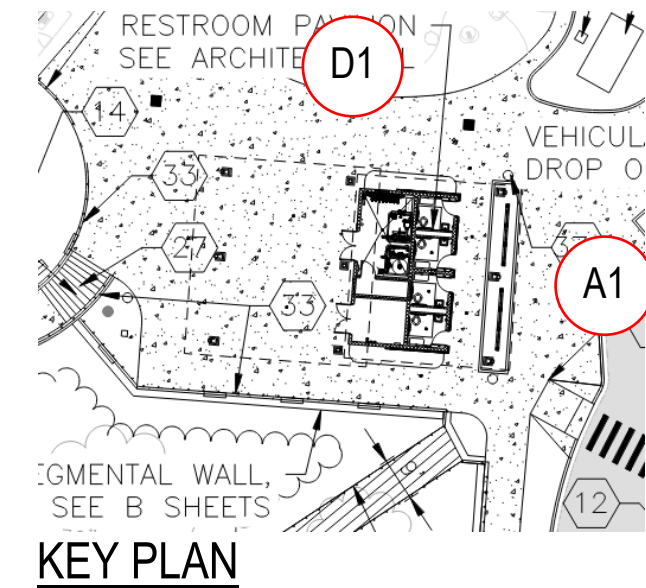
D1 EXTERIOR ELEVATION - NORTH
1/4" = 1'-0"

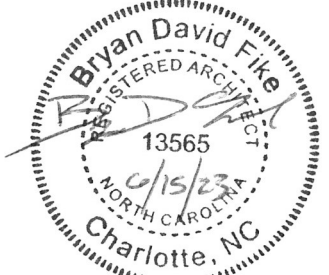


A1 EXTERIOR ELEVATION - EAST
1/4" = 1'-0"



A5 EXTERIOR ELEVATION - EAST (SECTION THRU ROOF)
1/4" = 1'-0"





ISSUANCE SCHEDULE	
NUMBER	DATE DESCRIPTION

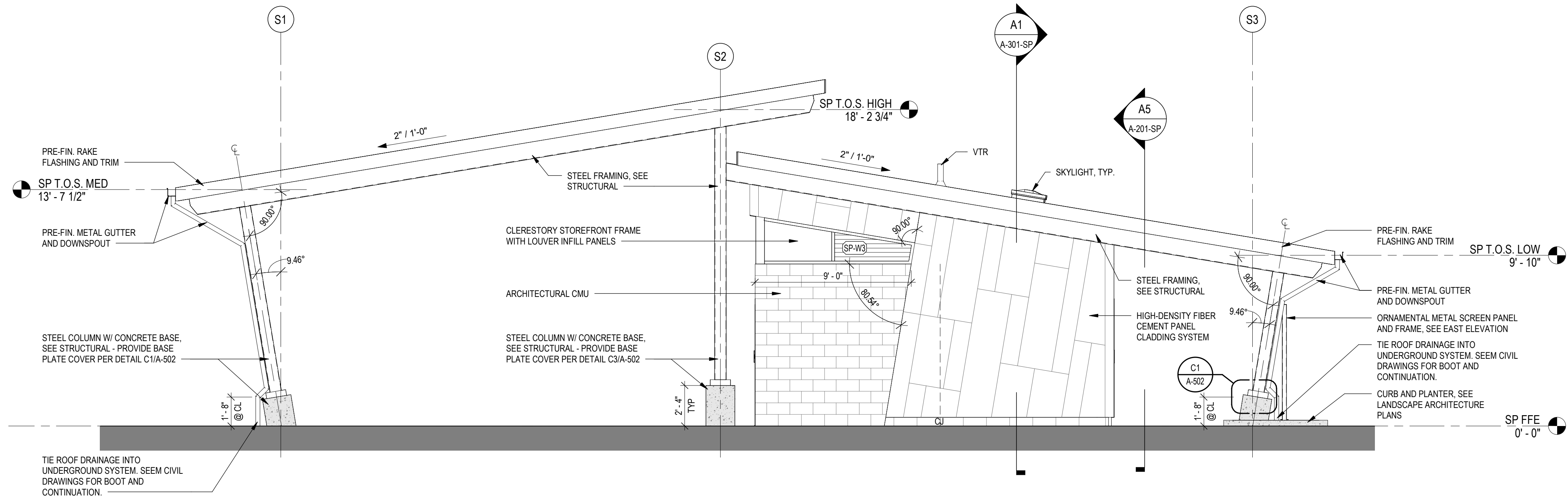
CITY OF CONCORD
J.E. "JIM" RAMSEUR PARK
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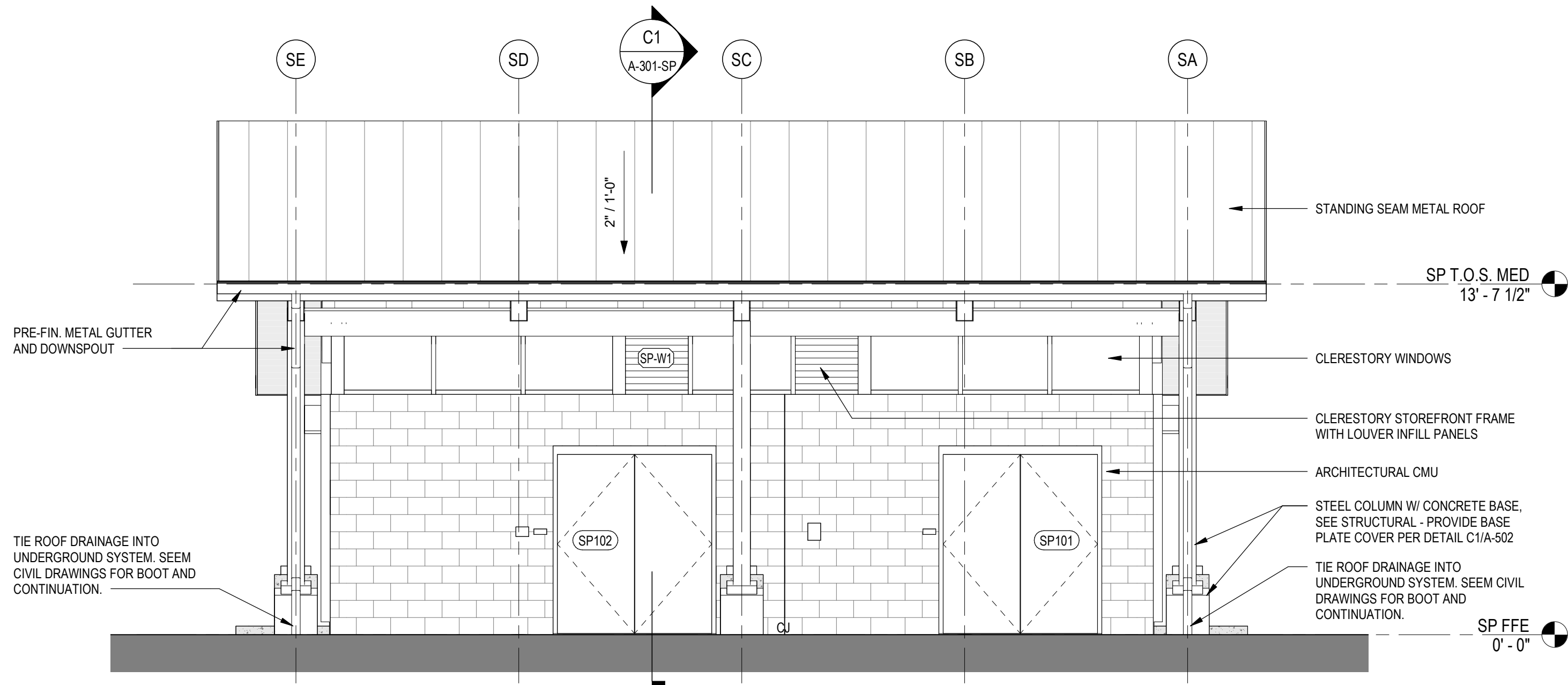
SHEET NAME:
SP - BUILDING
ELEVATIONS

SHEET NO:

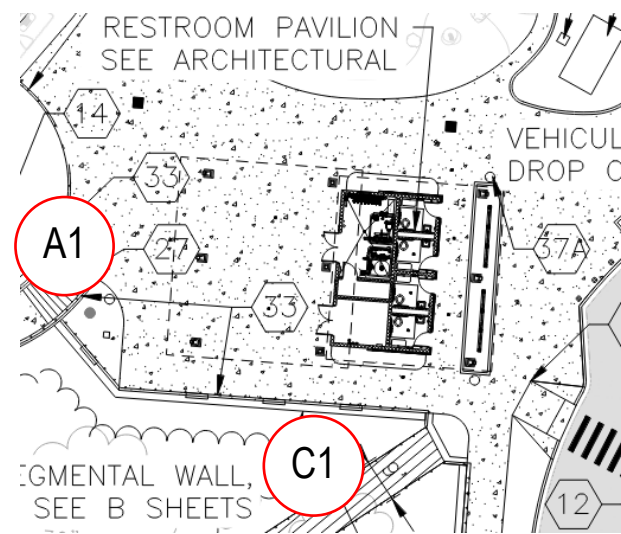
A-202-SP



C1 BUILDING ELEVATION - SOUTH
1/4" = 1'-0"



A1 BUILDING ELEVATION - WEST
1/4" = 1'-0"

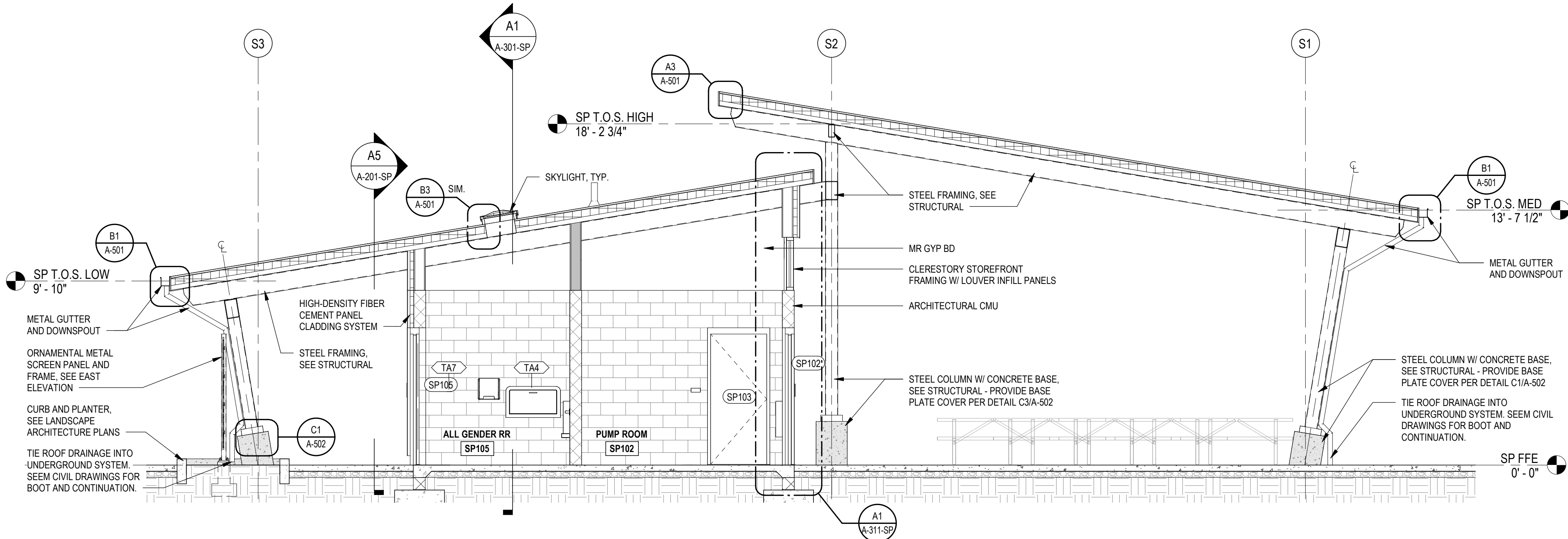


KEY PLAN

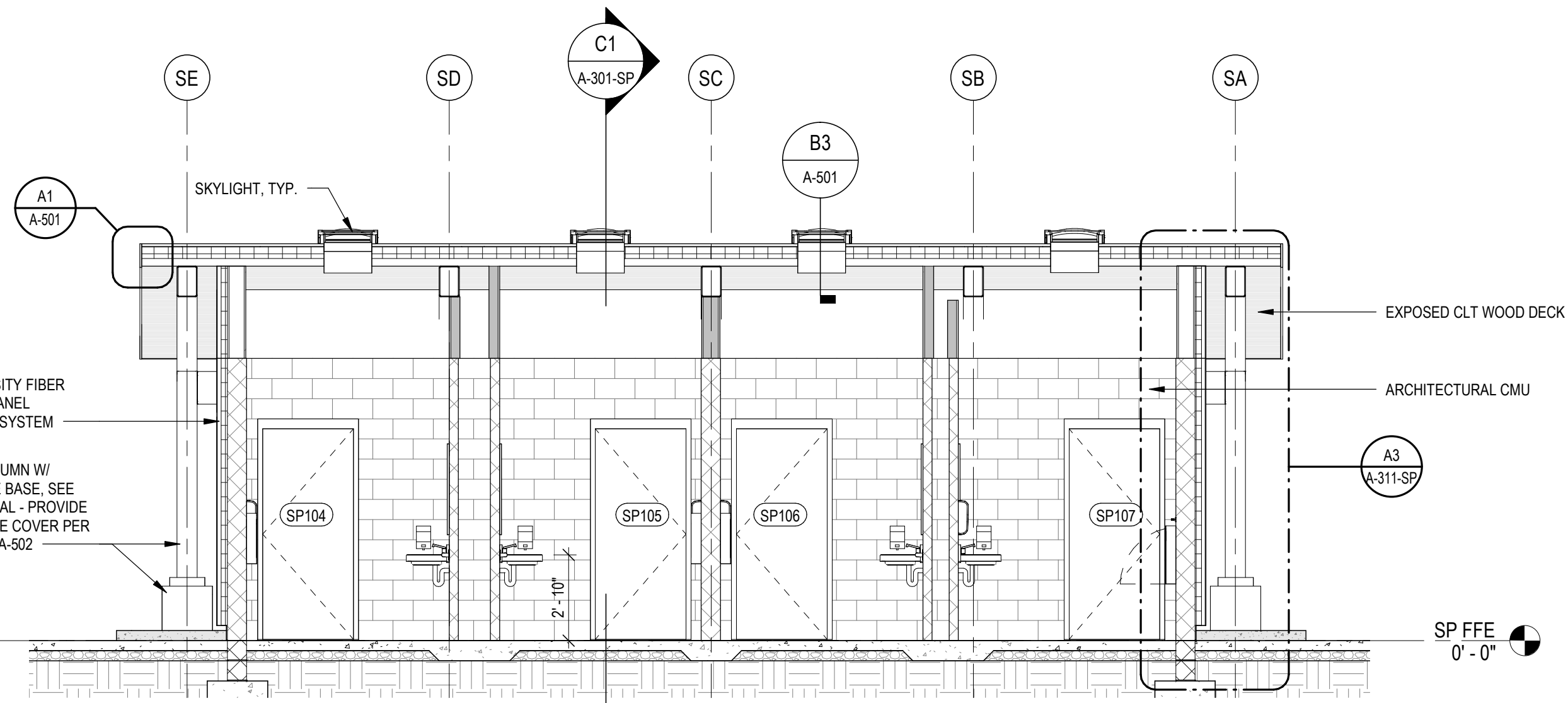


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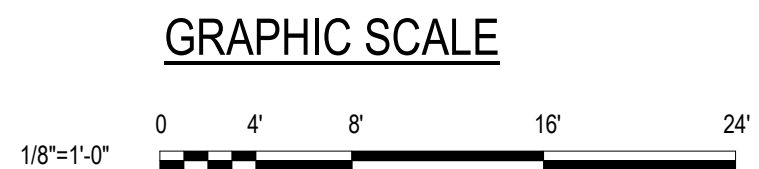
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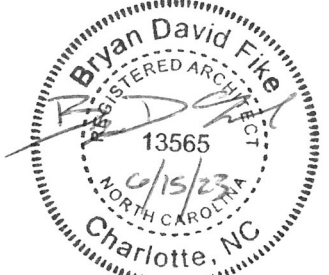
C1 BUILDING SECTION
1/4" = 1'-0"



A1 BUILDING SECTION
1/4" = 1'-0"



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ARCHITECTURE | ENGINEERING | GEOSPATIAL
13860 BALLANTYNE CORPORATE PLACE
SUITE 425
CHARLOTTE, NC 28227
800.414.1045



ISSUANCE SCHEDULE	
NUMBER	DATE

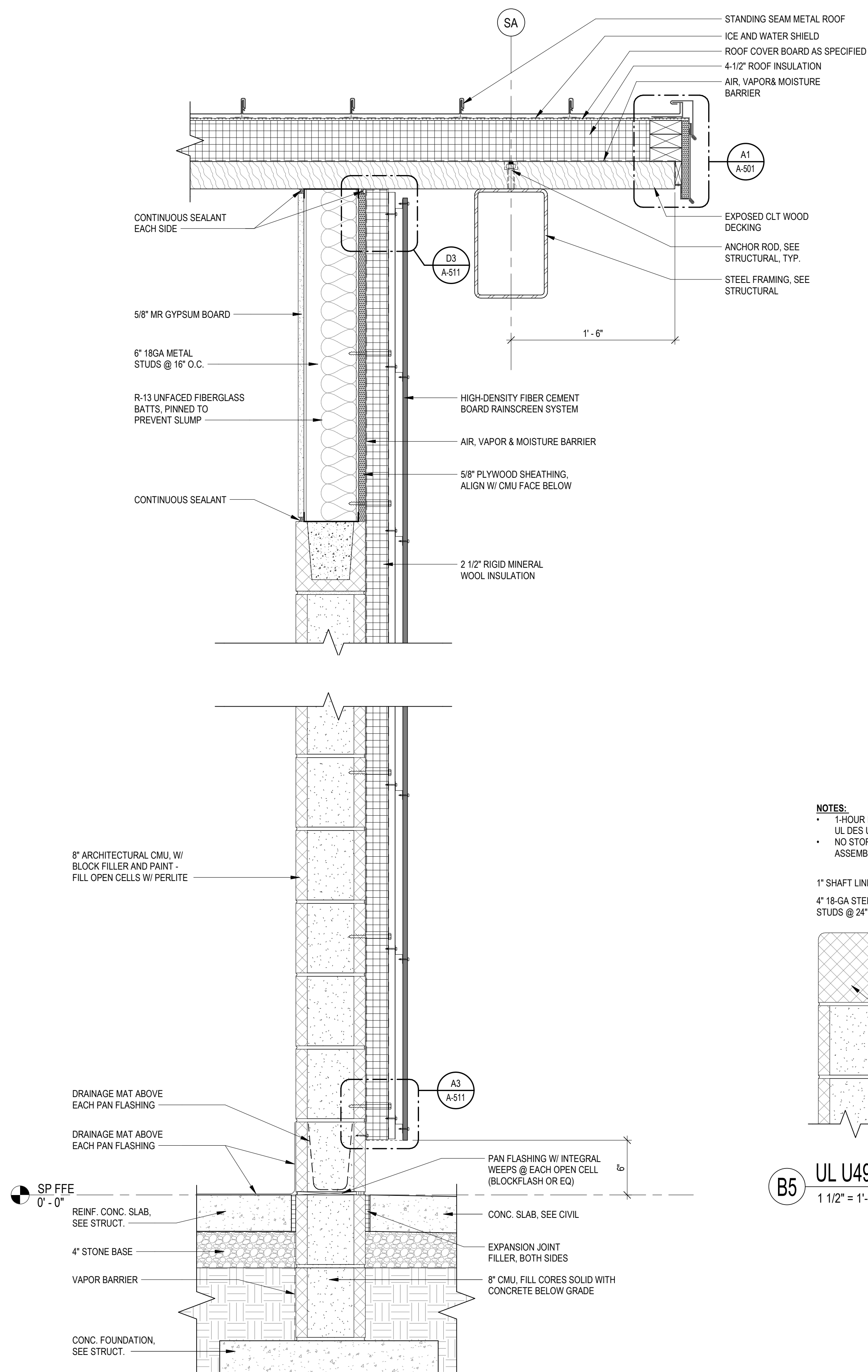
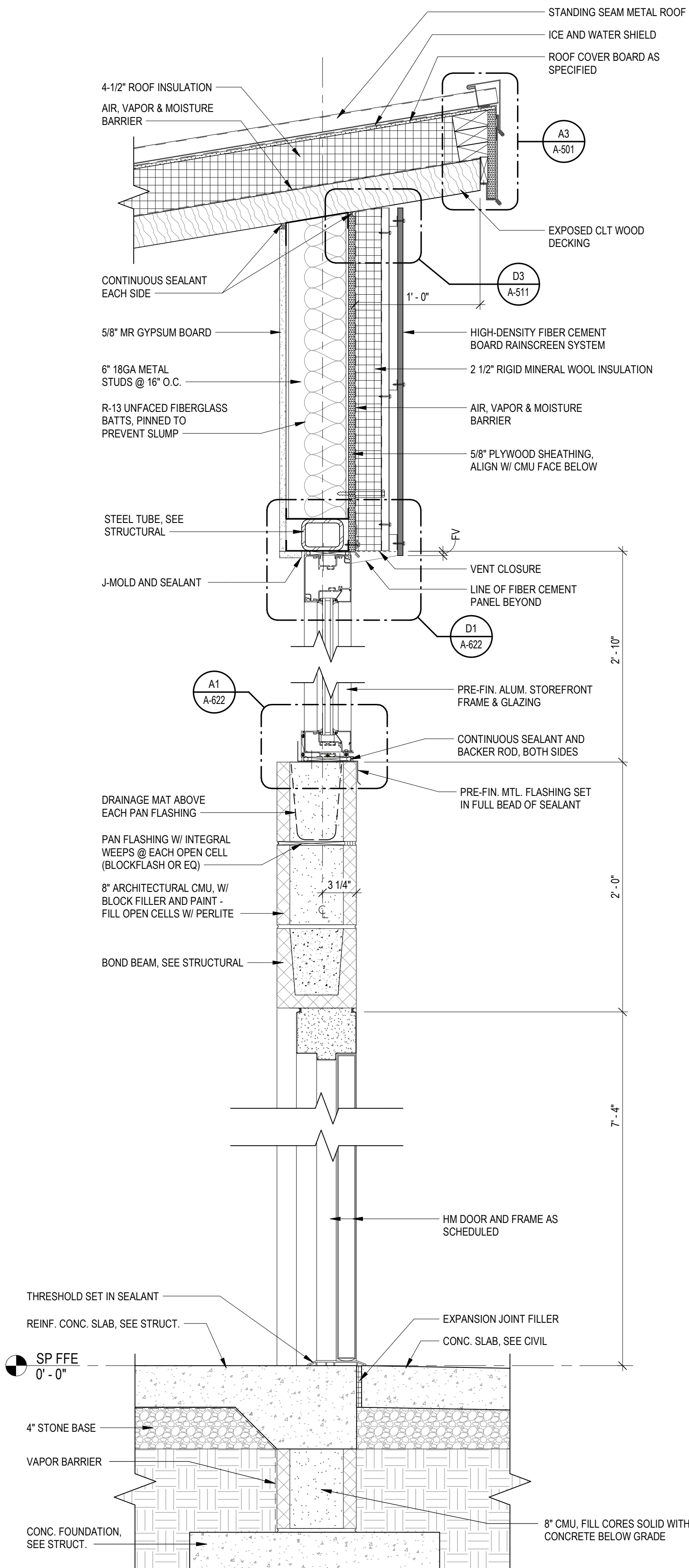
CITY OF CONCORD
J.E. "JIM" RAMSEUR PARK
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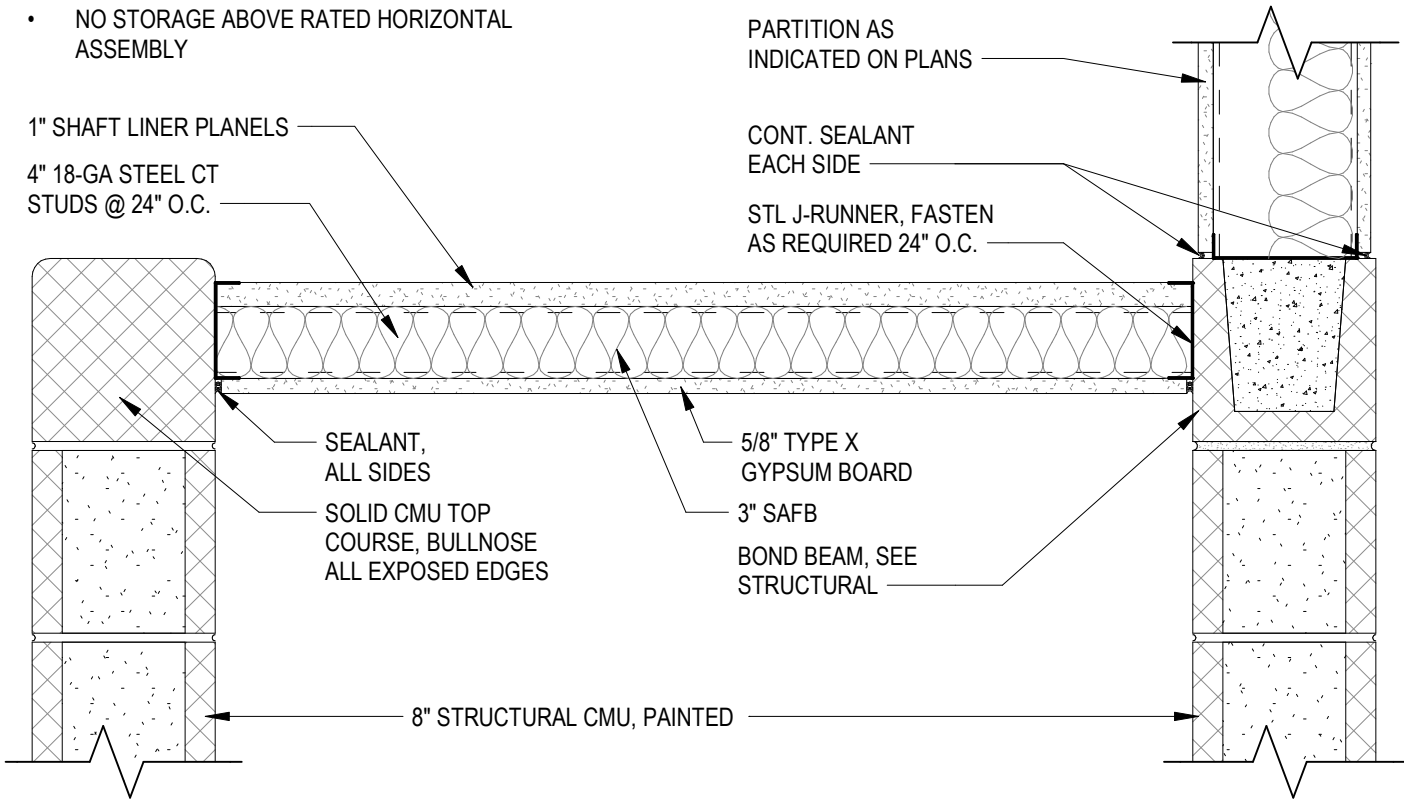
SHEET NAME:
SP - BUILDING SECTIONS

SHEET NO:
A-301-SP

01/14/25 - ISSUED FOR BIDDING

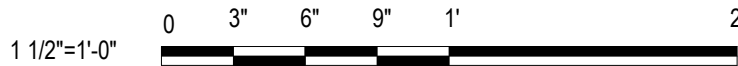


- NOTES:**
- 1-HOUR FIRE-RATED CEILING ASSEMBLY, UL DES U499
 - NO STORAGE ABOVE RATED HORIZONTAL ASSEMBLY



B5 UL U499 1-HOUR RATED HORIZONTAL SHAFTWALL ASSEMBLY
1 1/2" = 1'-0"

GRAPHIC SCALE



ISSUANCE SCHEDULE

NUMBER DATE DESCRIPTION

CITY OF CONCORD
J.E. "JIM" RAMSEUR PARK
PARKS & RECREATION DEPARTMENT
SPLASHPAD PAVILION (SP)
1252 COX MILL ROAD
CONCORD, NC 28027

PROJECT NO: 081197
DATE ISSUED: 06/15/2023
DESIGNED BY: BF
DRAWN BY: BF
CHECKED BY: BB

SHEET NAME:
SP - WALL SECTIONS

SHEET NO:
A-311-SP

2018 APPENDIX B
BUILDING CODE SUMMARY
FOR ALL COMMERCIAL PROJECTS
(EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)
(Reproduce the following data on the building plans sheet 1 or 2)

Name of Project: J.E. "JIM" RAMSEUR PARK - BASKETBALL RESTROOM
Address: 1252 COX MILL ROAD, CONCORD, NC 28027
Owner/Authorized Agent: CITY OF CONCORD Phone # () - E-Mail
Owned By: City/County Private State
Code Enforcement Jurisdiction: City County CABARRUS State

DESIGNER	FIRM	NAME	LICENSE #	TELEPHONE #	E-MAIL
Architectural	WOOLPERT	BRYAN D. FIKE	13565	(704) 525-3032	BRYAN.FIKE@WOOLPERT.COM
Civil	WOOLPERT	RAY M. NIX, JR	054074	(843) 972-4566	RAY.NIX@WOOLPERT.COM
Electrical	OPTIMA ENGINEERING	BRANDON L. MILLER	028197	(704) 338-1292	BMILLER@OPTIMAENGINEERING.COM
Fire Alarm	N/A				
Plumbing	OPTIMA ENGINEERING	GEORGE C. FOWLER, III	26023	(704) 338-1292	GFOWLER@OPTIMAENGINEERING.COM
Mechanical	OPTIMA ENGINEERING	RONALD V. ALMOND	17228	(704) 338-1292	RALMOND@OPTIMAENGINEERING.COM
Sprinkler-Standpipe	N/A				
Structural	WOOLPERT	MARK MAINRIDGE	28511	(801) 669-4987	MARK.MAINRIDGE@WOOLPERT.COM
Retaining Walls >5' High					
Other	LANDSCAPE ARCH (WOOLPERT)	ANDREW R. PACK	798	(704) 525-6284	ANDREW.PACK@WOOLPERT.COM

("Others" should include firms and individuals such as truss, precast, pre-engineered, interior designers, etc.)

2018 NC CODE FOR: New Construction Addition Renovation
Alteration: 1st Time Interior Completion Shell/Core Phased Construction – Shell/Core Renovation
2018 NC EXISTING BUILDING CODE: Prescriptive Repair Chapter 14
Alteration: Level I Level II Level III Level IV
Historic Property Change of Use
CONSTRUCTED:(date) ORIGINAL OCCUPANCY(S) (Ch. 3):
RENOVATED: (date) CURRENT OCCUPANCY(S) (Ch. 3):
RISK CATEGORY (table 1604.5) Current: I II III IV
Proposed: I II III IV

BASIC BUILDING DATA
Construction Type: I-A I-B II-A II-B III-A III-B IV V-A V-B
(check all that apply)
Sprinklers: No Partial Yes NFPA 13 NFPA 13R NFPA 13D
Standpipes: No Yes Class I II III Wet Dry
Fire District: No Yes (Primary) Flood Hazard Area: No Yes
Special Inspections Required: No Yes

2018 NC Administrative Code and Policies Appendix B for Building

FLOOR	EXISTING (SQ FT)	NEW (SQ FT)	RENO/ALTER (SQ.FT)	SUB-TOTAL
6 th Floor				
5 th Floor				
4 th Floor				
3 rd Floor				
2 nd Floor				
Mezzanine				
1 st Floor	0 SF	300 SF	0 SF	300 SF
Basement				
TOTAL	0 SF	300 SF	0 SF	300 SF

ALLOWABLE AREA
Primary Occupancy Classification: SELECT ONE
Assembly Business Educational Factory Hazardous Institutional Mercantile Residential Storage Utility and Miscellaneous
A-1 A-2 A-3 A-4 A-5
F-1 Moderate F-2 Low
H-1 Detonate H-2 Deflagrate H-3 Combust H-4 Health H-5 HPM
I-1 Condition 1 2
I-2 Condition 1 2 3 4 5
I-3 Condition 1 2 3 4 5
I-4
R-1 R-2 R-3 R-4
S-1 Moderate S-2 Low High-piled
Parking Garage Open Enclosed Repair Garage

Accessory Occupancy Classification(s):
Incidental Uses (Table 509):
Special Uses (Chapter 4 – List Code Sections):
Special Provisions: (Chapter 5 – List Code Sections):
Mixed Occupancy: No Yes Separation: Hr. Exception:
Non-Separated Use (508.3)
The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building. The most restrictive type of construction, so determined, shall apply to the entire building.
Separated Use (508.4)
See below for area calculations for each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1.
Actual Area of Occupancy A Allowable Area of Occupancy A + Actual Area of Occupancy B Allowable Area of Occupancy B ≤ 1
+ + + ... = ≤ 1.00

2018 NC Administrative Code and Policies

Appendix B for Building

STORY NO.	DESCRIPTION AND USE	(A) BLDG AREA PER STORY (ACTUAL)	(B) TABLE 506.2.4 AREA	(C) AREA FOR FRONTAGE INCREASE ^{1,2}	(D) ALLOWABLE AREA PER STORY OR UNLIMITED ^{1,3}
1	GROUP U	300 SF	5,500 SF	N/A	5,500 SF

¹ Frontage area increases from Section 506.3 are computed thus:
a. Perimeter which fronts a public way or open space having 20 feet minimum width = (F)
b. Total Building Perimeter = (P)
c. Ratio (F/P) = (F/P)
d. W = Minimum width of public way = (W)
e. Percent of frontage increase $I_r = 100 [F/P - 0.25] \times W/30 = (\%)$
² Unlimited area applicable under conditions of Section 507.
³ Maximum Building Area = total number of stories in the building x D (maximum 3 stories) (506.2).
⁴ The maximum area of open parking garages must comply with Table 406.5.4
⁵ Frontage increase is based on the unsprinklered area value in Table 506.2.

	ALLOWABLE (TABLE 503)	SHOWN ON PLANS	CODE REFERENCE
Building Height in Feet (Table 504.3)	40'	13'-0"	
Building Height in Stories (Table 504.4)	1	1	

¹ Provide code reference if the "Show on Plans" quantity is not based on Table 504.3 or 504.4.
² The maximum height of air traffic control towers must comply with Table 412.3.1
³ The maximum height of open parking garages must comply with Table 406.5.4

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	RATING		DETAIL # AND SHEET #	DESIGN # FOR RATED ASSEMBLY	DESIGN # FOR RATED PENETRATION	DESIGN # FOR RATED JOINTS
		REQ'D	PROVIDED (W/ REDUCTION) *				
Structural Frame, including columns, girders, trusses	10'	0					
Bearing Walls		0					
Exterior		0					
North	10'	0					
East	10'	0					
West	10'	0					
South	10'	0					
Interior	N/A	0					
Nonbearing Walls and Partitions		0					
Exterior walls		0					
North	10'	0					
East	10'	0					
West	10'	0					
South	10'	0					
Interior walls and partitions		0					
Floor Construction Including supporting beams and joists	N/A	0					
Floor Ceiling Assembly	N/A	0					
Column Supporting Floors	N/A	0					
Roof Construction, including supporting beams and joists	10'	0					
Roof Ceiling Assembly	N/A	0					
Column Supporting Roof	10'	0					
Shaft Enclosures - Exit	N/A	N/A					
Shaft Enclosures - Other	N/A	N/A					
Corridor Separation	N/A	N/A					
Occupancy/Fire Barrier Separation	N/A	N/A					
Party/Fire Wall Separation	N/A	N/A					
Smoke Barrier Separation	N/A	N/A					
Smoke Partition	N/A	N/A					
Tenant/Dwelling Unit/Sleeping Unit Separation	N/A	N/A					
Incidental Use Separation	N/A	N/A					

* Indicate section number permitting reduction

PERCENTAGE OF WALL OPENING CALCULATIONS			
FIRE SEPARATION DISTANCE (FEET FROM PROPERTY LINES)	DEGREES OF OPENINGS PROTECTION (TABLE 705.8)	ALLOWABLE AREA (%)	ACTUAL SHOWN ON PLANS (%)
30 OR GREATER	UP, NS	NO LIMIT	N/A

2018 NC Administrative Code and Policies

Appendix B for Building

LIFE SAFETY SYSTEM REQUIREMENTS

Emergency Lighting: No Yes
Exit Signs: No Yes
Fire Alarm: No Yes
Smoke Detection Systems: No Yes Partial
Carbon Monoxide Detection: No Yes

LIFE SAFETY PLAN REQUIREMENTS

Life Safety Plan Sheet #: A-100-BB

Fire and/or smoke rated wall locations (Chapter 7)
Assumed and real property line locations (if not on the site plan)
Exterior wall opening area with respect to distance to assumed property lines (705.8)
Occupancy types for each area as it relates to occupant load calculation (Table 1004.1.2)
Occupant loads for each area
Exit access travel distances (1017)
Common path of travel distances (1006.2.1 & 2006.3.2(1))
Dead end lengths (1020.4)
Clear exit widths for each exit door
Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)
Actual occupant load for each exit door
A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation and supporting construction for a fire barrier/fire partition/smoke barrier.
Location of doors with panic hardware (1010.1.10)
Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)
Location of doors with electromagnetic egress locks (1010.1.9.9)
Location of doors equipped with hold-open devices
Location of emergency escape windows (1030)
The square footage of each fire area (202)
The square footage of each smoke compartment for Occupancy Classification I-2 (407.5)
Note any code exceptions or table notes that may have been utilized regarding the items above

Section/Table/Note	Title

ACCESSIBLE DWELLING UNITS (SECTION 1107)

TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE A UNITS REQUIRED	TYPE A UNITS PROVIDED	TYPE B UNITS REQUIRED	TYPE B UNITS PROVIDED	TOTAL ACCESSIBLE UNITS PROVIDED

ACCESSIBLE PARKING (SECTION 1106)

LOT OR PARKING AREA	TOTAL # OF PARKING SPACES REQUIRED	PROVIDED	# OF ACCESSIBLE SPACES PROVIDED			TOTAL # ACCESSIBLE PROVIDED
			REGULAR WITH 5' ACCESS AISLE	132" ACCESS AISLE	8' ACCESS AISLE	
TOTAL						

PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)

USE		WATERCLOSETS			URINALS			LAVATORIES			SHOWERS / TUBS	DRINKING FOUNTAINS	
		MALE	FEMALE	UNISEX	MALE	FEMALE	UNISEX	MALE	FEMALE	UNISEX		REGULAR	ACCESSIBLE
SPACE	EXIST'G	0	0	0	0	0	0	0	0	0	0	0	0
	NEW	1	1	1	0	1	1	1	0	1	0	1	1
	REQ'D	SEE SHEET G-003 FOR REQUIRED FIXTURES BASED ON SITE LOADING ESTIMATES											0.33 0.33

SPECIAL APPROVALS

Special approval: (Local Jurisdiction, Department of Insurance, SCO, DPI, DHHS, ICC, etc., describe below)
NOTE: REQUIRED PLUMBING FIXTURES ARE BASED ON SITE/PARKING CALCULATIONS.
BUILDING IS A SUPPORT BUILDING FOR PARK. DRINKING FOUNTAINS PROVIDED ARE PEDESTAL MOUNTED OUTSIDE OF BUILDING AND NOT SHOWN ON BUILDING PLAN.

ENERGY SUMMARY

ENERGY REQUIREMENTS:

The following data shall be considered minimum and any special attribute required to meet the North Carolina Energy Conservation Code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.

Existing building envelope complies with code: No Yes (The remainder of this section is not applicable)

Exempt Building: No Yes (Provide Code or Statutory reference): GROUP U OCCUPANCY, NCBC 1301.1.1

Climate Zone: 3A 4A 5A

Method of Compliance: Energy Code Performance Prescriptive
ASHRAE 90.1 Performance Prescriptive
(If "Other" specify source here) N/A

THERMAL ENVELOPE (Prescriptive method only)

Roof/ceiling Assembly (each assembly)

Description of assembly:
U-Value of total assembly:
R-Value of insulation:
Skylights in each assembly:
U-Value of skylight:
Total square footage of skylights in each assembly:

Exterior Walls (each assembly)

Description of assembly:
U-Value of total assembly:
R-Value of insulation:
Openings (windows or doors with glazing)
U-Value of assembly:
Solar heat gain coefficient:
Projection factor:
Door R-Values:

Walls below grade (each assembly)

Description of assembly:
U-Value of total assembly:
R-Value of insulation:

Floors over unconditioned space (each assembly)

Description of assembly:
U-Value of total assembly:
R-Value of insulation:

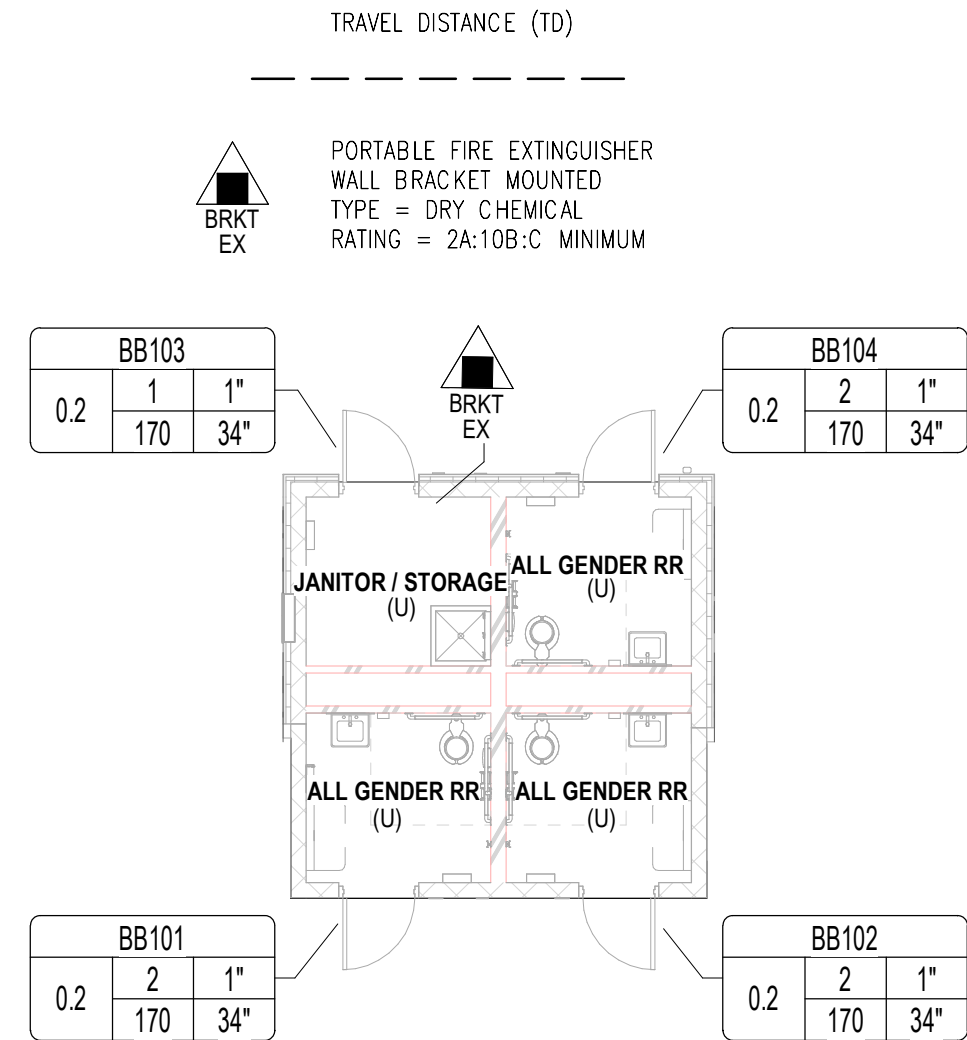
Floors slab on grade

Description of assembly:
U-Value of total assembly:
R-Value of insulation:
Horizontal/Vertical requirement:
Slab Heated:

2018 NC Administrative Code and Policies

Appendix B for Building

LIFE SAFETY LEGEND



A6 REFERENCE PLAN
1/8" = 1'-0"

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ARCHITECTURE | ENGINEERING | GEOSPATIAL
13860 BALLANTYNE CORPORATE PLACE
SUITE 425
CHARLOTTE, NC 28227
800.414.1045



ISSUANCE SCHEDULE
DESCRIPTION
DATE
NUMBER

CITY OF CONCORD
J.E. "JIM" RAMSEUR PARK
PARKS & RECREATION DEPARTMENT
BASKETBALL RESTROOM (BB)

1252 Cox Mill Rd
Concord, NC 28027

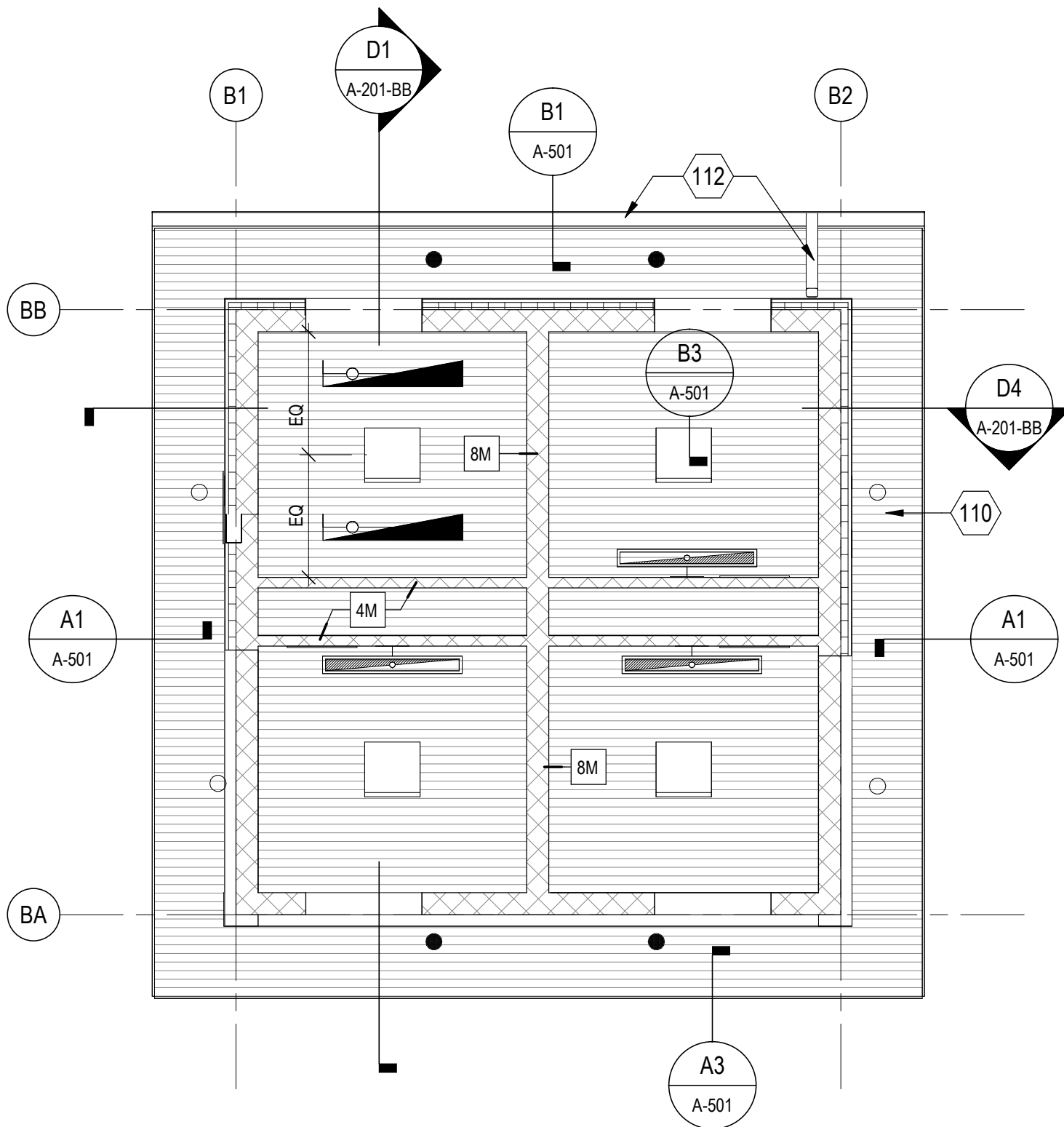
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DATE ISSUED: 06/15/2023
DESIGNED BY: BF
DRAWN BY: BF
CHECKED BY: BB

SHEET NAME:
BB - CODE SUMMARY AND
LIFE SAFETY PLAN

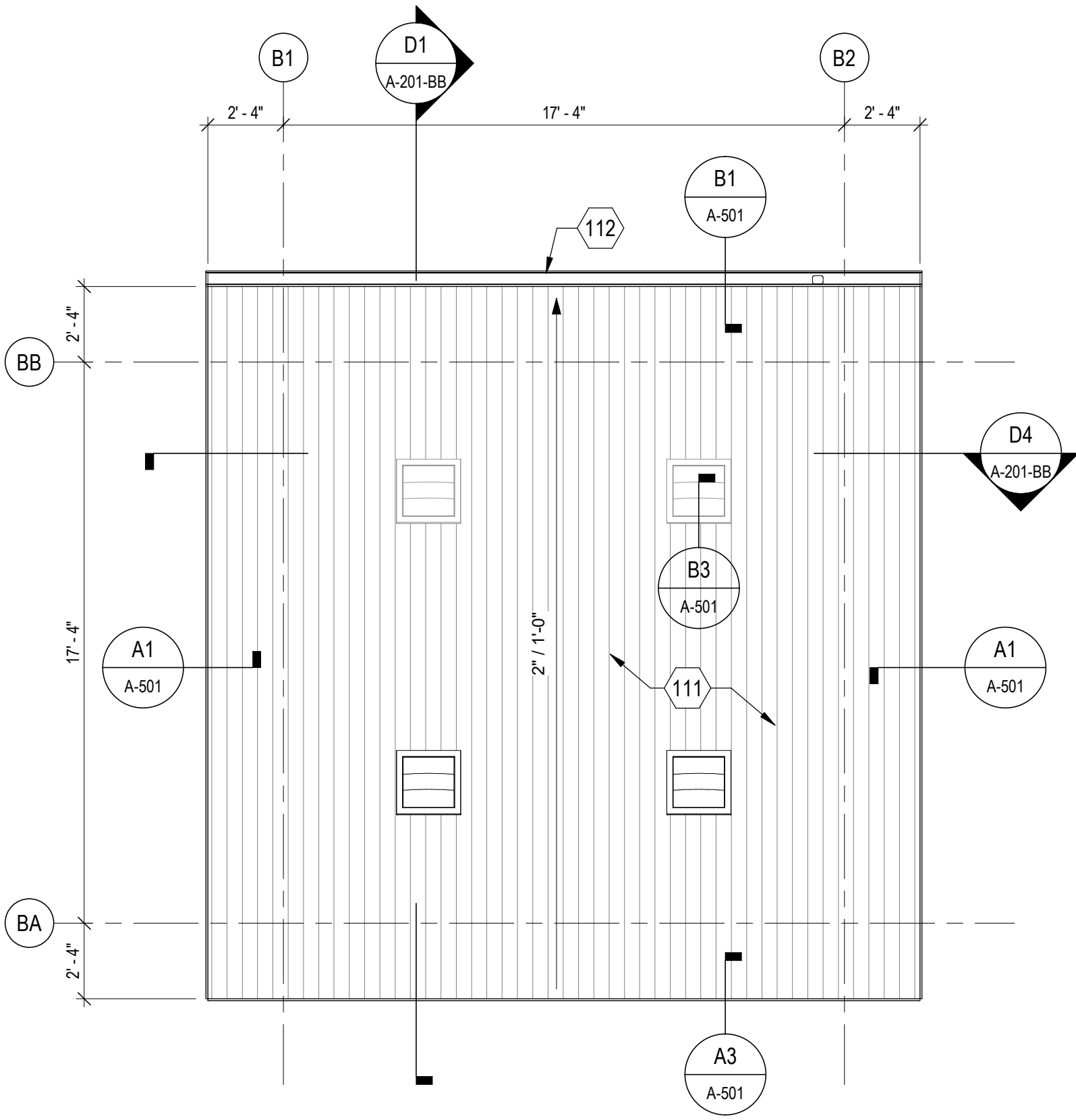
SHEET NO:

A-100-BB

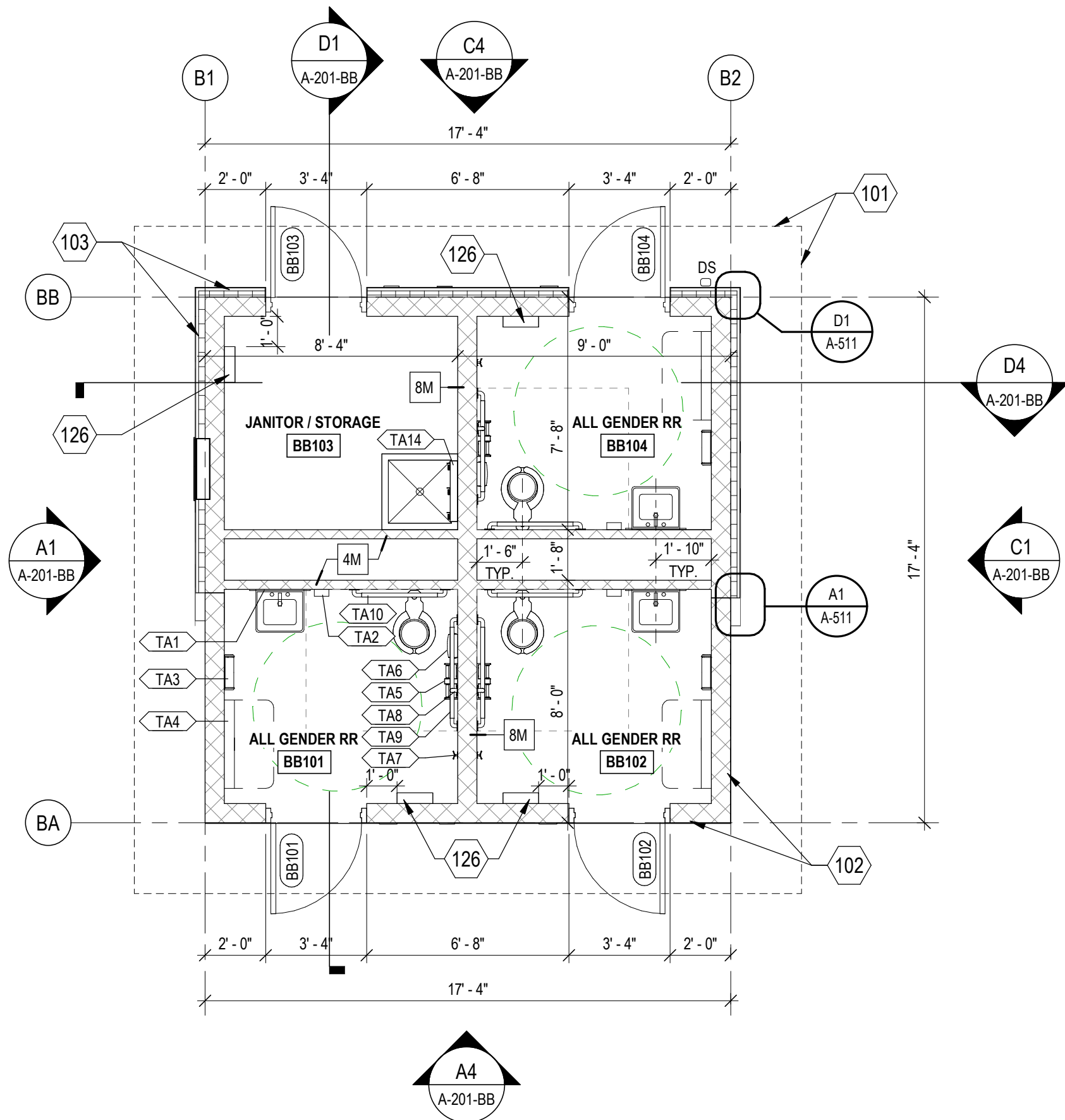
C1 REFLECTED CEILING PLAN
1/4" = 1'-0"



C4 ROOF PLAN
1/4" = 1'-0"



A1 FLOOR PLAN
1/4" = 1'-0"



TOILET ACCESSORY SCHEDULE

ID	Description
TA1	24X36 MIRROR W/ STAINLESS STEEL ANGLE FRAME
TA2	SURFACE MOUNTED SOAP DISPENSER - OFOI
TA3	ADA COMPLIANT SURFACE MOUNTED AUTOMATIC HAND DRYER
TA4	SURFACE MOUNTED BABY CHANGING STATION
TA5	TWO-ROLL SURFACE MOUNTED TOILET TISSUE DISPENSER - OFOI
TA6	SURFACE MOUNTED SANITARY NAPKIN DISPOSAL - OFOI
TA7	DOUBLE ROBE HOOK
TA8	18" GRAB BAR
TA9	42" GRAB BAR
TA10	36" GRAB BAR
TA14	MOP AND BROOM HOLDER

GENERAL NOTES:

- FLOOR PLAN NOTES:**
- ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT OF ALL DISCREPANCIES PRIOR TO STARTING WORK.
 - ALL DIMENSIONS ARE FACE OF MASONRY, POURED CONCRETE, OR FACE OF STUD (WOOD OR METAL, U.N.O.).
 - ALL MASONRY DIMENSIONS ARE NOMINAL, U.N.O.
 - REFER TO MEP DRAWINGS FOR MOUNTING HEIGHTS OF SWITCHES, OUTLETS, ALARMS AND ALL SURFACE MOUNTED COMPONENTS.
 - REFER TO SHEETS A-601 FOR DOOR SCHEDULE AND A-701 FOR FINISH SCHEDULE.

- RCP & ROOF PLAN NOTES:**
- PROVIDE ICE AND WATER SHIELD 24" MIN. FROM ALL EAVES AND PENETRATIONS.
 - ALL ROOF SURFACES TO BE 2" VERTICAL PER 1'-0" HORIZONTAL, U.N.O.
 - PROVIDE ALL CRICKETS, SADDLES, FLASHING AND RELATED COMPONENTS AS REQUIRED TO PREVENT PONDING AND CREATE A COMPLETE ROOFING SYSTEM.
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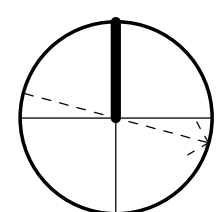
SHEET KEYNOTES:

- 101 OUTLINE OF ROOF OR STRUCTURE ABOVE, TYP.
- 102 ARCHITECTURAL CMU - 8" PARTIALLY GROUTED W/ INSULATION FILL
- 103 CLADDING SYSTEM - HIGH-DENSITY FIBER CEMENT PANELS ON ALUMINUM GRID FRAMING SYSTEM. BASIS-OF-DESIGN IS EQUITONE TECTIVA PANELS ON UNIVERSE 7000 EXPOSED FASTENER SYSTEM
- 110 EXPOSED CLT WOOD DECK
- 111 STANDING SEAM METAL ROOF
- 112 METAL GUTTER AND DOWNSPOUT, TYP.
- 126 SURFACE-MOUNTED ELECTRIC WALL HEATER, SEE MECHANICAL DRAWINGS. MASONRY CONTRACTOR TO COORDINATE RECESSED J-BOXES AND POWER REQUIREMENTS WITH ELECTRICAL CONTRACTOR PRIOR TO CONSTRUCTION.

LEGEND:

- EXPOSED CLT WOOD DECK
- LIGHT FIXTURE, REFER TO ELECTRICAL DRAWINGS
- EMERGENCY / NIGHT LIGHT FIXTURES, REFER TO ELECTRICAL DRAWINGS
- HVAC SUPPLY, RETURN, EXHAUST DIFFUSER, REFER TO MECHANICAL DRAWINGS
- SMOKE DETECTOR
- SPEAKER

PLAN NORTH



GRAPHIC SCALE

1/4"=1'-0" 0 2' 4' 8' 12'

ISSUANCE SCHEDULE

DESCRIPTION
DATE
NUMBER

C

CITY OF CONCORD
J.E. "JIM" RAMSEUR PARK
PARKS & RECREATION DEPARTMENT
BASKETBALL RESTROOM (BB)

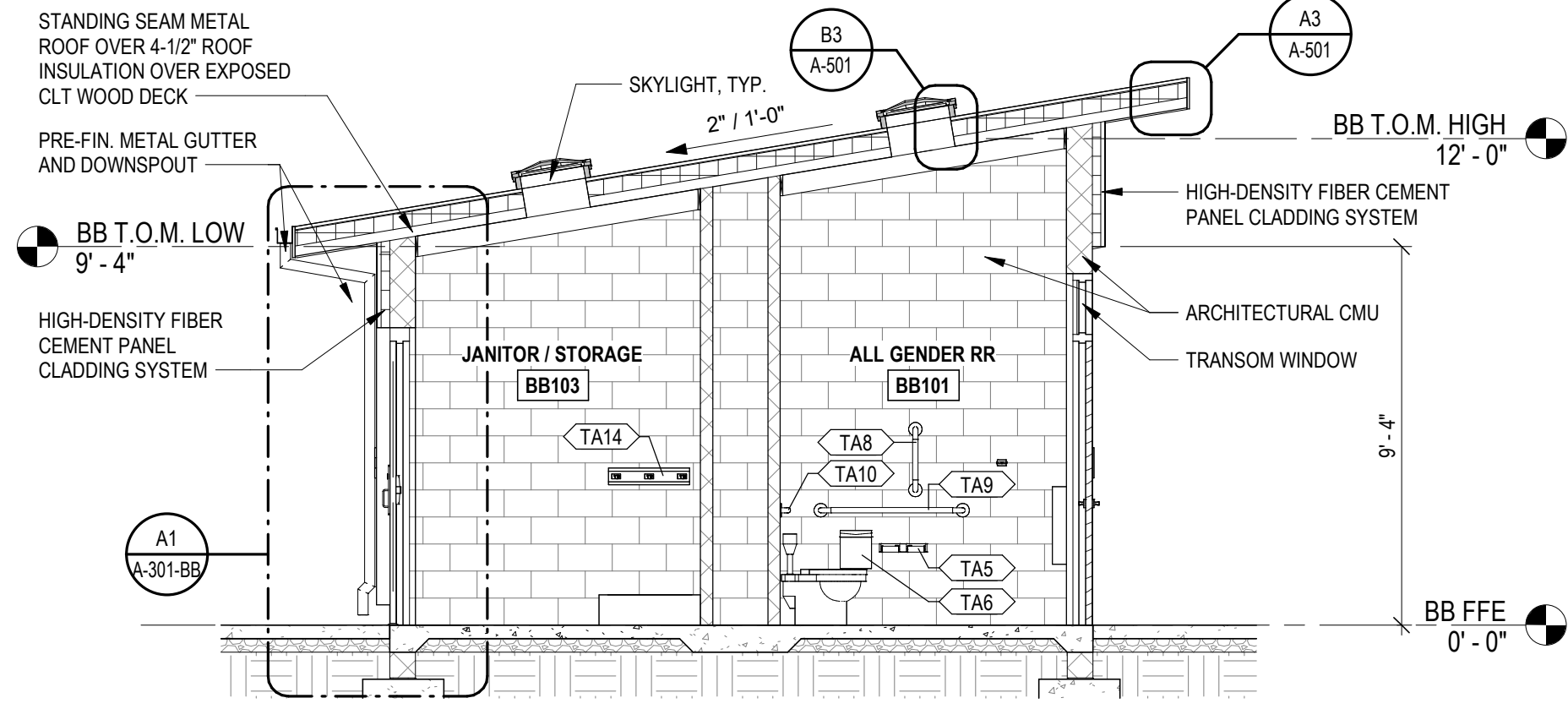
1252 Cox Mill Rd
Concord, NC 28027

PROJECT NO: 081197
DATE ISSUED: 06/15/2023
DESIGNED BY: BF
DRAWN BY: DL
CHECKED BY: BB

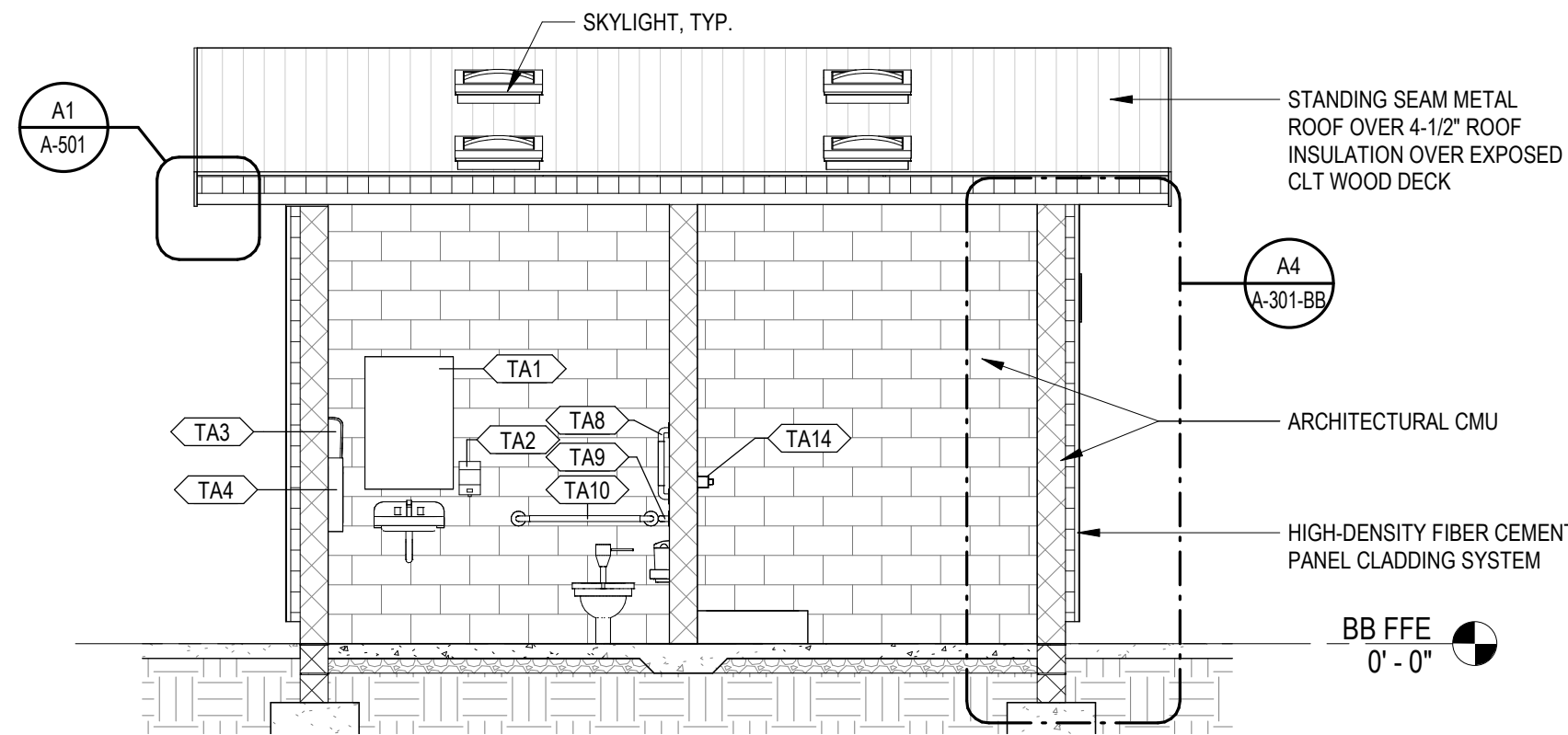
SHEET NAME:
BB - FLOOR PLAN, ROOF
PLAN, & RCP

SHEET NO:

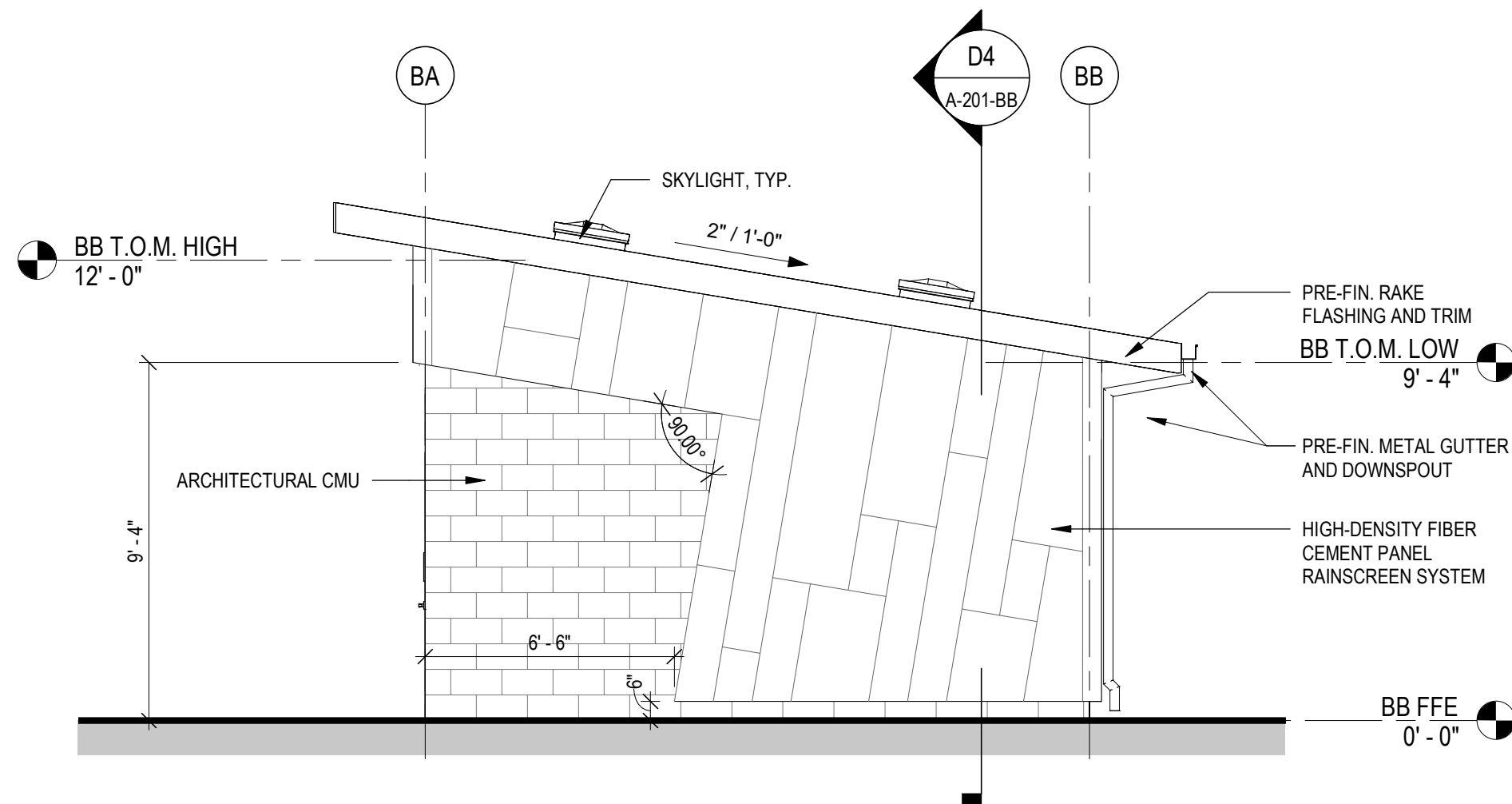
A-101-BB



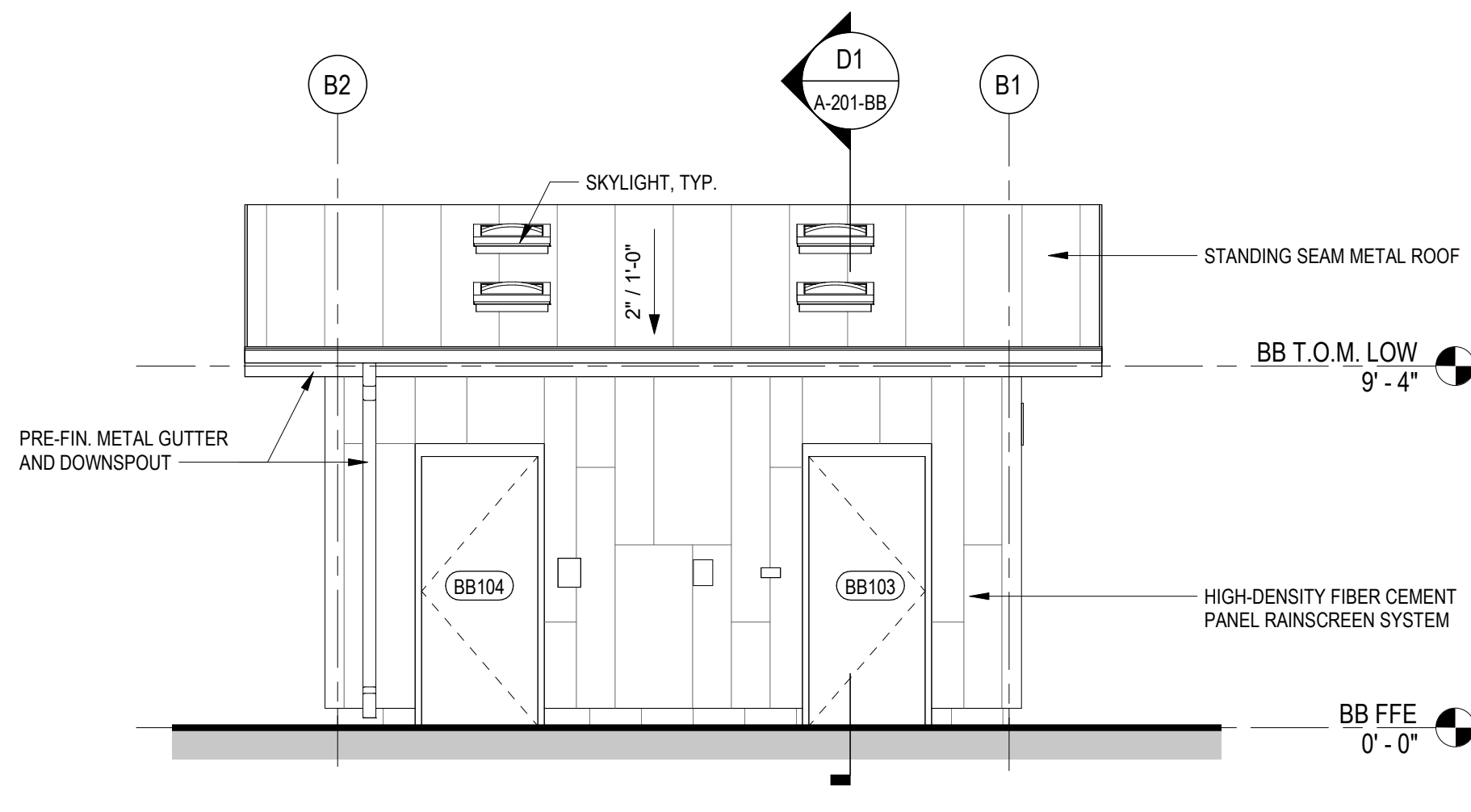
D1 BUILDING SECTION
1/4" = 1'-0"



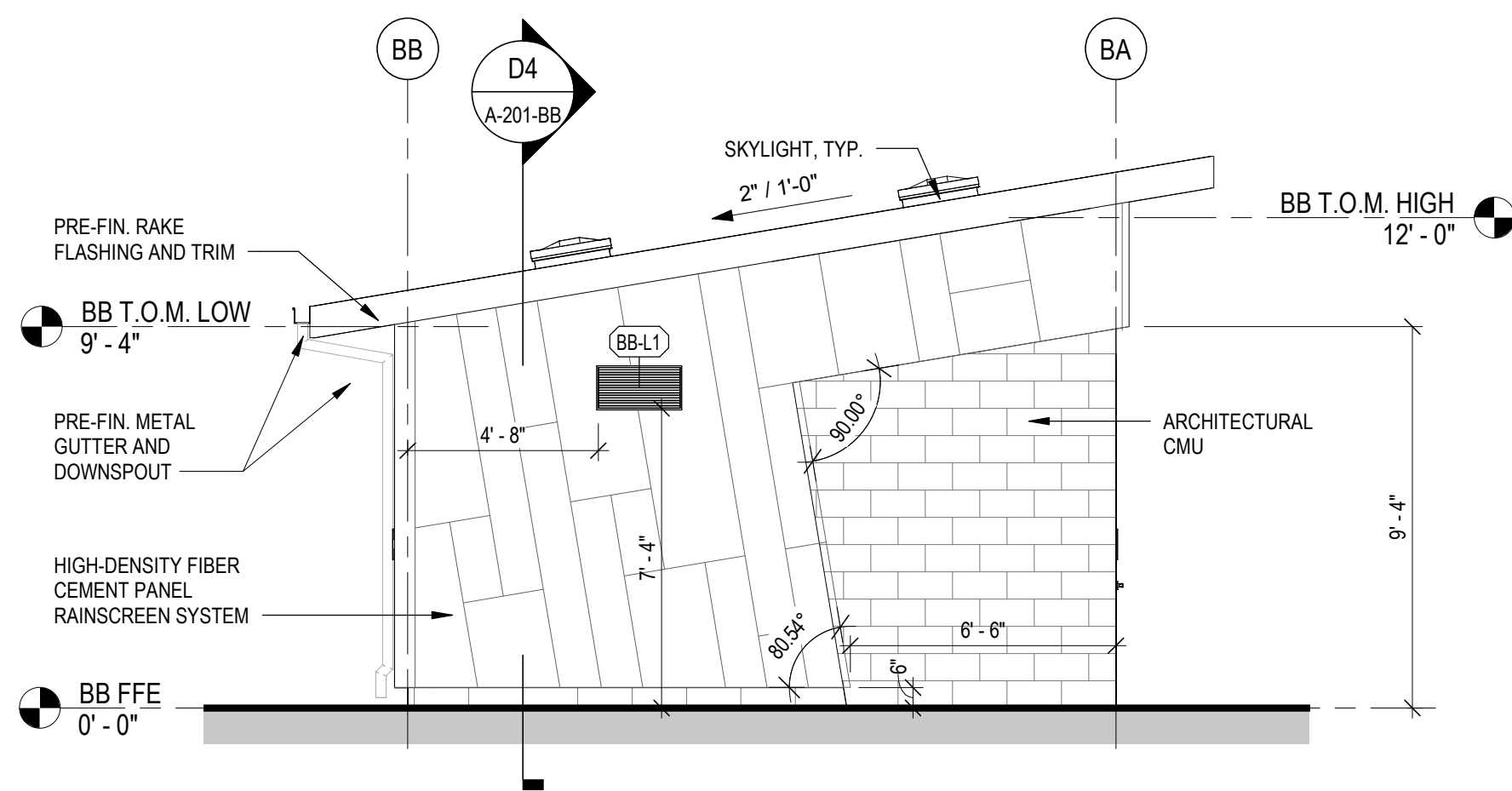
D4 BUILDING SECTION
1/4" = 1'-0"



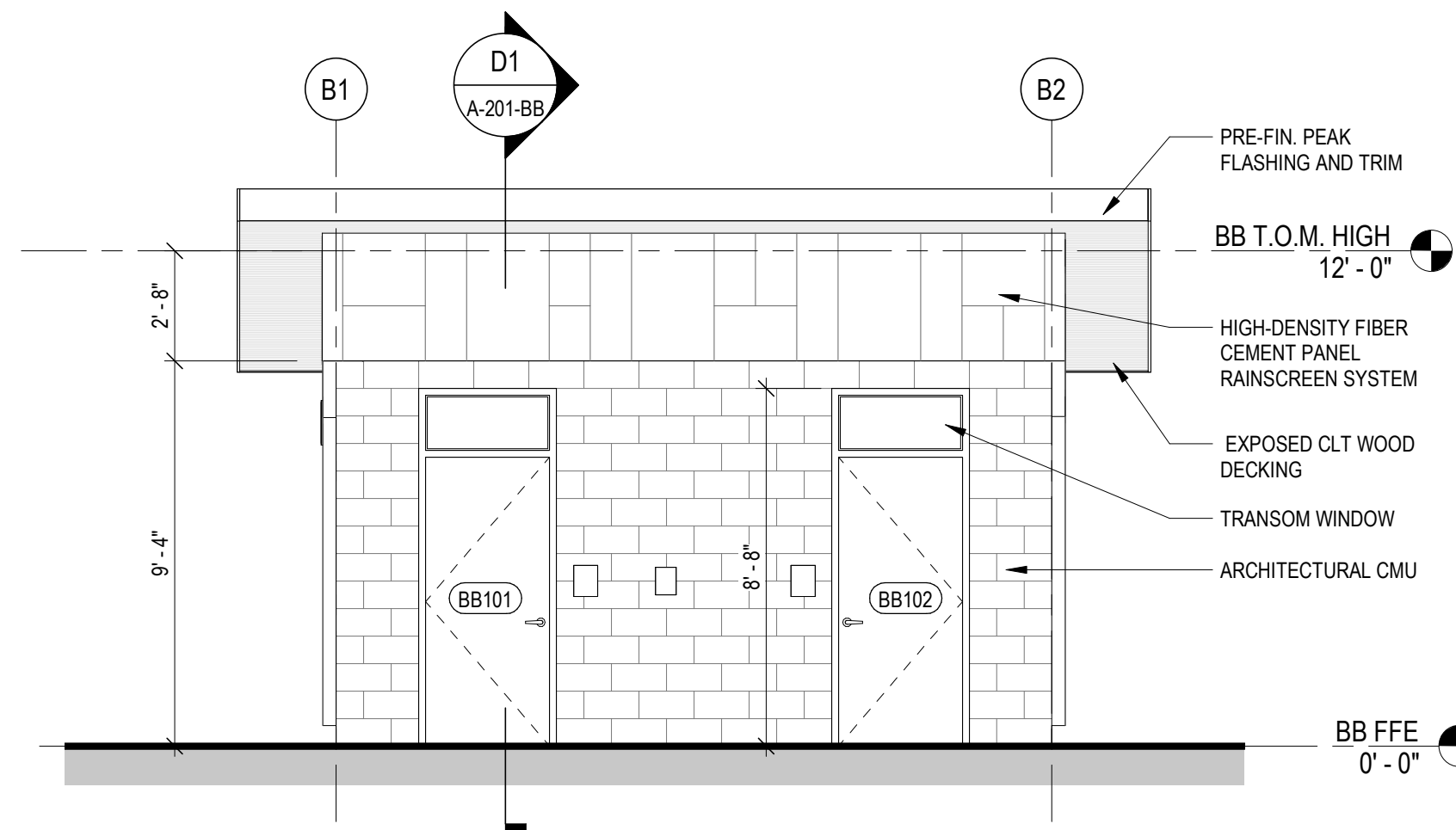
C1 BUILDING ELEVATION - EAST
1/4" = 1'-0"



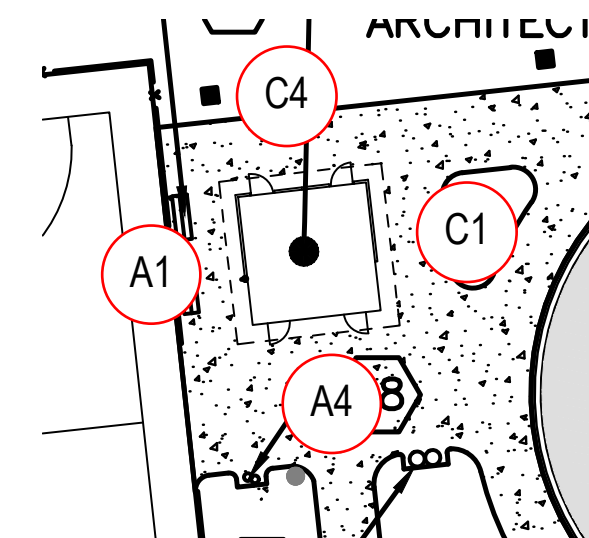
C4 BUILDING ELEVATION - NORTH
1/4" = 1'-0"



A1 BUILDING ELEVATION - WEST
1/4" = 1'-0"

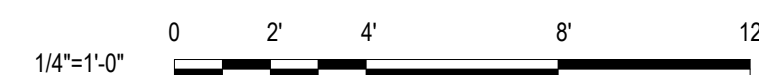


A4 BUILDING ELEVATION - SOUTH
1/4" = 1'-0"



KEY PLAN

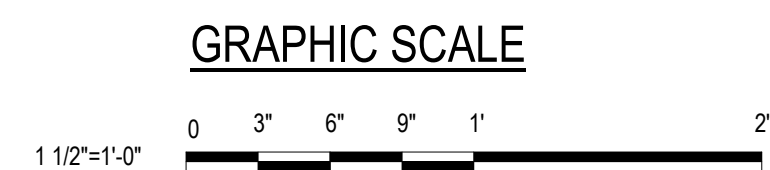
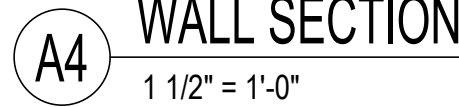
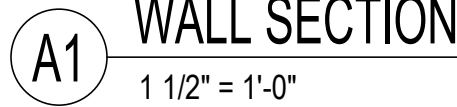
GRAPHIC SCALE



NUMBER

1252 Cox Mill Rd
Concord, NC 28027

A-301-BB



2018 APPENDIX B
BUILDING CODE SUMMARY
FOR ALL COMMERCIAL PROJECTS
(EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)
(Reproduce the following data on the building plans sheet 1 or 2)

Name of Project: J.E. "JIM" RAMSEUR PARK - MAINTENANCE BUILDING
Address: 1252 COX MILL ROAD, CONCORD, NC Zip Code 28027
Owner/Authorized Agent: CITY OF CONCORD Phone # () - E-Mail
Owned By: ☒ City/County ☐ Private ☐ State
Code Enforcement Jurisdiction: ☐ City ☒ County CABARRUS ☐ State

DESIGNER	FIRM	NAME	LICENSE #	TELEPHONE #	E-MAIL
Architectural	WOOLPERT	BRYAN D. FIKE	13565	(704) 525-3032	BRYAN.FIKE@WOOLPERT.COM
Civil	WOOLPERT	RAY M. NIX, JR	054074	(843) 972-4566	RAY.NIX@WOOLPERT.COM
Electrical	OPTIMA ENGINEERING	BRANDON L. MILLER	028197	(704) 338-1292	BMILLER@OPTIMAENGINEERING.COM
Fire Alarm	N/A				
Plumbing	OPTIMA ENGINEERING	GEORGE C. FOWLER, III	26023	(704) 338-1292	GFOWLER@OPTIMAENGINEERING.COM
Mechanical	OPTIMA ENGINEERING	RONALD V. ALMOND	17228	(704) 338-1292	RALMOND@OPTIMAENGINEERING.COM
Sprinkler-Standpipe	N/A				
Structural	WOOLPERT	MARK MAINRIDGE	28511	(801) 669-4987	MARK.MAINRIDGE@WOOLPERT.COM
Retaining Walls >5' High					
Other	LANDSCAPE ARCH (WOOLPERT)	ANDREW R. PACK	798	(704) 525-6284	ANDREW.PACK@WOOLPERT.COM

("Others" should include firms and individuals such as truss, precast, pre-engineered, interior designers, etc.)

2018 NC CODE FOR: ☒ New Construction ☐ Addition ☐ Renovation
☐ 1st Time Interior Completion
☐ Shell/Core
☐ Phased Construction – Shell/Core
☐ Renovation
2018 NC EXISTING BUILDING CODE: ☐ Prescriptive ☐ Repair ☐ Chapter 14
Alteration: ☐ Level I ☐ Level II ☐ Level III ☐ Change of Use
☐ Historic Property
CONSTRUCTED:(date) ORIGINAL OCCUPANCY(S) (Ch. 3):
RENOVATED: (date) CURRENT OCCUPANCY(S) (Ch. 3):
RISK CATEGORY (table 1604.5) Current: ☐ I ☐ II ☐ III ☐ IV
Proposed: ☐ I ☒ II ☐ III ☐ IV

BASIC BUILDING DATA
Construction Type: ☐ I-A ☐ II-A ☐ III-A ☐ IV ☐ V-A
(check all that apply) ☐ I-B ☐ II-B ☐ III-B ☒ V-B
Sprinklers: ☒ No ☐ Partial ☐ Yes ☐ NFPA 13 ☐ NFPA 13R ☐ NFPA 13D
Standpipes: ☒ No ☐ Yes Class ☐ I ☐ II ☐ III ☐ Wet ☐ Dry
Fire District: ☐ No ☒ Yes (Primary) Flood Hazard Area: ☒ No ☐ Yes
Special Inspections Required: ☐ No ☒ Yes

2018 NC Administrative Code and Policies Appendix B for Building

FLOOR	EXISTING (SQ FT)	NEW (SQ FT)	RENO/ALTER (SQ.FT)	SUB-TOTAL
6 th Floor				
5 th Floor				
4 th Floor				
3 rd Floor				
2 nd Floor				
Mezzanine				
1 st Floor	0 SF	1,182 SF	0 SF	1,182 SF
Basement				
TOTAL	0 SF	1,182 SF	0 SF	1,182 SF

ALLOWABLE AREA
Primary Occupancy Classification: SELECT ONE
Assembly ☐ A-1 ☐ A-2 ☐ A-3 ☐ A-4 ☐ A-5
Business ☐
Educational ☐
Factory ☐ F-1 Moderate ☐ F-2 Low
Hazardous ☐ H-1 Detonate ☐ H-2 Deflagrate ☐ H-3 Combust ☐ H-4 Health ☐ H-5 HPM
Institutional ☐ I-1 Condition ☐ 1 ☐ 2 ☐ 2 ☐ 3 ☐ 4 ☐ 5
☐ I-2 Condition ☐ 1 ☐ 2
☐ I-3 Condition ☐ 1
☐ I-4
Mercantile ☐
Residential ☐ R-1 ☐ R-2 ☐ R-3 ☐ R-4
Storage ☒ S-1 Moderate ☐ S-2 Low ☐ High-piled
☐ Parking Garage ☐ Open ☐ Enclosed ☐ Repair Garage
Utility and Miscellaneous ☐
Accessory Occupancy Classification(s): BUSINESS
Incidental Uses (Table 509):
Special Uses (Chapter 4 – List Code Sections):
Special Provisions: (Chapter 5 – List Code Sections):
Mixed Occupancy: ☐ No ☒ Yes Separation: 0 Hr. Exception:

☒ Non-Separated Use (508.3)
The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building. The most restrictive type of construction, so determined, shall apply to the entire building.
☐ Separated Use (508.4)
See below for area calculations for each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1.
$$\frac{\text{Actual Area of Occupancy A}}{\text{Allowable Area of Occupancy A}} + \frac{\text{Actual Area of Occupancy B}}{\text{Allowable Area of Occupancy B}} \leq 1$$

$$+ + + \dots = \leq 1.00$$

2018 NC Administrative Code and Policies

Appendix B for Building

STORY NO.	DESCRIPTION AND USE	(A) BLDG AREA PER STORY (ACTUAL)	(B) TABLE 506.2.4 AREA	(C) AREA FOR FRONTAGE INCREASE ^{1,2}	(D) ALLOWABLE AREA PER STORY OR UNLIMITED ^{1,3}
1	S-1	840 SF	9,000 SF	N/A	9,000 SF
1	BUSINESS	342 SF	9,000 SF	N/A	9,000 SF

¹ Frontage area increases from Section 506.3 are computed thus:
a. Perimeter which fronts a public way or open space having 20 feet minimum width = (F)
b. Total Building Perimeter = (P)
c. Ratio (F/P) = (F/P)
d. W = Minimum width of public way = (W)
e. Percent of frontage increase $I_r = 100 [F/P - 0.25] \times W/30 = (\%)$
² Unlimited area applicable under conditions of Section 507.
³ Maximum Building Area = total number of stories in the building x D (maximum 3 stories) (506.2).
⁴ The maximum area of open parking garages must comply with Table 406.5.4
⁵ Frontage increase is based on the unsprinklered area value in Table 506.2.

	ALLOWABLE (TABLE 503)	SHOWN ON PLANS	CODE REFERENCE
Building Height in Feet (Table 504.3)	40'	16'-2"	
Building Height in Stories (Table 504.4)	1	1	

¹ Provide code reference if the "Show on Plans" quantity is not based on Table 504.3 or 504.4.
² The maximum height of air traffic control towers must comply with Table 412.3.1
³ The maximum height of open parking garages must comply with Table 406.5.4

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	RATING REQ'D	RATING PROVIDED (W/ REDUCTION) *	DETAIL # FOR AND SHEET #	DESIGN # FOR RATED ASSEMBLY	DESIGN # FOR RATED PENETRATION	DESIGN # FOR RATED JOINTS
Structural Frame, including columns, girders, trusses	10'	0					
Bearing Walls		0					
Exterior		0					
North	10'	0					
East	10'	0					
West	10'	0					
South	10'	0					
Interior	N/A	0					
Nonbearing Walls and Partitions		0					
Exterior walls		0					
North	10'	0					
East	10'	0					
West	10'	0					
South	10'	0					
Interior walls and partitions	N/A	0					
Floor Construction Including supporting beams and joists	N/A	0					
Floor Ceiling Assembly	N/A	0					
Column Supporting Floors	N/A	0					
Roof Construction, including supporting beams and joists	10'	0					
Roof Ceiling Assembly	N/A	0					
Column Supporting Roof	10'	0					
Shaft Enclosures - Exit	N/A	N/A					
Shaft Enclosures - Other	N/A	N/A					
Corridor Separation	N/A	N/A					
Occupancy/Fire Barrier Separation	N/A	N/A					
Party/Fire Wall Separation	N/A	N/A					
Smoke Barrier Separation	N/A	N/A					
Smoke Partition	N/A	N/A					
Tenant/Dwelling Unit/ Sleeping Unit Separation	N/A	N/A					
Incidental Use Separation	N/A	N/A					

* Indicate section number permitting reduction

FIRE SEPARATION DISTANCE (FEET FROM PROPERTY LINES)	DEGREES OF OPENINGS PROTECTION (TABLE 705.8)	ALLOWABLE AREA (%)	ACTUAL SHOWN ON PLANS (%)
30 OR GREATER	UP, NS	NO LIMIT	N/A

2018 NC Administrative Code and Policies

Appendix B for Building

LIFE SAFETY SYSTEM REQUIREMENTS

Emergency Lighting: ☐ No ☒ Yes
Exit Signs: ☒ No ☐ Yes
Fire Alarm: ☒ No ☐ Yes
Smoke Detection Systems: ☒ No ☐ Yes ☐ Partial _____
Carbon Monoxide Detection: ☐ No ☐ Yes

LIFE SAFETY PLAN REQUIREMENTS

Life Safety Plan Sheet #: A-100-MB

☐ Fire and/or smoke rated wall locations (Chapter 7)
☐ Assumed and real property line locations (if not on the site plan)
☐ Exterior wall opening area with respect to distance to assumed property lines (705.8)
☒ Occupancy types for each area as it relates to occupant load calculation (Table 1004.1.2)
☒ Occupant loads for each area
☒ Exit access travel distances (1017)
☒ Common path of travel distances (1006.2.1 & 2006.3.2(1))
☐ Dead end lengths (1020.4)
☐ Clear exit widths for each exit door
☒ Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)
☒ Actual occupant load for each exit door
☐ A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation and supporting construction for a fire barrier/fire partition/smoke barrier.
☐ Location of doors with panic hardware (1010.1.10)
☐ Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)
☐ Location of doors with electromagnetic egress locks (1010.1.9.9)
☐ Location of doors equipped with hold-open devices
☐ Location of emergency escape windows (1030)
☐ The square footage of each fire area (202)
☐ The square footage of each smoke compartment for Occupancy Classification I-2 (407.5)
☐ Note any code exceptions or table notes that may have been utilized regarding the items above

Section/Table/Note	Title

ACCESSIBLE DWELLING UNITS (SECTION 1107)

TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE A UNITS REQUIRED	TYPE A UNITS PROVIDED	TYPE B UNITS REQUIRED	TYPE B UNITS PROVIDED	TOTAL ACCESSIBLE UNITS PROVIDED

ACCESSIBLE PARKING (SECTION 1106)

LOT OR PARKING AREA	TOTAL # OF PARKING SPACES REQUIRED	TOTAL # OF PARKING SPACES PROVIDED	# OF ACCESSIBLE SPACES PROVIDED			TOTAL # ACCESSIBLE PROVIDED
			REGULAR WITH 5' ACCESS AISLE	132" ACCESS AISLE	8' ACCESS AISLE	
TOTAL						

PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)

USE		WATERCLOSETS			URINALS	LAVATORIES			SHOWERS / TUBS	DRINKING FOUNTAINS	
		MALE	FEMALE	UNISEX		MALE	FEMALE	UNISEX		REGULAR	ACCESSIBLE
SPACE	EXIST'G	0	0	0	0	0	0	0	0	0	0
	NEW	0	0	1	0	0	0	1	0	0	0
	REQ'D	0	0	1	0	0	0	1	0	0	0

SPECIAL APPROVALS

Special approval: (Local Jurisdiction, Department of Insurance, SCO, DPI, DHHS, ICC, etc., describe below)

ENERGY SUMMARY

ENERGY REQUIREMENTS:

The following data shall be considered minimum and any special attribute required to meet the North Carolina Energy Conservation Code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.

Existing building envelope complies with code: ☐ No ☐ Yes (The remainder of this section is not applicable)

Exempt Building: ☐ No ☒ Yes (Provide Code or Statutory reference): 5B 131. GROUP S PRIMARY OCCUPANCY

Climate Zone: ☒ 3A ☐ 4A ☐ 5A

Method of Compliance: Energy Code ☐ Performance ☐ Prescriptive
ASHRAE 90.1 ☐ Performance ☐ Prescriptive
(If "Other" specify source here) N/A

THERMAL ENVELOPE (Prescriptive method only)

Roof/ceiling Assembly (each assembly)

Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____
Skylights in each assembly: _____
U-Value of skylight: _____
Total square footage of skylights in each assembly: _____

Exterior Walls (each assembly)

Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____
Openings (windows or doors with glazing)
U-Value of assembly: _____
Solar heat gain coefficient: _____
Projection factor: _____
Door R-Values: _____

Walls below grade (each assembly)

Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____

Floors over unconditioned space (each assembly)

Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____

Floors slab on grade

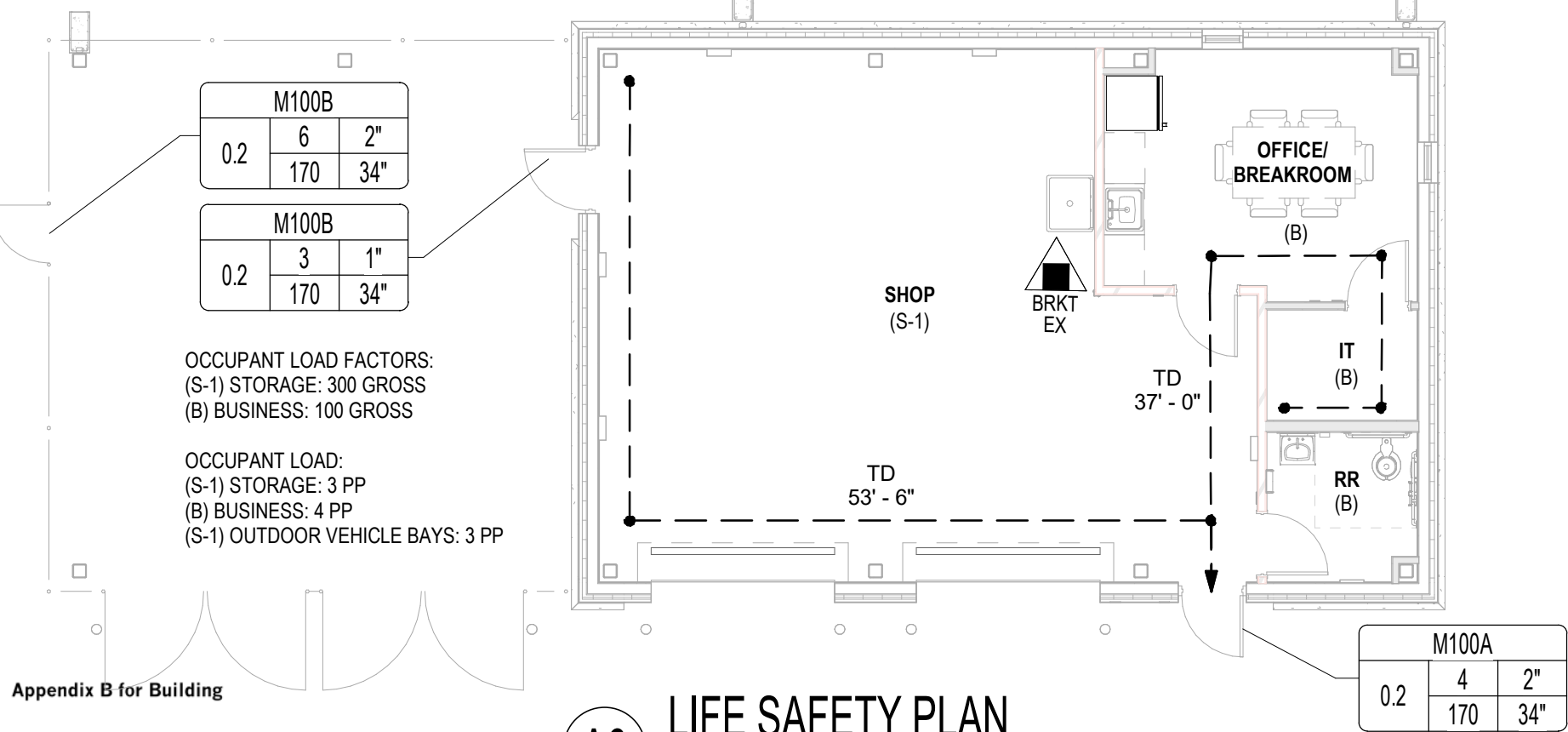
Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____
Horizontal/Vertical requirement: _____
Slab Heated: _____

2018 NC Administrative Code and Policies

Appendix B for Building

LIFE SAFETY LEGEND

TRAVEL DISTANCE (TD)
BRKT EX
PORTABLE FIRE EXTINGUISHER
WALL BRACKET MOUNTED
TYPE = DRY CHEMICAL
RATING = 2A:10B:C MINIMUM



LIFE SAFETY PLAN

1/8" = 1'-0"

WOOLPERT
ARCHITECTURE | ENGINEERING | GEOSPATIAL
13860 BALLANTYNE CORPORATE PLACE
SUITE 425
CHARLOTTE, NC 28227
800.414.1045



ISSUANCE SCHEDULE
DESCRIPTION
DATE
NUMBER

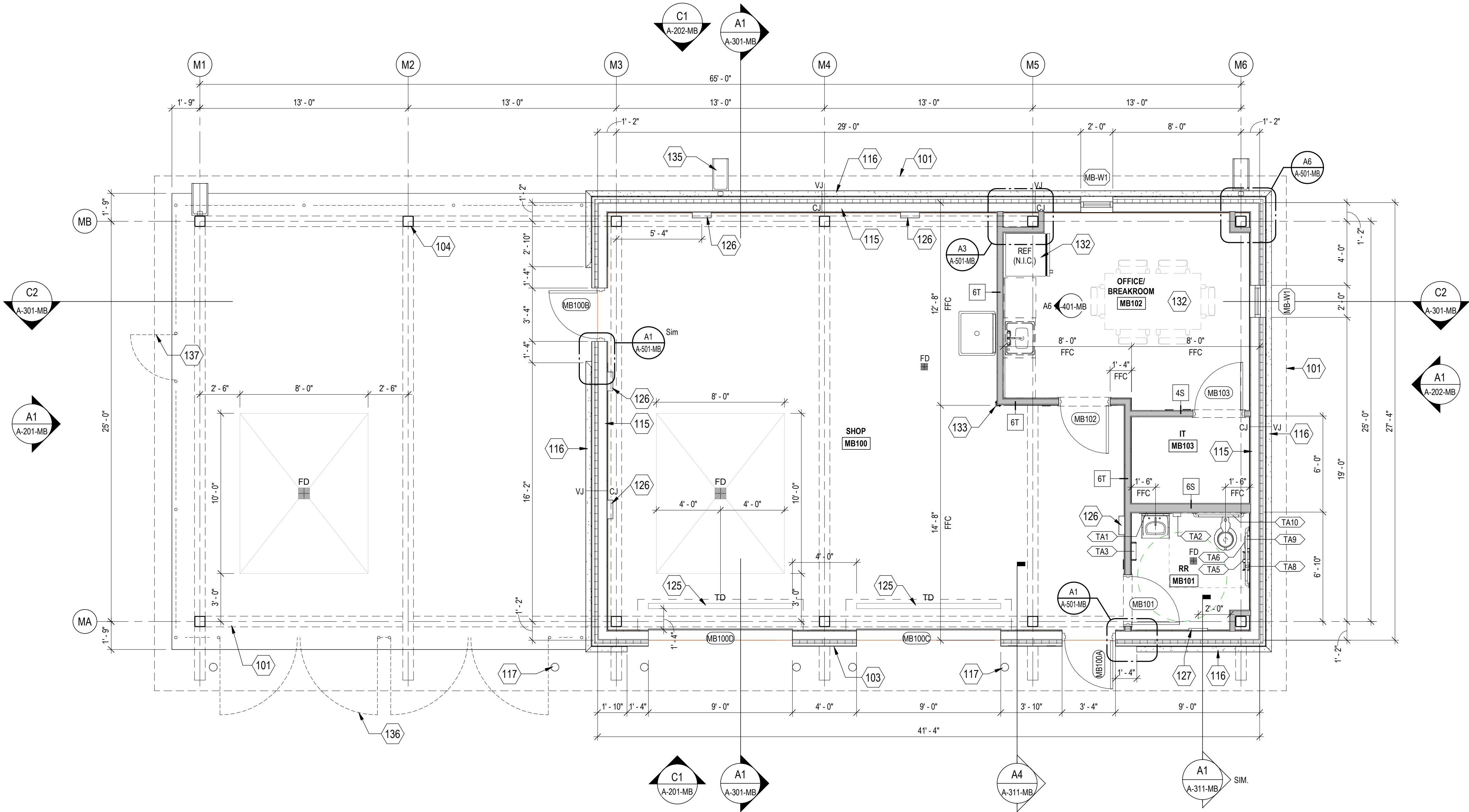
CITY OF CONCORD
J.E. "JIM" RAMSEUR PARK
PARKS & RECREATION DEPARTMENT
MAINTENANCE BUILDING (MB)
1252 COX MILL ROAD
CONCORD, NC 28027

PROJECT NO: 081197
DATE ISSUED: 06/15/2023
DESIGNED BY: BF
DRAWN BY: BF
CHECKED BY: BB

SHEET NAME:
MB - CODE SUMMARY AND
LIFE SAFETY PLAN

SHEET NO:

A-100-MB



B1 FLOOR PLAN
1/4" = 1'-0"

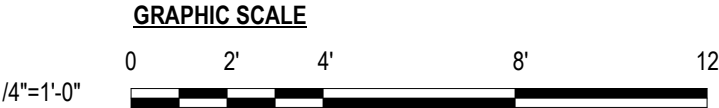
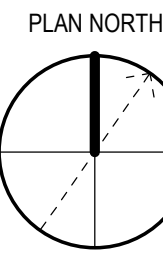
TOILET ACCESSORY SCHEDULE	
ID	Description
TA1	24X36 MIRROR W/ STAINLESS STEEL ANGLE FRAME
TA2	SURFACE MOUNTED SOAP DISPENSER - OFOI
TA3	ADA COMPLIANT SURFACE MOUNTED AUTOMATIC HAND DRYER
TA5	TWO-ROLL SURFACE MOUNTED TOILET TISSUE DISPENSER - OFOI
TA6	SURFACE MOUNTED SANITARY NAPKIN DISPOSAL - OFOI
TA8	18" GRAB BAR
TA9	42" GRAB BAR
TA10	36" GRAB BAR

GENERAL NOTES:

- ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT OF ALL DISCREPANCIES PRIOR TO STARTING WORK.
- ALL DIMENSIONS ARE FACE OF MASONRY, POURED CONCRETE, OR FACE OF STUD (WOOD OR METAL, U.N.O.).
- ALL MASONRY DIMENSIONS ARE NOMINAL, U.N.O.
- REFER TO MEP DRAWINGS FOR MOUNTING HEIGHTS OF SWITCHES, OUTLETS, ALARMS AND ALL SURFACE MOUNTED COMPONENTS.
- REFER TO SHEET A-401 FOR ACCESSORY DETAILS AND MOUNTING HEIGHTS.
- REFER TO SHEETS A-601 FOR DOOR SCHEDULE AND A-701 FOR FINISH SCHEDULE.
- PROVIDE BLINDS AS SPECIFIED AT MB-W1 WINDOWS.

SHEET KEYNOTES:

- OUTLINE OF ROOF OR STRUCTURE ABOVE, TYP.
- CLADDING SYSTEM - HIGH-DENSITY FIBER CEMENT PANELS ON ALUMINUM GRID FRAMING SYSTEM. BASIS-OF-DESIGN IS EQUITONE TECTIVA PANELS ON UNIVERSE 7000 EXPOSED FASTENER SYSTEM
- STEEL COLUMN W/ CONCRETE BASE, SEE STRUCTURAL - PROVIDE BASE PLATE COVER PER DETAIL C1/A-502
- EXTERIOR WALL ASSEMBLY, SEE WALL SECTIONS FOR DETAILS
- CAST STONE SILL
- PIPE SLEEVE BOLLARD, SEE DETAIL A3/A-502
- DRAIN TIED TO OIL/WATER SEPARATOR. SEE PLUMBING DRAWINGS.
- SURFACE-MOUNTED ELECTRIC WALL HEATER, SEE MECHANICAL DRAWINGS. MASONRY CONTRACTOR TO COORDINATE RECESSED J-BOXES AND POWER REQUIREMENTS WITH ELECTRICAL CONTRACTOR PRIOR TO CONSTRUCTION.
- RECESSED ELECTRIC WALL HEATER, SEE MECHANICAL DRAWINGS. MASONRY CONTRACTOR TO COORDINATE RECESSED J-BOXES AND POWER REQUIREMENTS WITH ELECTRICAL CONTRACTOR PRIOR TO CONSTRUCTION. SEE DETAIL D5/A-502.
- FURNITURE SHOWN IN MB102 IS REPRESENTATIVE ONLY. FURNITURE IS OFOI
- 36" HEAVY DUTY RUBBER CORNER GUARD
- CONC. SPLASHBLOCK, TYP.
- BLACK VINYL COATED CHAIN LINK FENCING. SEE CIVIL DRAWINGS FOR GATE PLACEMENT, LAYOUT, AND DETAILS
- PERSONNEL GATE FREE EGRESS, SEE CIVIL DRAWINGS



ISSUANCE SCHEDULE

NUMBER DATE DESCRIPTION

C

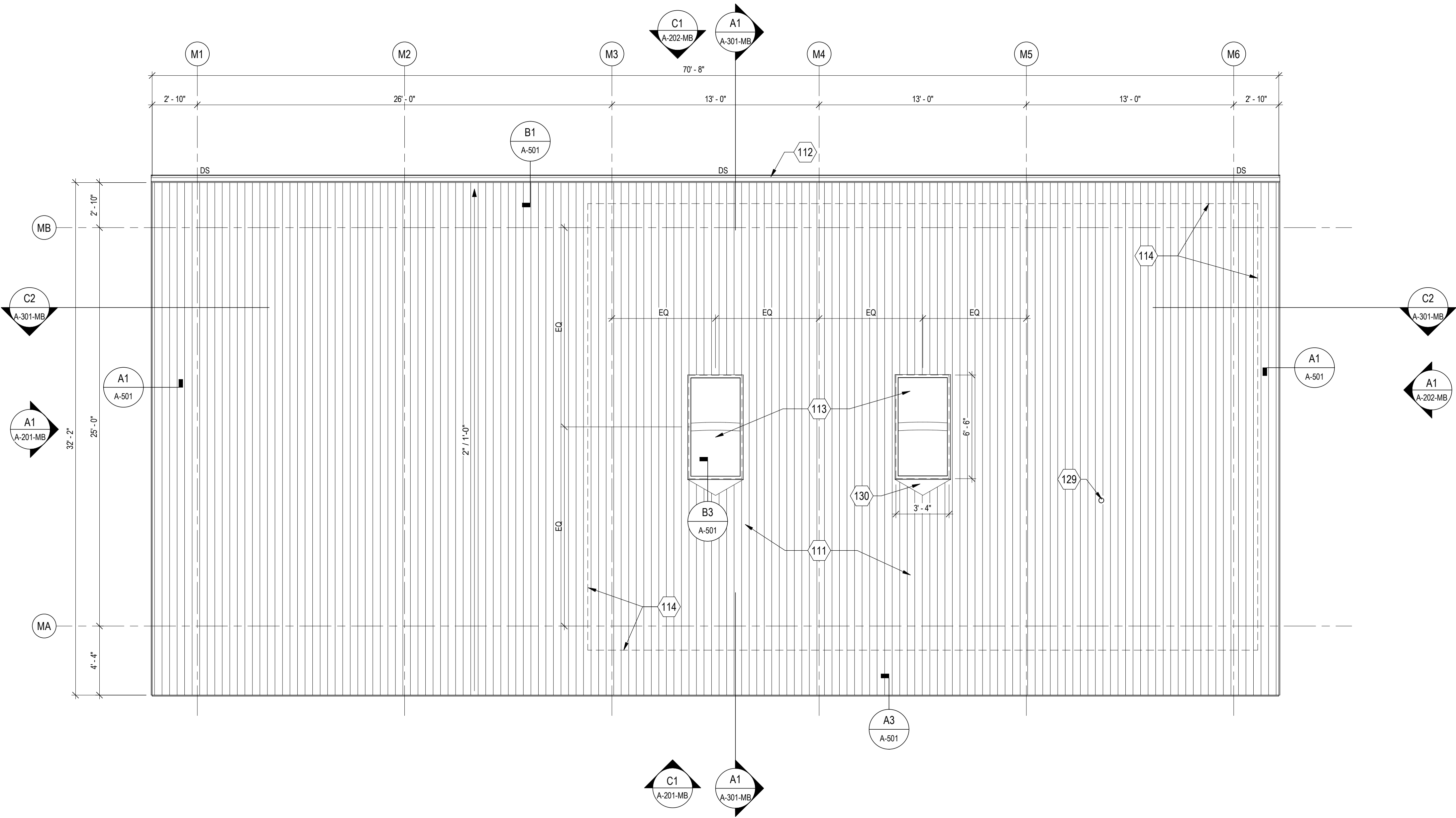
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CITY OF CONCORD
J.E. "JIM" RAMSEUR PARK
PARKS & RECREATION DEPARTMENT
MAINTENANCE BUILDING (MB)
1252 COX MILL ROAD
CONCORD, NC 28027

PROJECT NO: 081197
DATE ISSUED: 06/15/2023
DESIGNED BY: BF
DRAWN BY: DL
CHECKED BY: BB

SHEET NAME:
MB - FLOOR PLAN

SHEET NO:
A-101-MB



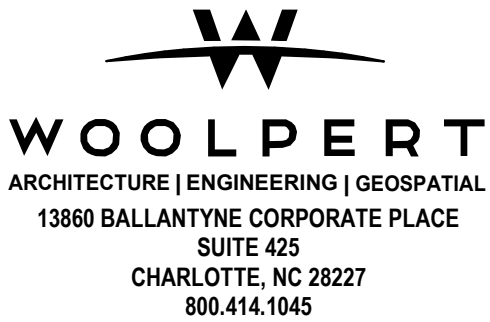
B1 ROOF PLAN
1/4" = 1'-0"

GENERAL NOTES:

1. PROVIDE ICE AND WATER SHIELD 24" MIN. FROM ALL EAVES AND PENETRATIONS.
2. ALL ROOF SURFACES TO BE 2" VERTICAL PER 1'-0" HORIZONTAL U.N.O.
3. PROVIDE ALL CRICKETS, SADDLES, FLASHING AND RELATED COMPONENTS AS REQUIRED TO PREVENT PONDING AND CREATE A COMPLETE ROOFING SYSTEM.
4. PROVIDE CRICKETS AT ROOF CURBS AND/OR EQUIPMENT WHERE REQUIRED TO PROVIDE POSITIVE DRAINAGE TO ROOF DRAINS.
5. ALL ROOFTOP MECHANICAL, ELECTRICAL AND/OR PLUMBING EQUIPMENT SHOWN FOR REFERENCE ONLY. REFER TO MEP DOCUMENTS FOR SPECIFIC DESIGN INFO.
6. REFER TO STRUCTURAL DRAWINGS FOR ROOF PENETRATIONS AND FRAMING REQUIREMENTS IN ROOFS. VERIFY LOCATIONS, SIZES & TYPES REQUIRED BY MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS.
7. REFER TO SHEET A-501 FOR TYPICAL ROOF DETAILS.
8. ALL DOWNSPOUTS TO GRADE FROM ROOF DRAINAGE SYSTEMS TERMINATE AT CONCRETE SPLASH BLOCK AT MAINTENANCE BUILDING.
9. COORDINATE W/ WALL SECTIONS AND STRUCTURAL FOR THE FOLLOWING ELEVATIONS.
 - EAVE HEIGHT
 - DECK BEARING ELEVATION
 - TOP OF MASONRY

SHEET KEYNOTES:

- 111 STANDING SEAM METAL ROOF
- 112 METAL GUTTER AND DOWNSPOUT, TYP.
- 113 SKYLIGHT, TYP. - SEE DETAIL B3/A-501
- 114 OUTLINE OF WALLS BELOW
- 129 VTR, TYP. SEE D3 ON A-501
- 130 CRICKET HIGH SIDE OF SKYLIGHTS PER ROOFING MANUFACTURER RECOMMENDATIONS, TYP.



ISSUANCE SCHEDULE

NUMBER DATE DESCRIPTION

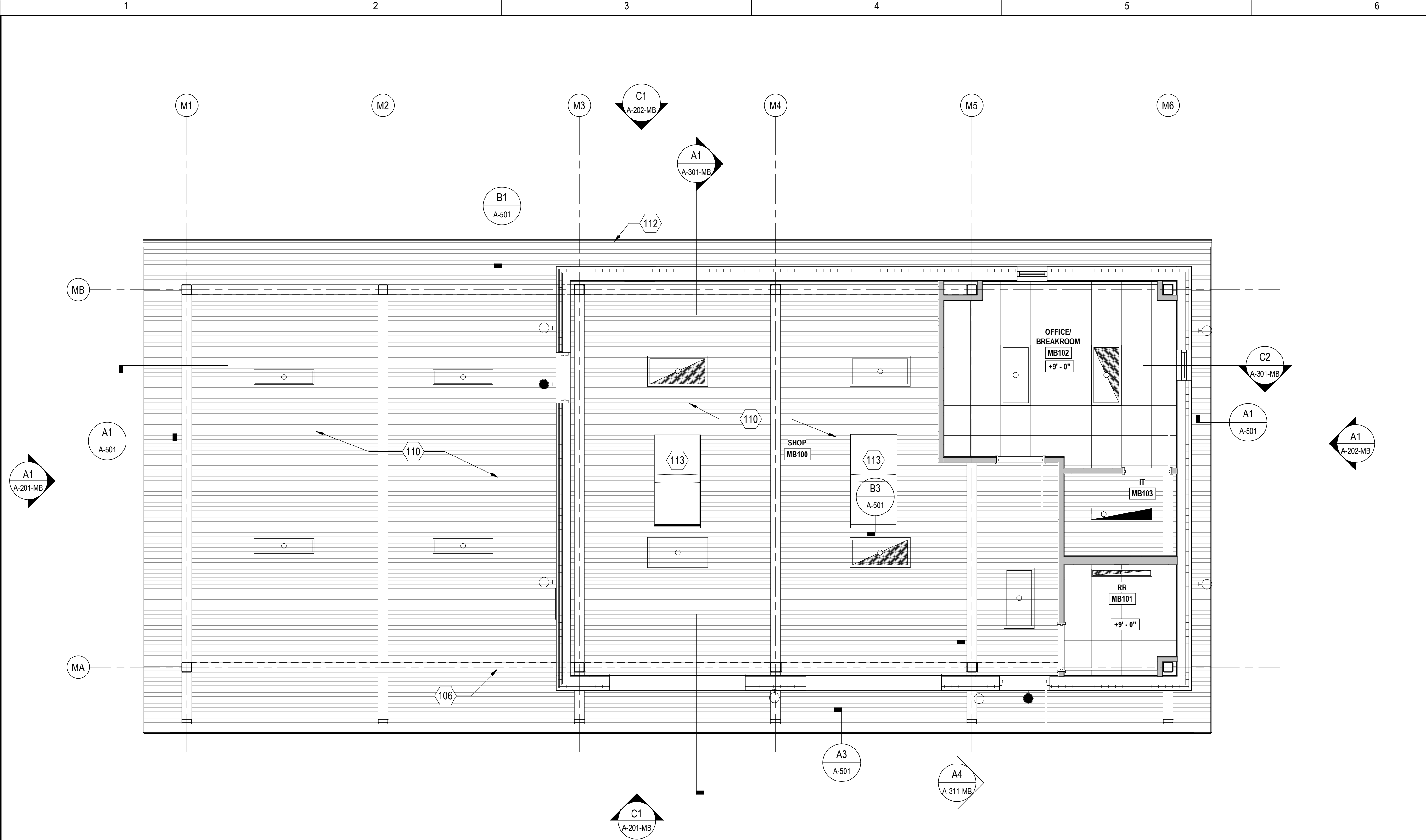
C

CITY OF CONCORD
J.E. "JIM" RAMSEUR PARK
PARKS & RECREATION DEPARTMENT
MAINTENANCE BUILDING (MB)
1252 COX MILL ROAD
CONCORD, NC 28027

PROJECT NO: 081197
DATE ISSUED: 06/15/2023
DESIGNED BY: BF
DRAWN BY: DL
CHECKED BY: BB

SHEET NAME:
MB - ROOF PLAN

SHEET NO:
A-102-MB



B1 REFLECTED CEILING PLAN
1/4" = 1'-0"

GENERAL NOTES:

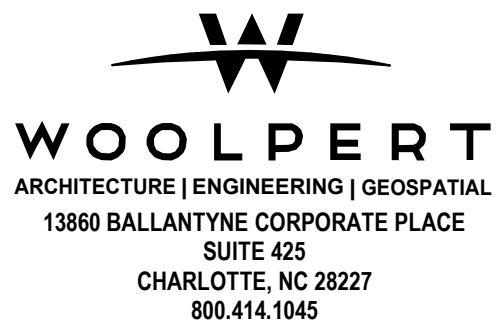
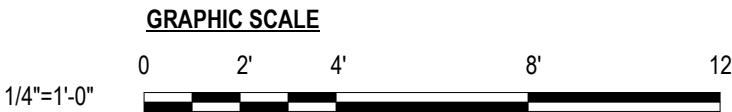
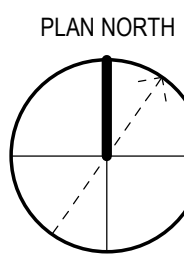
1. PROVIDE ICE AND WATER SHIELD 24" MIN. FROM ALL EAVES AND PENETRATIONS.
2. ALL ROOF SURFACES TO BE 2" VERTICAL PER 1'-0" HORIZONTAL, U.N.O.
3. PROVIDE ALL CRICKETS, SADDLES, FLASHING AND RELATED COMPONENTS AS REQUIRED TO PREVENT PONDING AND CREATE A COMPLETE ROOFING SYSTEM.
4. PROVIDE CRICKETS AT ROOF CURBS AND/OR EQUIPMENT WHERE REQUIRED TO PROVIDE POSITIVE DRAINAGE TO ROOF DRAINS.
5. ALL ROOFTOP MECHANICAL, ELECTRICAL AND/OR PLUMBING EQUIPMENT SHOWN FOR REFERENCE ONLY. REFER TO MEP DOCUMENTS FOR SPECIFIC DESIGN INFO.
6. REFER TO STRUCTURAL DRAWINGS FOR ROOF PENETRATIONS AND FRAMING REQUIREMENTS IN ROOFS. VERIFY LOCATIONS, SIZES & TYPES REQUIRED BY MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS.
7. REFER TO SHEET A-501 FOR TYPICAL ROOF DETAILS.
8. ALL DOWNSPOUTS TO GRADE FROM ROOF DRAINAGE SYSTEMS TERMINATE AT CONCRETE SPLASH BLOCK AT MAINTENANCE BUILDING.
9. COORDINATE W/ WALL SECTIONS AND STRUCTURAL FOR THE FOLLOWING ELEVATIONS:
 - EAVE HEIGHT
 - DECK BEARING ELEVATION
 - TOP OF MASONRY

SHEET KEYNOTES:

- 106 STEEL FRAMING, SEE STRUCTURAL
110 EXPOSED CLT WOOD DECK
112 METAL GUTTER AND DOWNSPOUT, TYP.
113 SKYLIGHT, TYP. - SEE DETAIL B3/A-501

LEGEND:

- EXPOSED CLT WOOD DECK
2' x 2' SUSPENDED ACOUSTIC CEILING TILES
LIGHT FIXTURE, REFER TO ELECTRICAL DRAWINGS
EMERGENCY / NIGHT LIGHT FIXTURES, REFER TO ELECTRICAL DRAWINGS
HVAC SUPPLY, RETURN, EXHAUST DIFFUSER, REFER TO MECHANICAL DRAWINGS
SMOKE DETECTOR
SPEAKER
CEILING HEIGHT



ISSUANCE SCHEDULE	
NUMBER	DATE DESCRIPTION

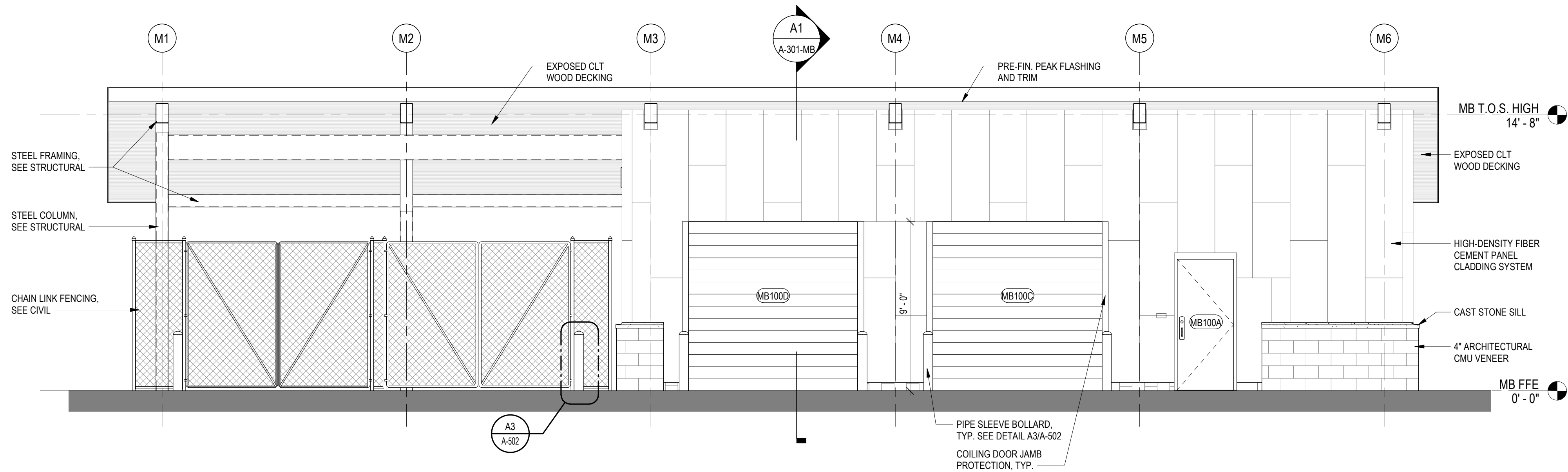
CITY OF CONCORD
J.E. "JIM" RAMSEUR PARK
PARKS & RECREATION DEPARTMENT
MAINTENANCE BUILDING (MB)
1252 COX MILL ROAD
CONCORD, NC 28027

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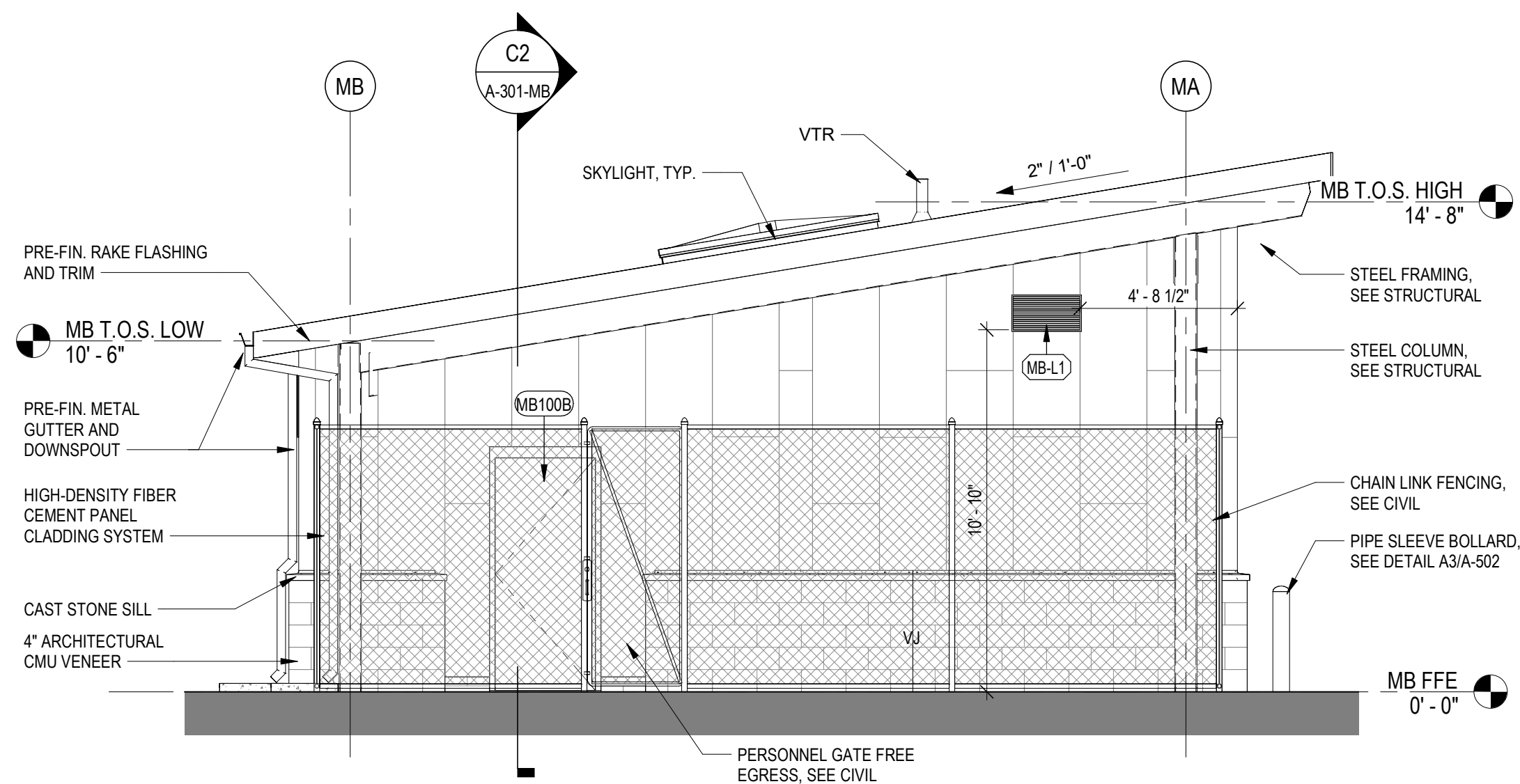
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MB - REFLECTED CEILING PLAN

SHEET NO:

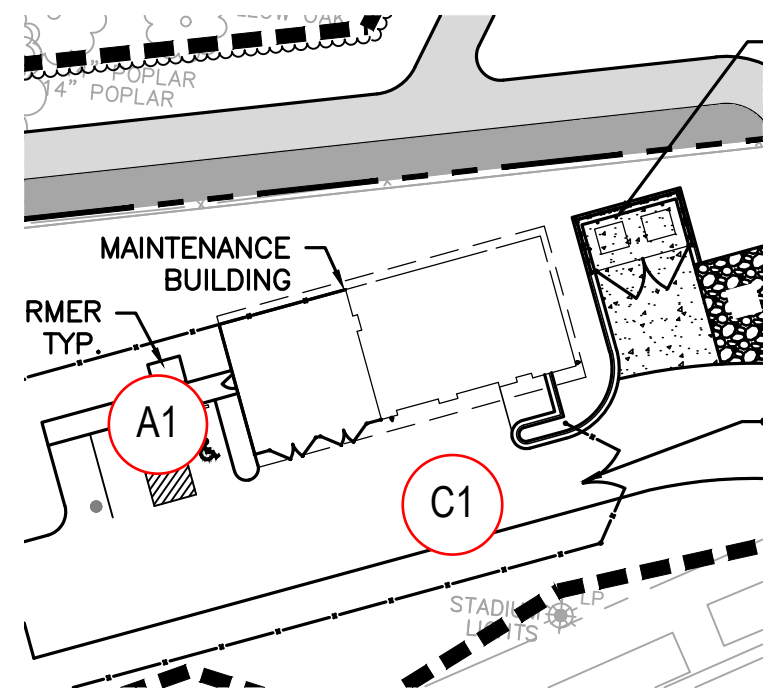
A-111-MB



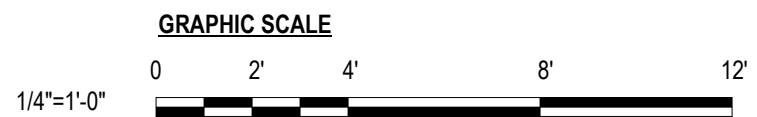
C1 BUILDING ELEVATION - SOUTH
1/4" = 1'-0"



A1 BUILDING ELEVATION - WEST
1/4" = 1'-0"



KEY PLAN



ISSUANCE SCHEDULE

NUMBER DATE DESCRIPTION

CITY OF CONCORD

J.E. "JIM" RAMSEUR PARK
PARKS & RECREATION DEPARTMENT
MAINTENANCE BUILDING (MB)

1252 COX MILL ROAD
CONCORD, NC 28027

PROJECT NO: 081197
DATE ISSUED: 06/15/2023
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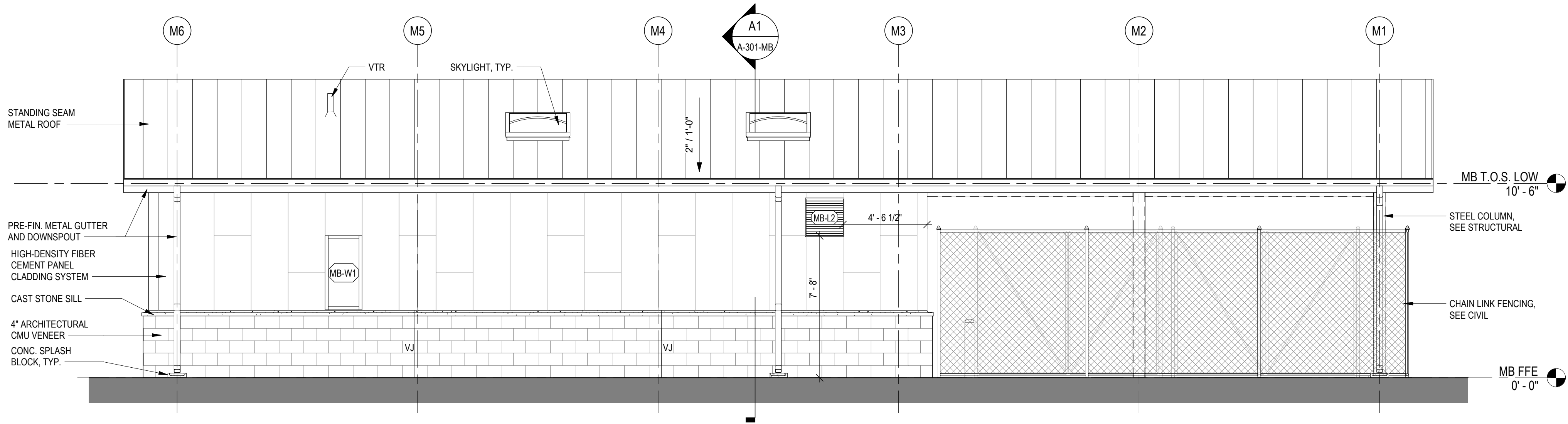
SHEET NAME:
MB - BUILDING
ELEVATIONS

SHEET NO:

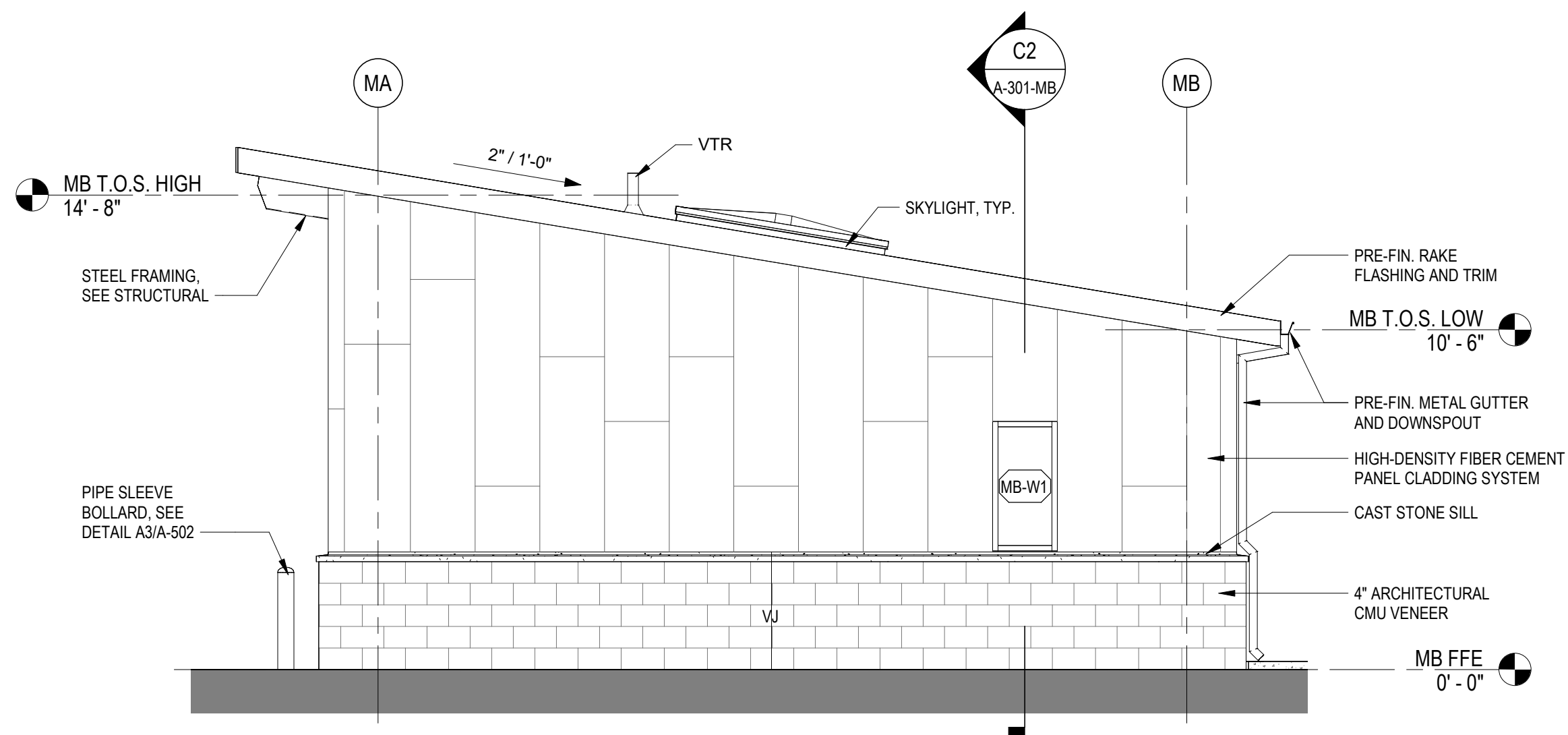
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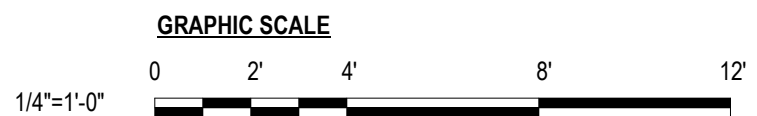
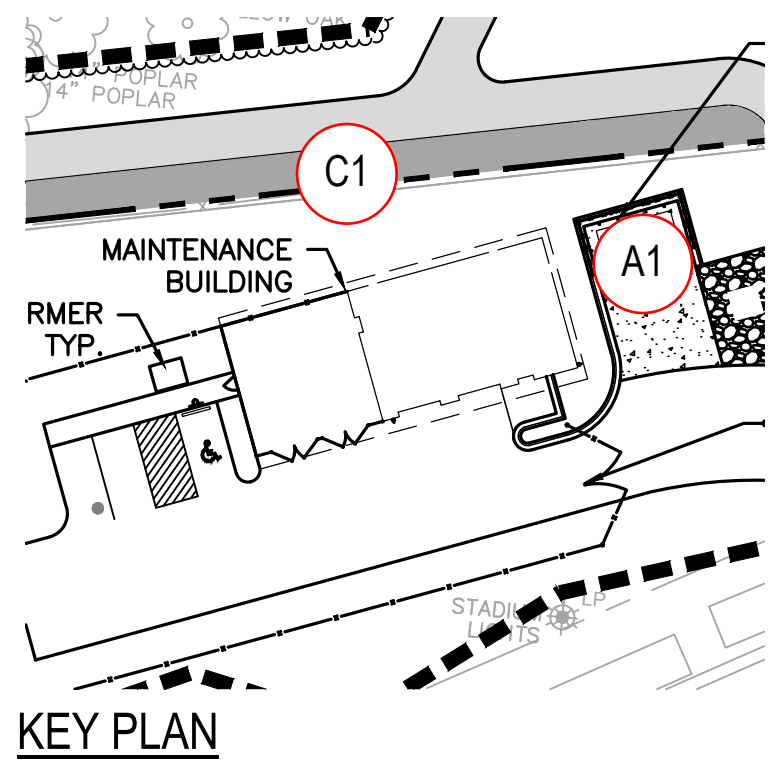
Autodesk Docs//JE Ramseur Park//W_081197_JE Ramseur Park - Maintenance Bldg_ARCH_R22.rvt



C1 BUILDING ELEVATION - NORTH
1/4" = 1'-0"



A1 BUILDING ELEVATION - EAST
1/4" = 1'-0"



ISSUANCE SCHEDULE	
NUMBER	DATE DESCRIPTION

CITY OF CONCORD
J.E. "JIM" RAMSEUR PARK
PARKS & RECREATION DEPARTMENT
MAINTENANCE BUILDING (MB)

PROJECT NO: 081197
DATE ISSUED: 06/15/2023
DESIGNED BY: BF
DRAWN BY: DL
CHECKED BY: BB

SHEET NAME:
MB - BUILDING
ELEVATIONS

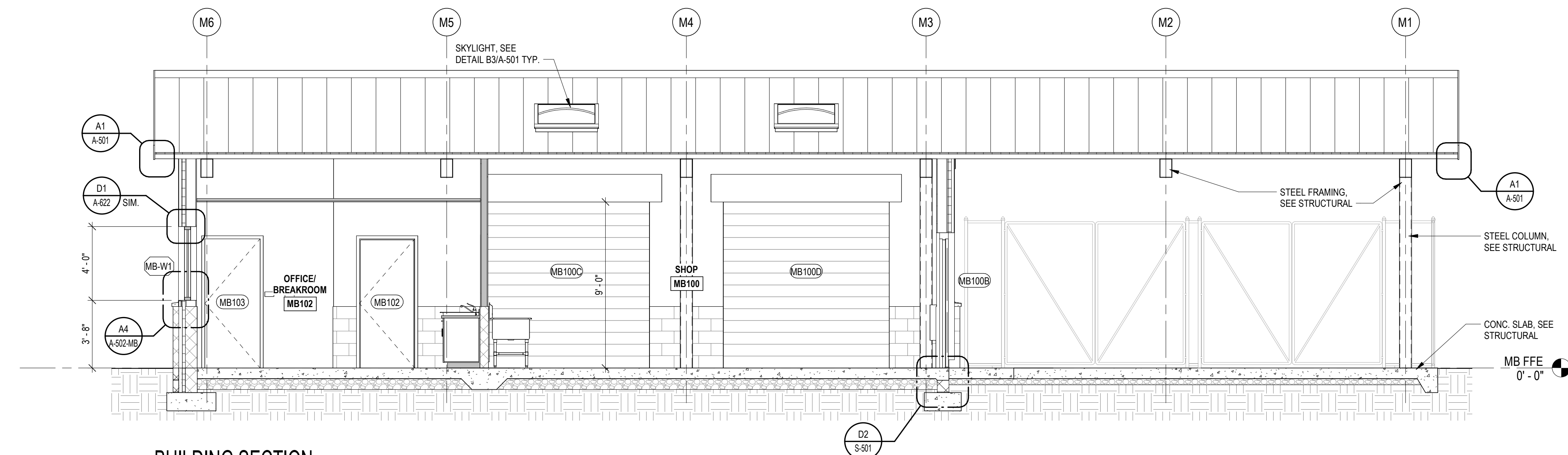
SHEET NO:

A-202-MB

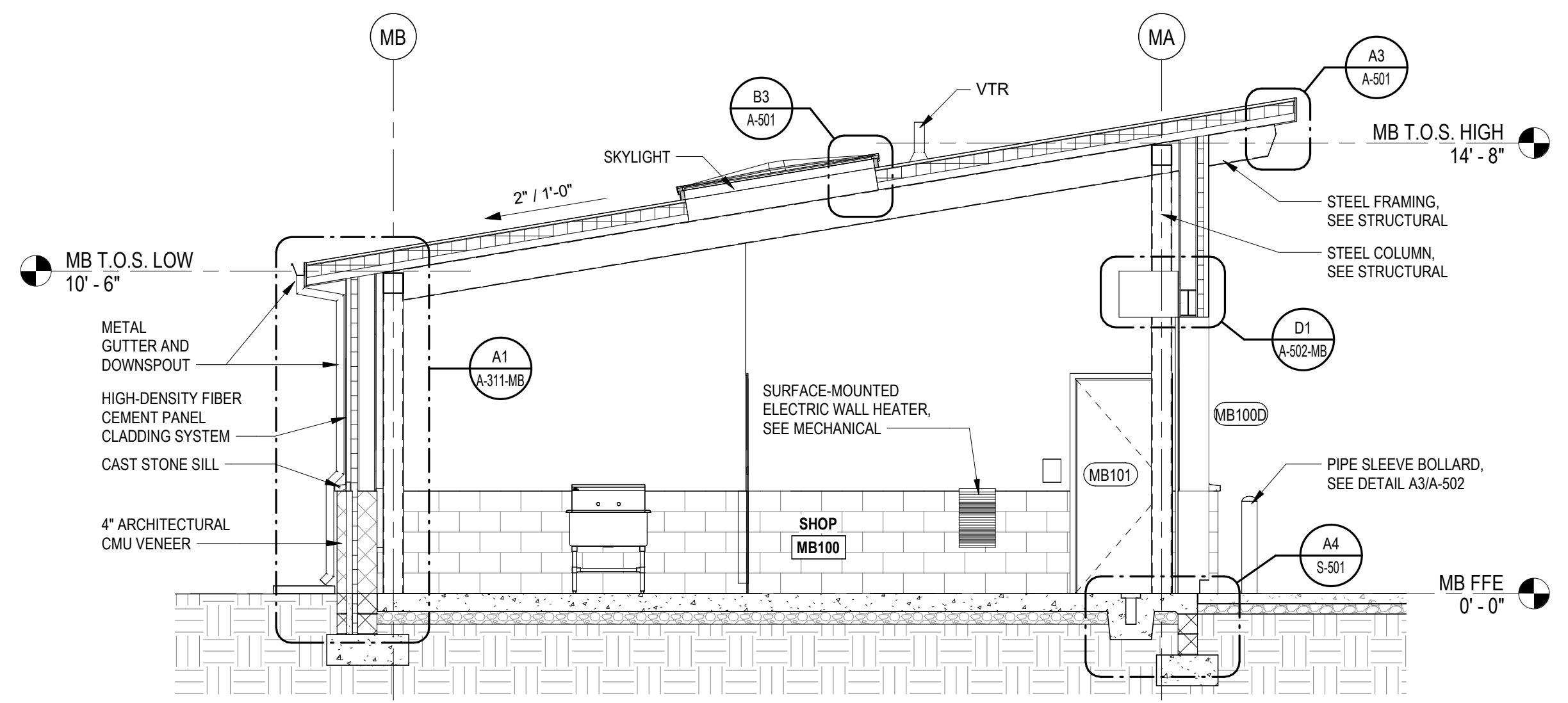
ISSUANCE SCHEDULE	
NUMBER	DATE DESCRIPTION

PROJECT NO:	081197
DATE ISSUED:	06/15/2023
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DESIGNED BY:	BF
DRAWN BY:	DL
CHECKED BY:	BB

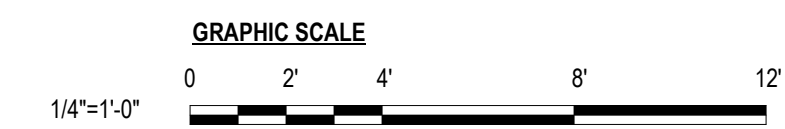
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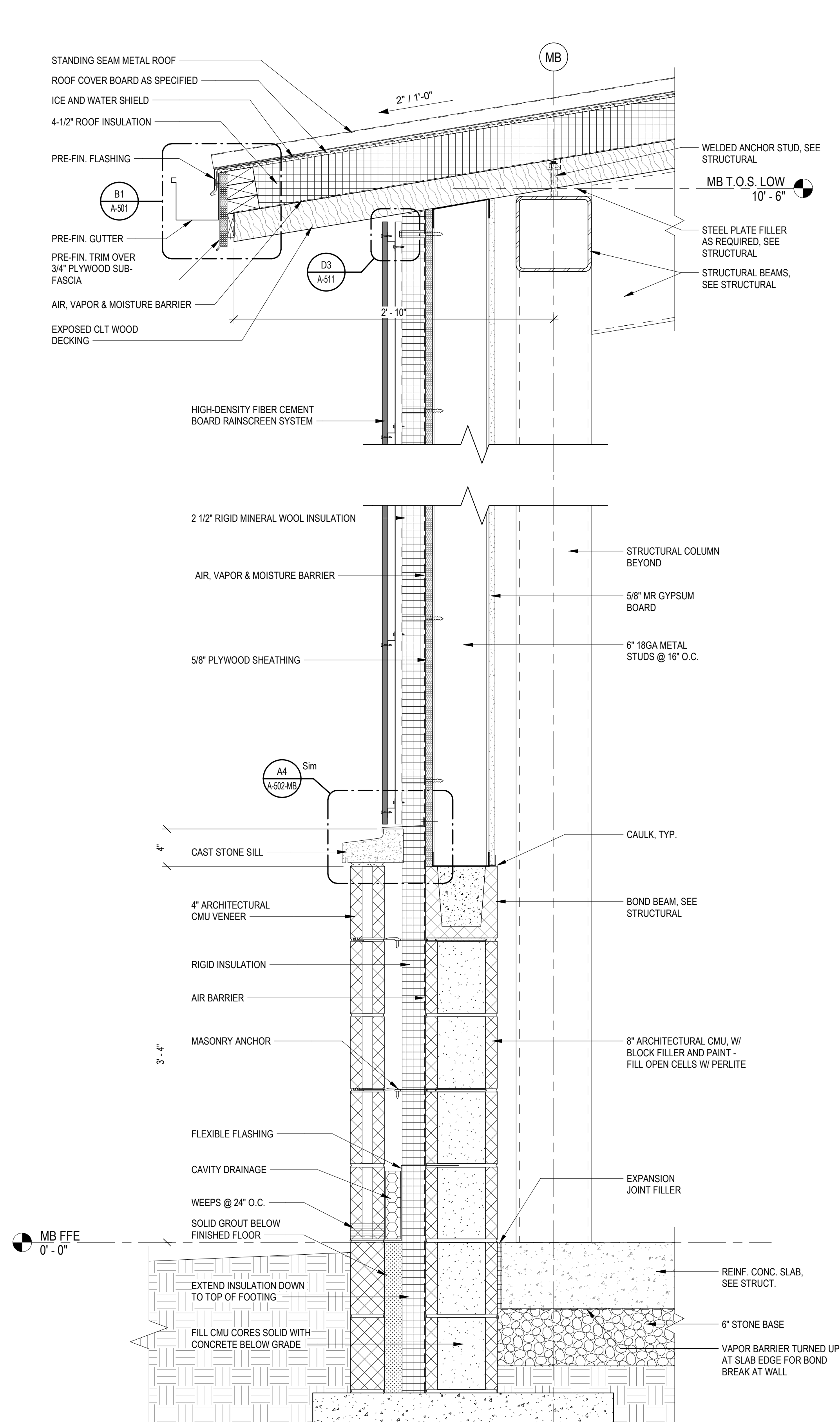


C2 BUILDING SECTION
1/4" = 1'-0"

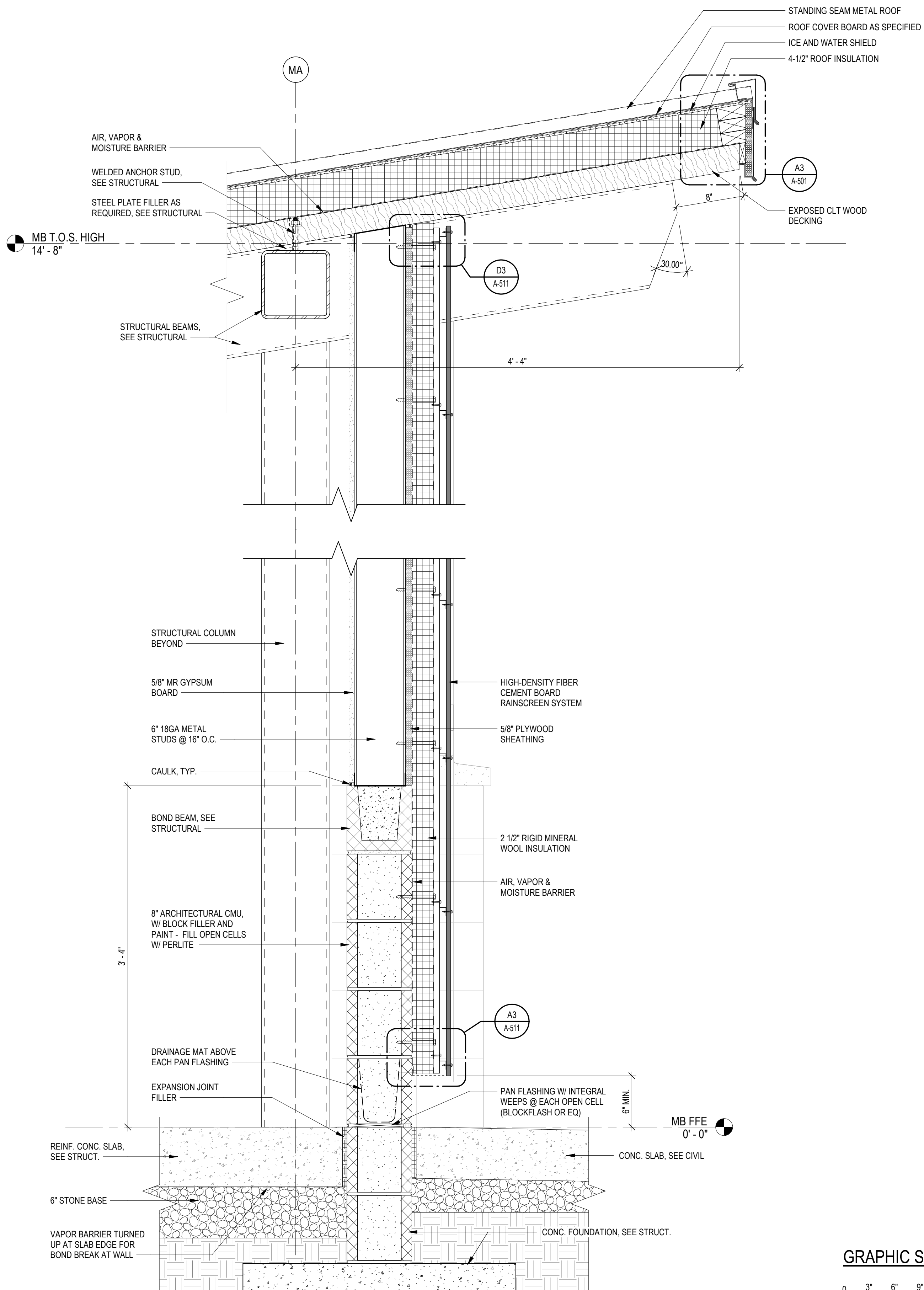


A1 BUILDING SECTION
1/4" = 1'-0"

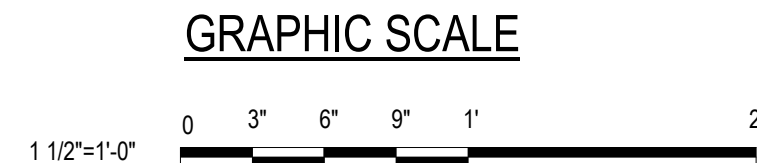


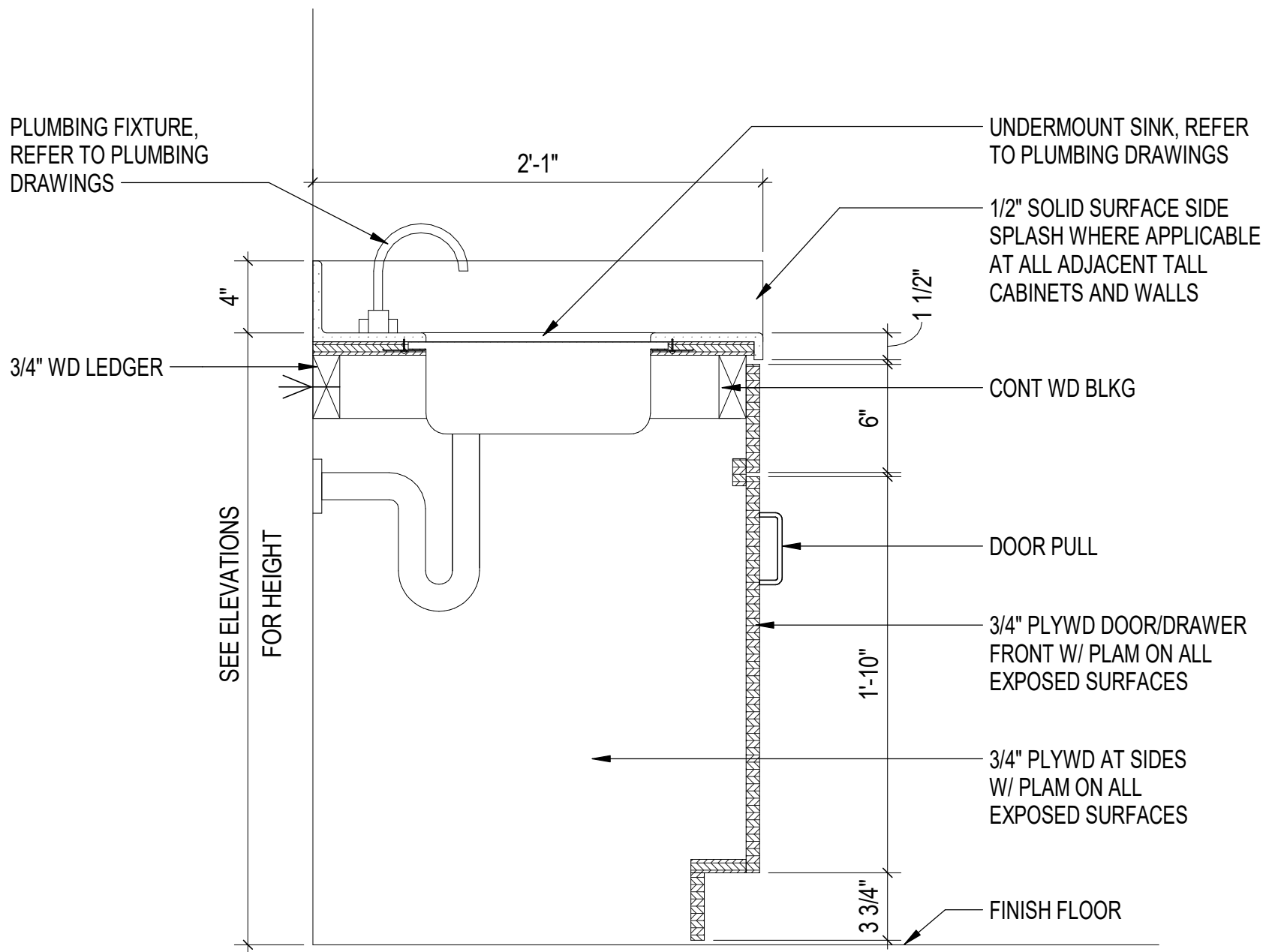


A1 WALL SECTION
1 1/2" = 1'-0"

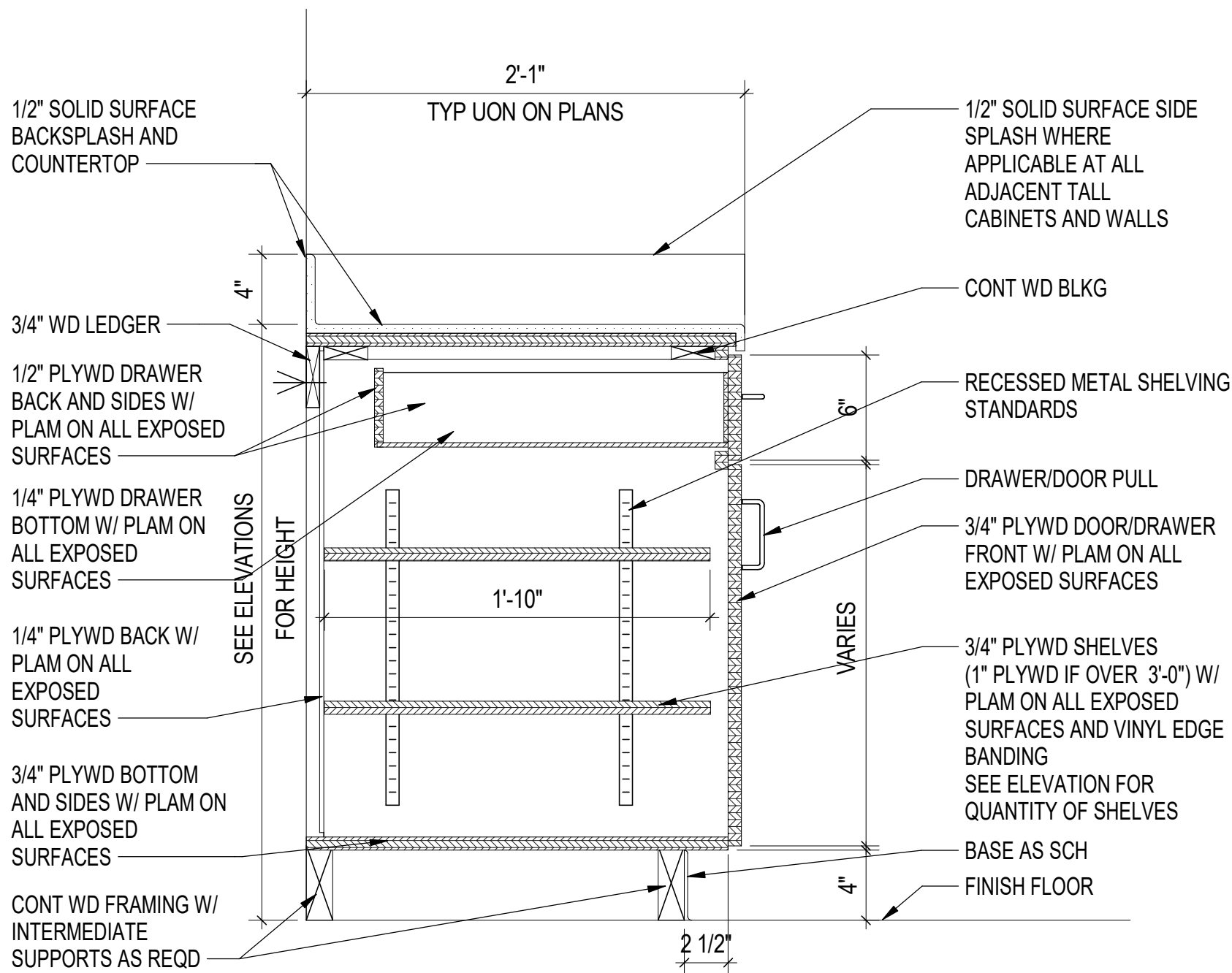


A4 WALL SECTION
1 1/2" = 1'-0"

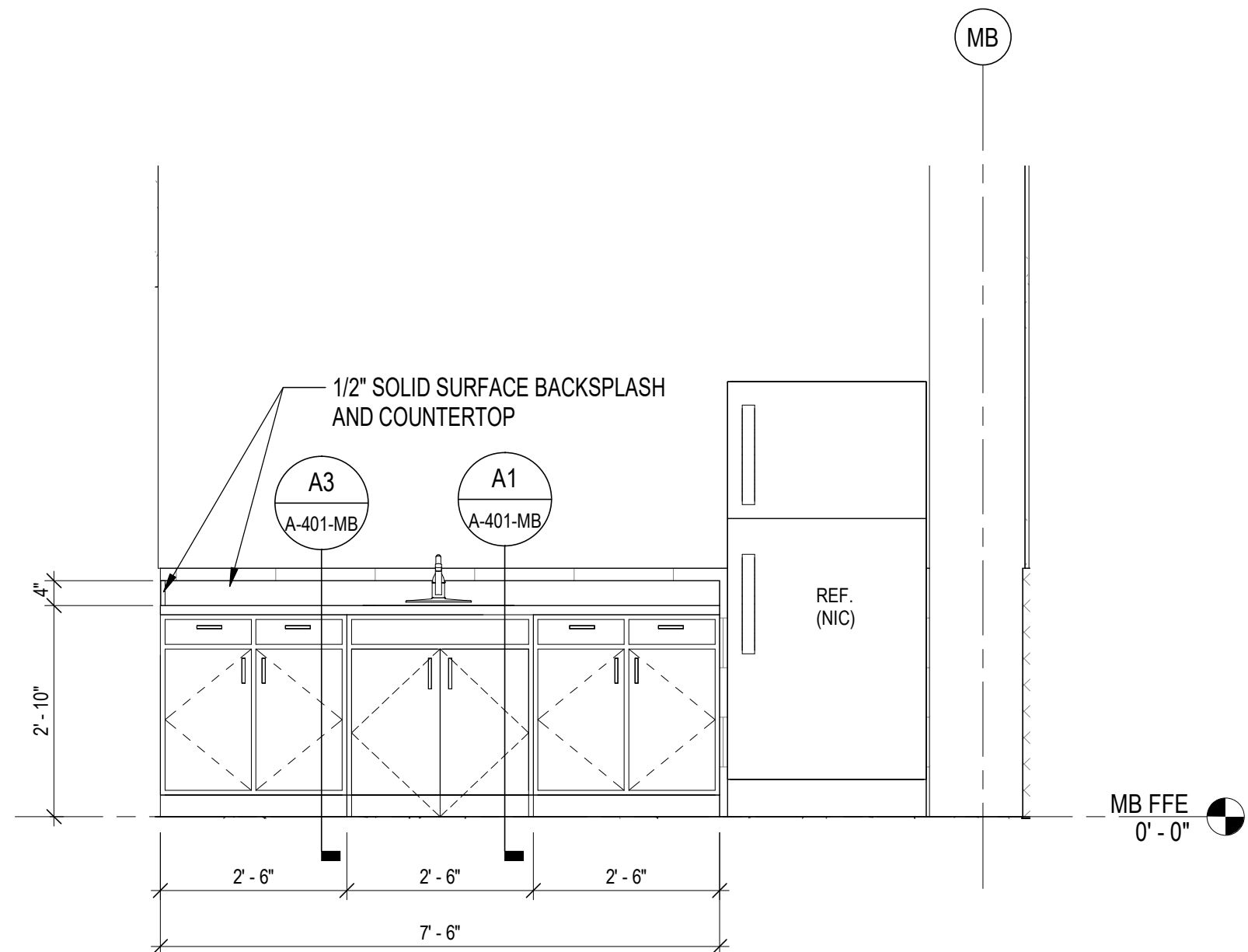




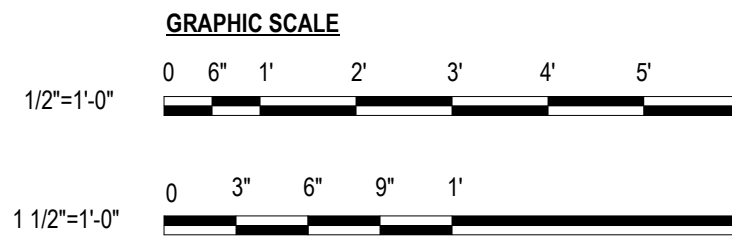
A1 CASEWORK DETAIL
1 1/2" = 1'-0"



A3 CASEWORK DETAIL
1 1/2" = 1'-0"



A6 INTERIOR ELEVATION
1/2" = 1'-0"



ISSUANCE SCHEDULE	
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CITY OF CONCORD
J.E. "JIM" RAMSEUR PARK
PARKS & RECREATION DEPARTMENT
MAINTENANCE BUILDING (MB)

1252 COX MILL ROAD
CONCORD, NC 28027

PROJECT NO: 081197
DATE ISSUED: 06/15/2023
DESIGNED BY: BF
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CHECKED BY: BB

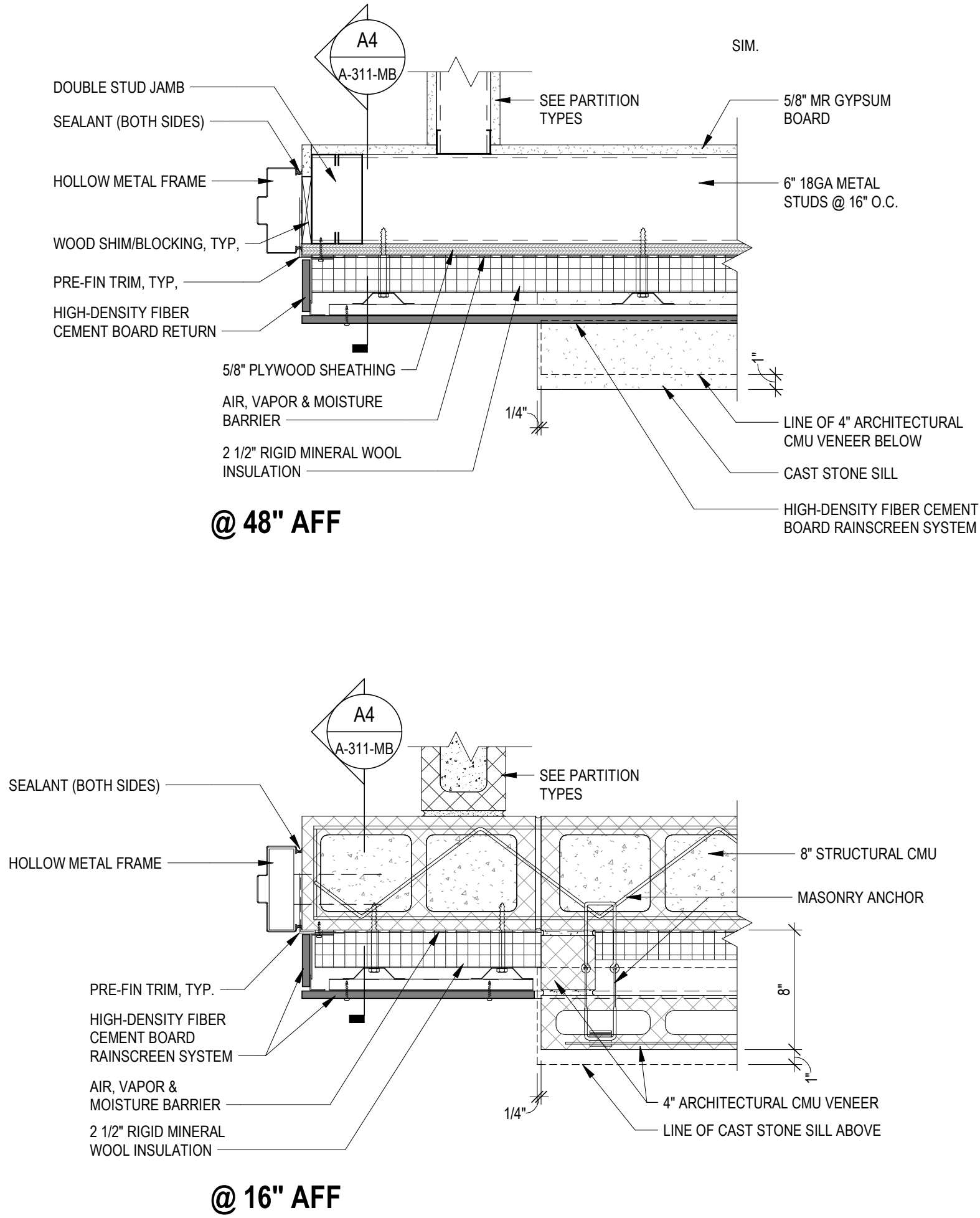
SHEET NAME:
INTERIOR ELEVATION AND CASEWORK DETAILS

SHEET NO:
A-401-MB

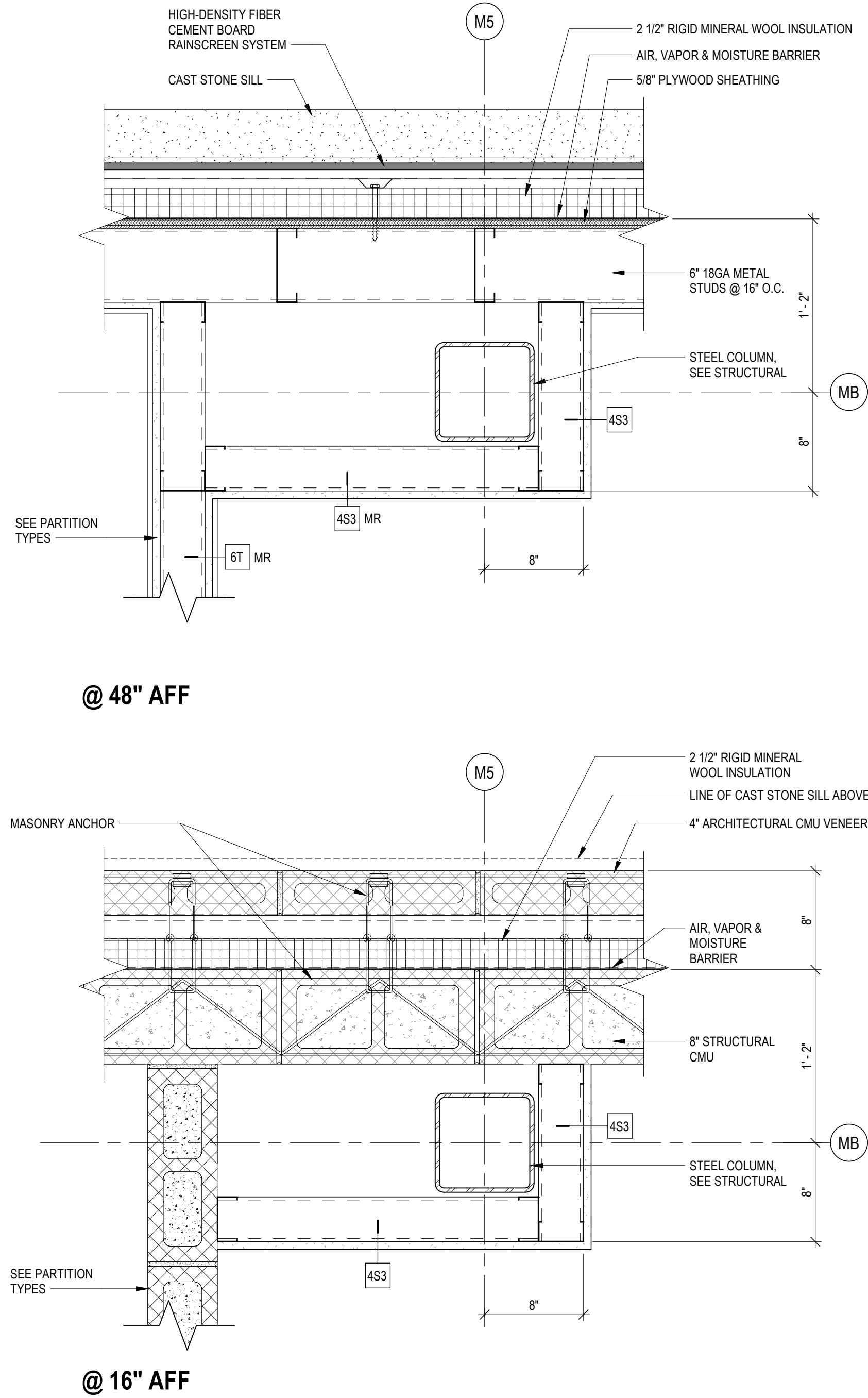
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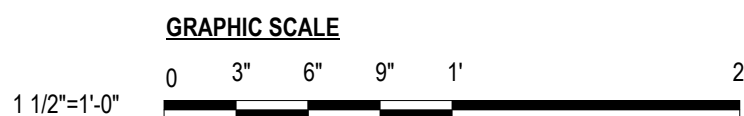
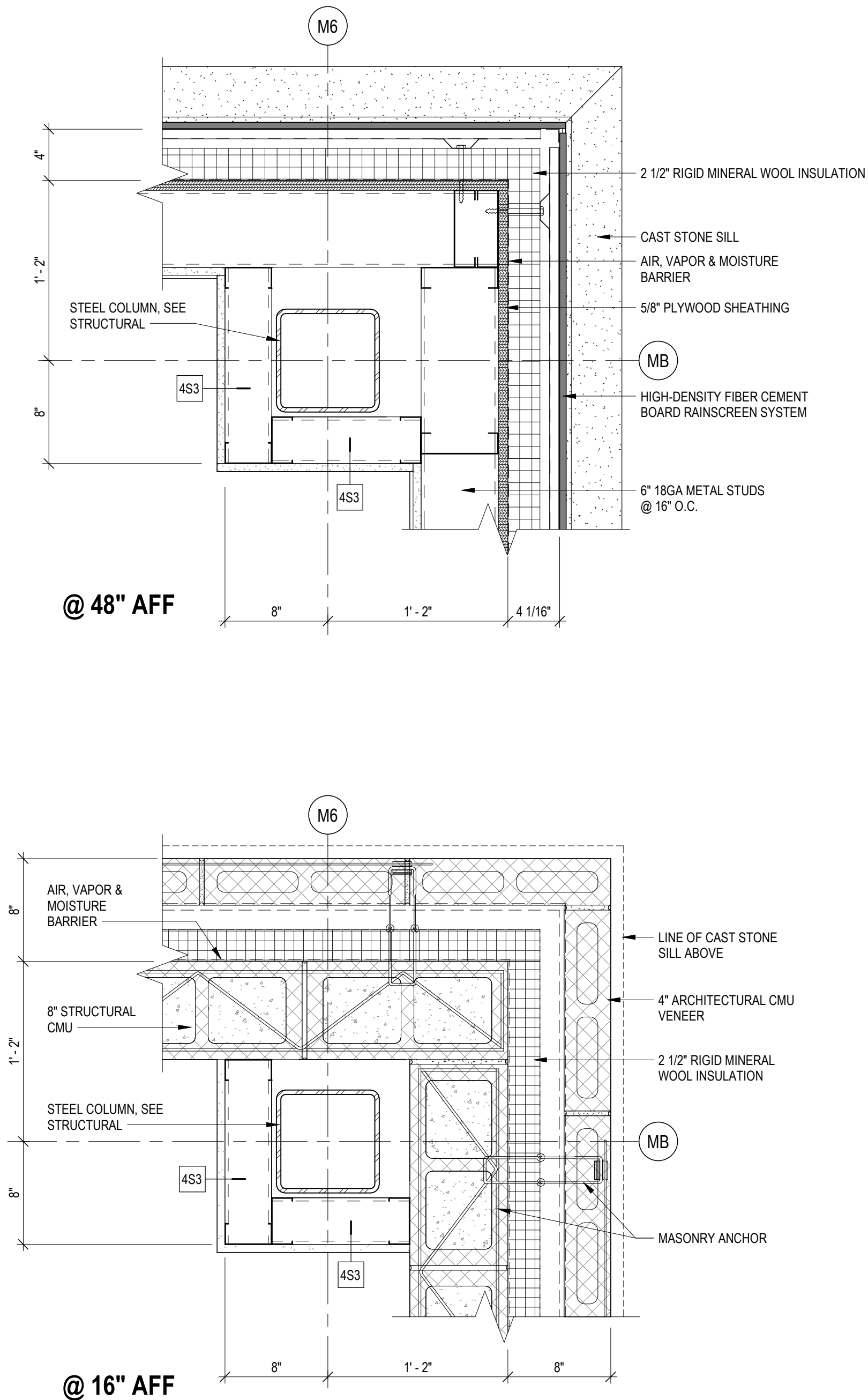
A1 PLAN DETAIL
1 1/2" = 1'-0"



A3 PLAN DETAIL
1 1/2" = 1'-0"



A6 PLAN DETAIL
1 1/2" = 1'-0"



WOOLPERT
ARCHITECTURE | ENGINEERING | GEOSPATIAL
13860 BALLANTYNE CORPORATE PLACE
SUITE 425
CHARLOTTE, NC 28227
800.414.1045



ISSUANCE SCHEDULE

NUMBER DATE DESCRIPTION

CITY OF CONCORD
J.E. "JM" RAMSEUR PARK
PARKS & RECREATION DEPARTMENT
MAINTENANCE BUILDING (MB)
1252 COX MILL ROAD
CONCORD, NC 28027

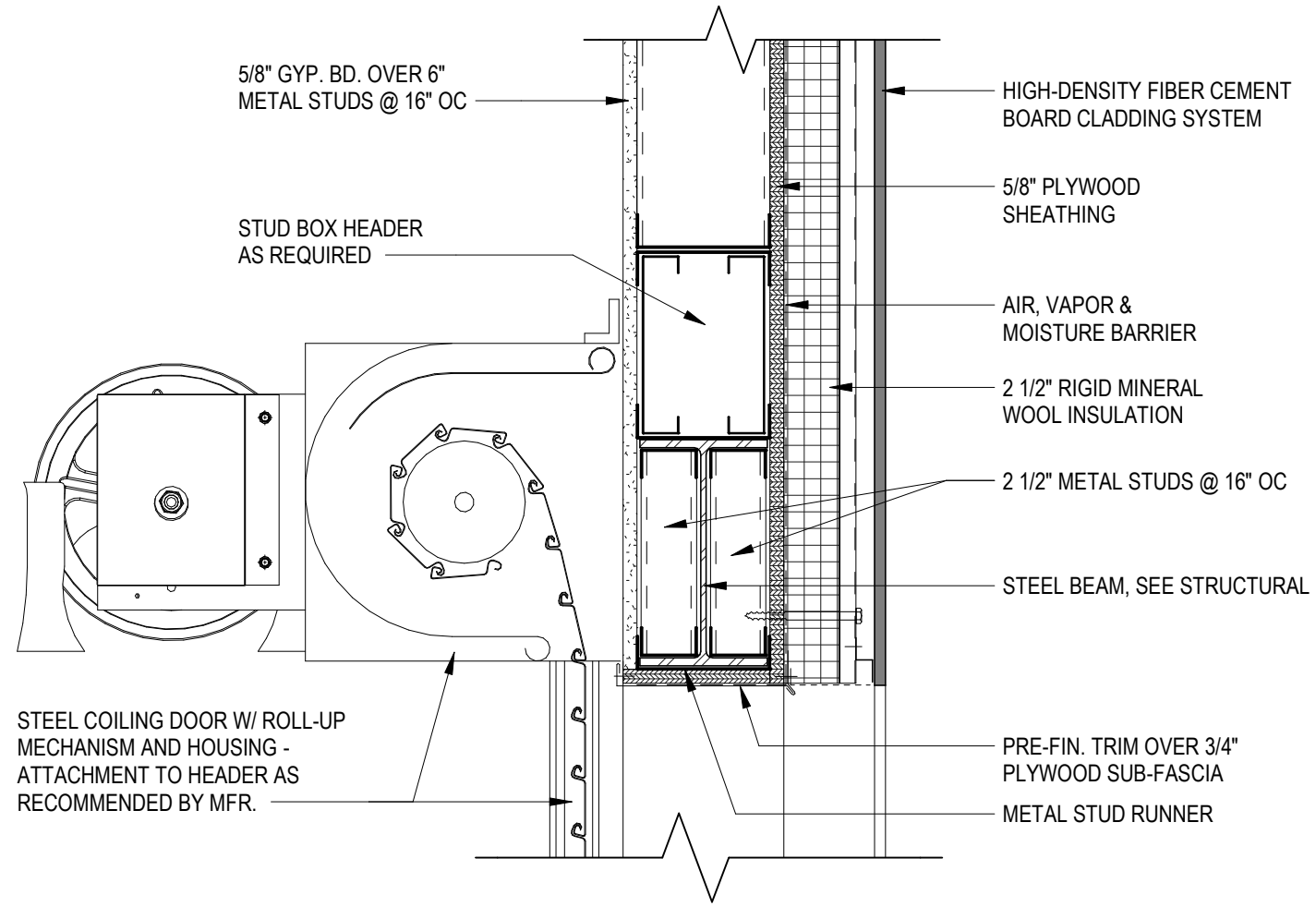
PROJECT NO: 081197
DATE ISSUED: 06/15/2023
DESIGNED BY: BF
DRAWN BY: DL
CHECKED BY: BB

SHEET NAME:
PLAN DETAILS

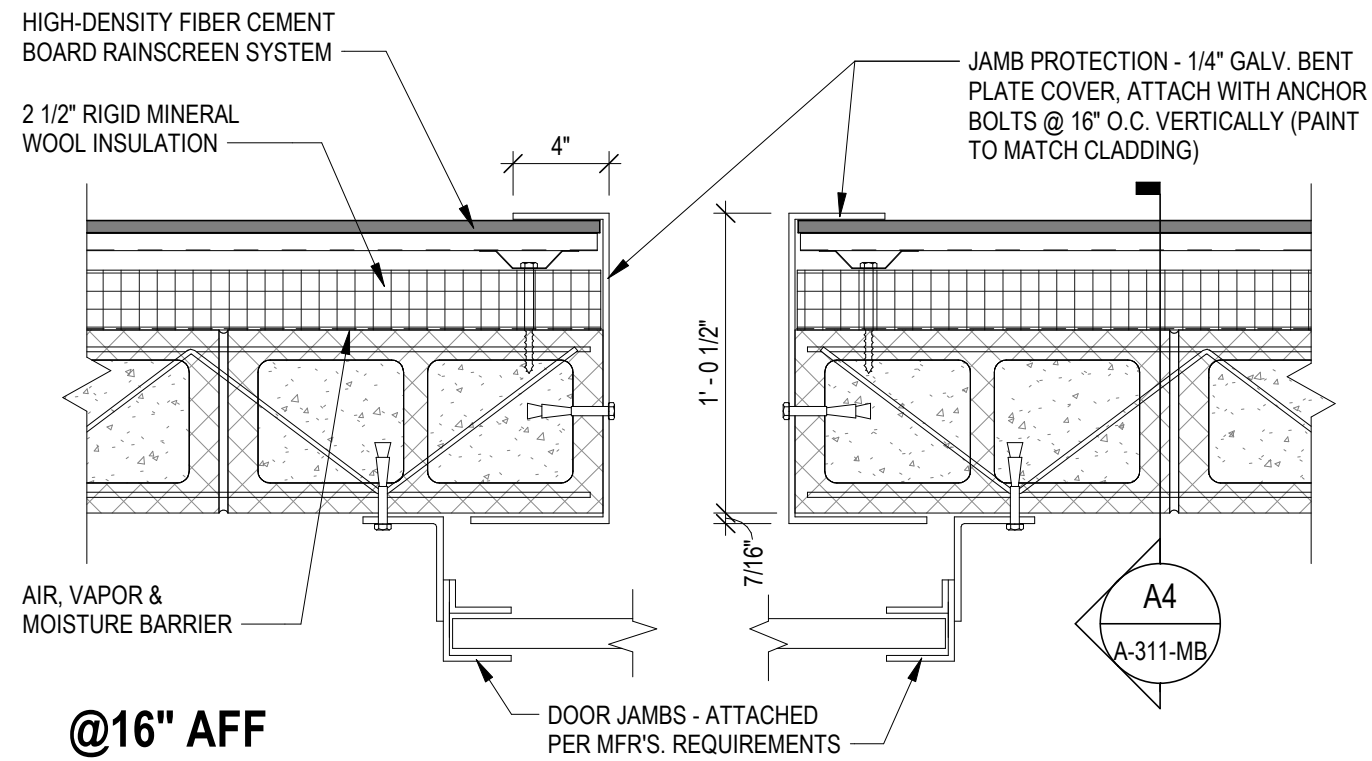
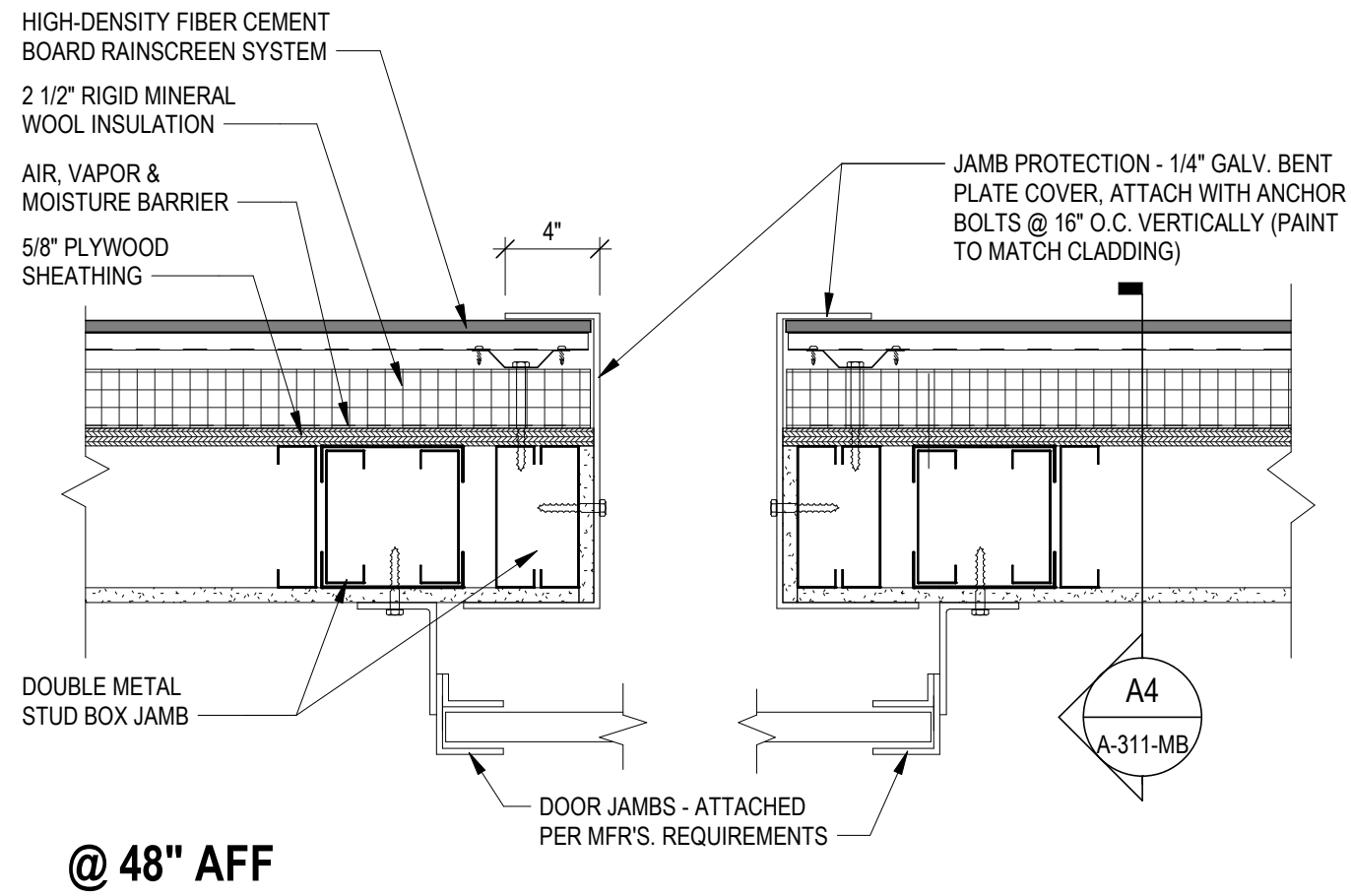
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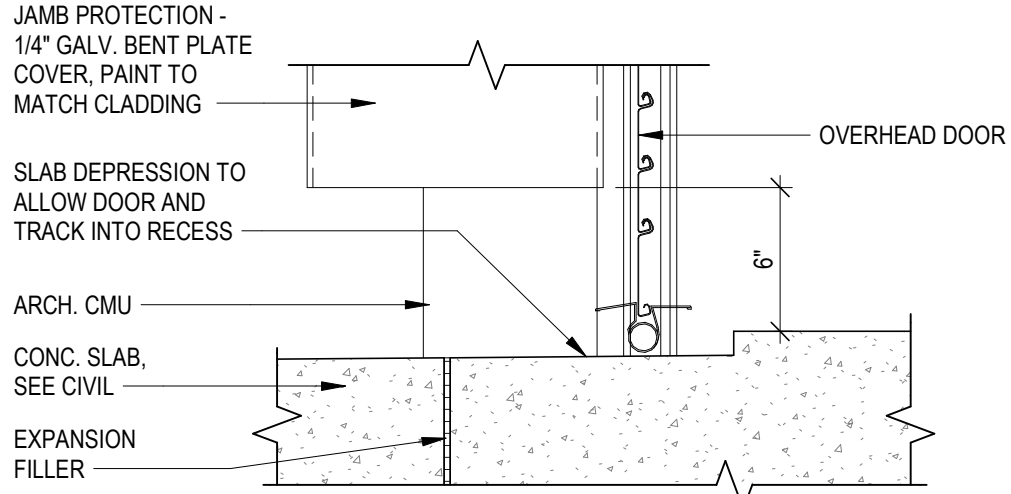
01/14/25 -ISSUED FOR BIDDING



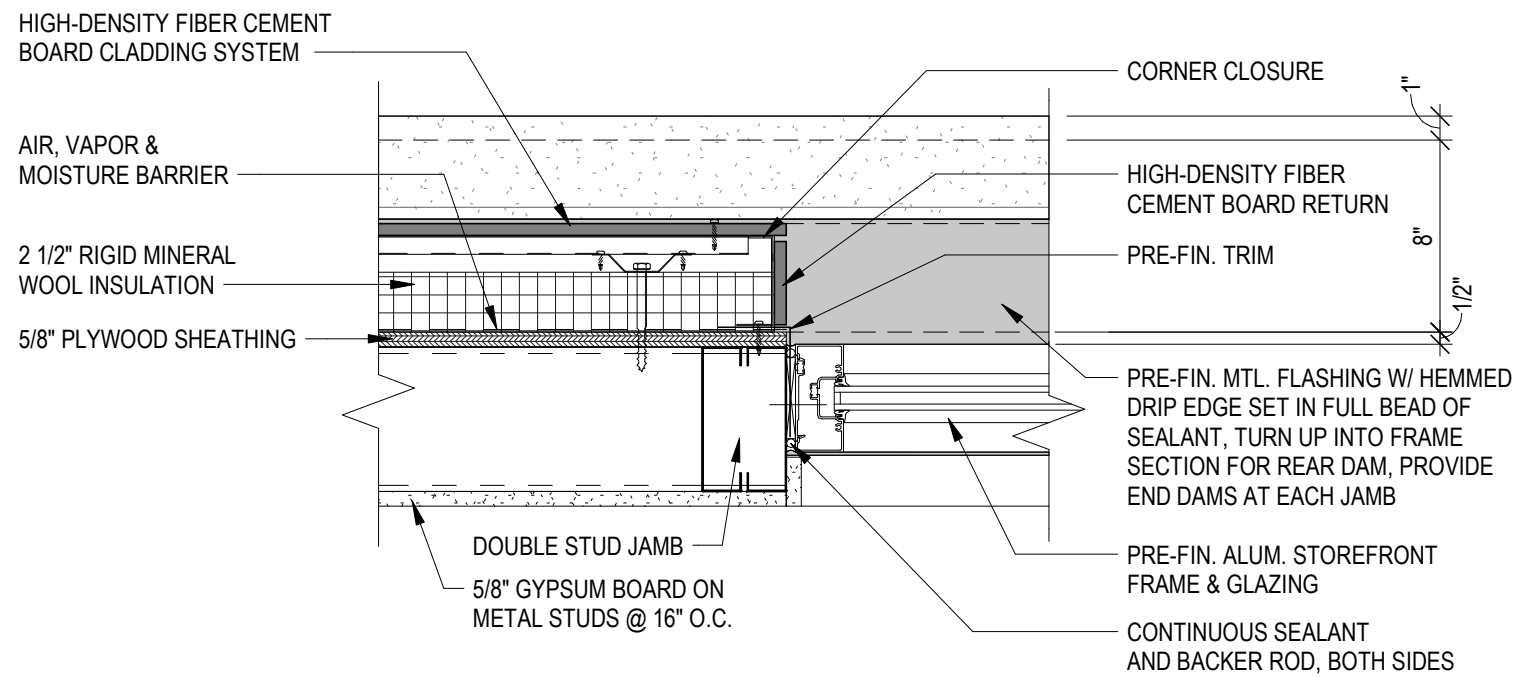
D1 HEAD DETAIL
1 1/2" = 1'-0"



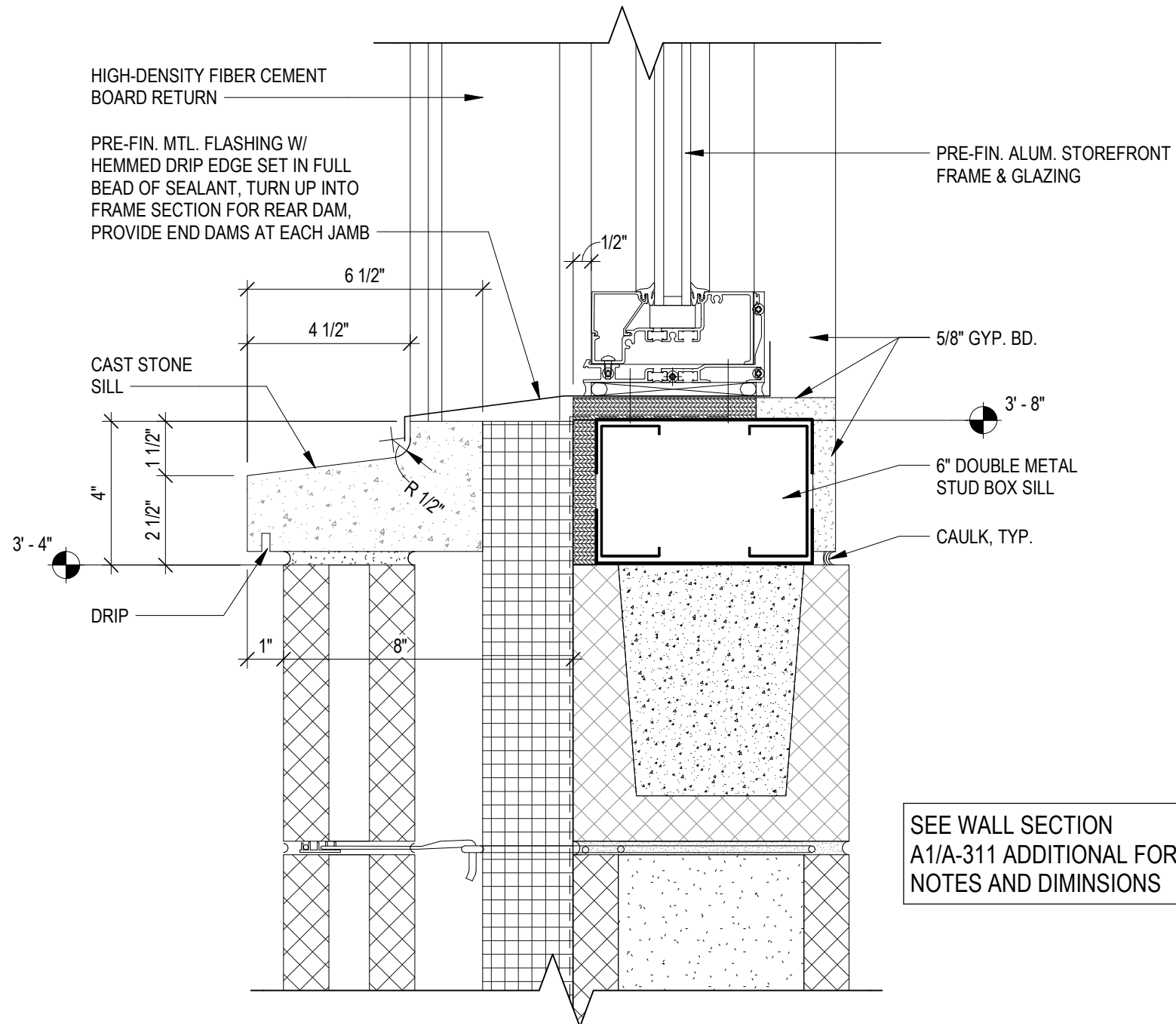
A1 JAMB DETAIL
1 1/2" = 1'-0"



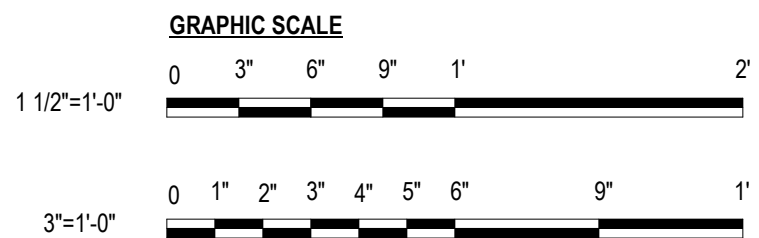
E4 SILL DETAIL
1 1/2" = 1'-0"

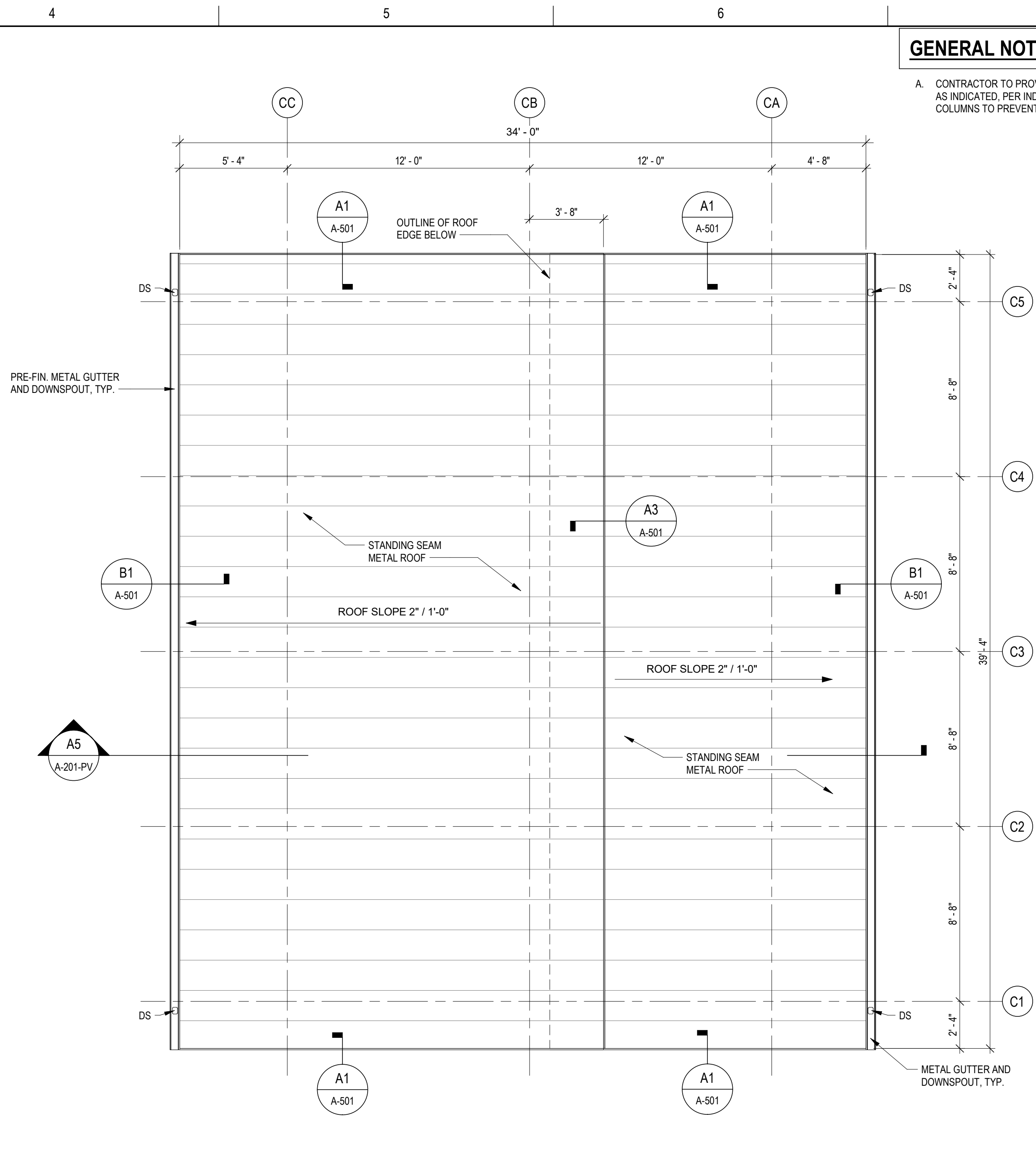


C4 JAMB DETAIL
1 1/2" = 1'-0"

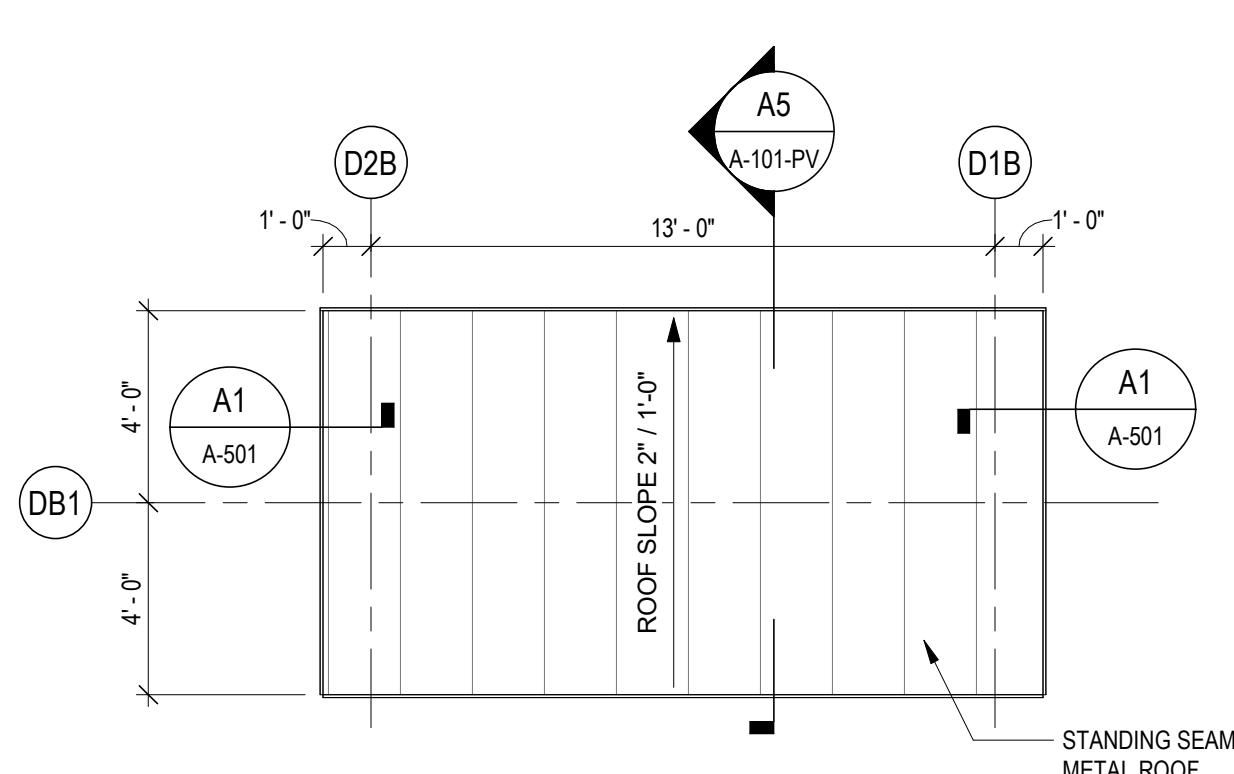


A4 SILL DETAIL
3" = 1'-0"





B4 MP - ROOF PLAN
1/4" = 1'-0"



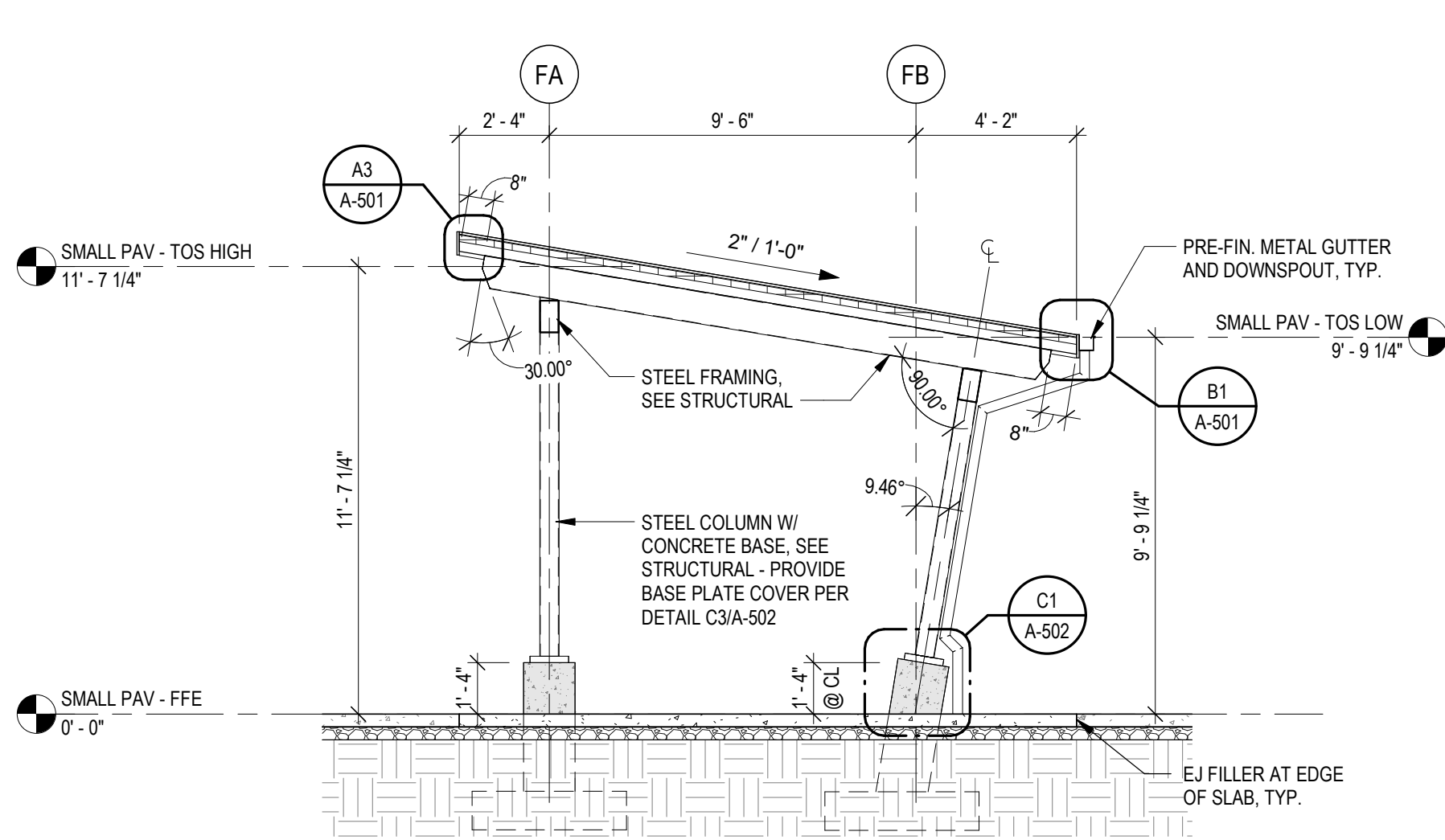
A3 DP SHADE STRUCT. - ROOF PLAN
1/4" = 1'-0"



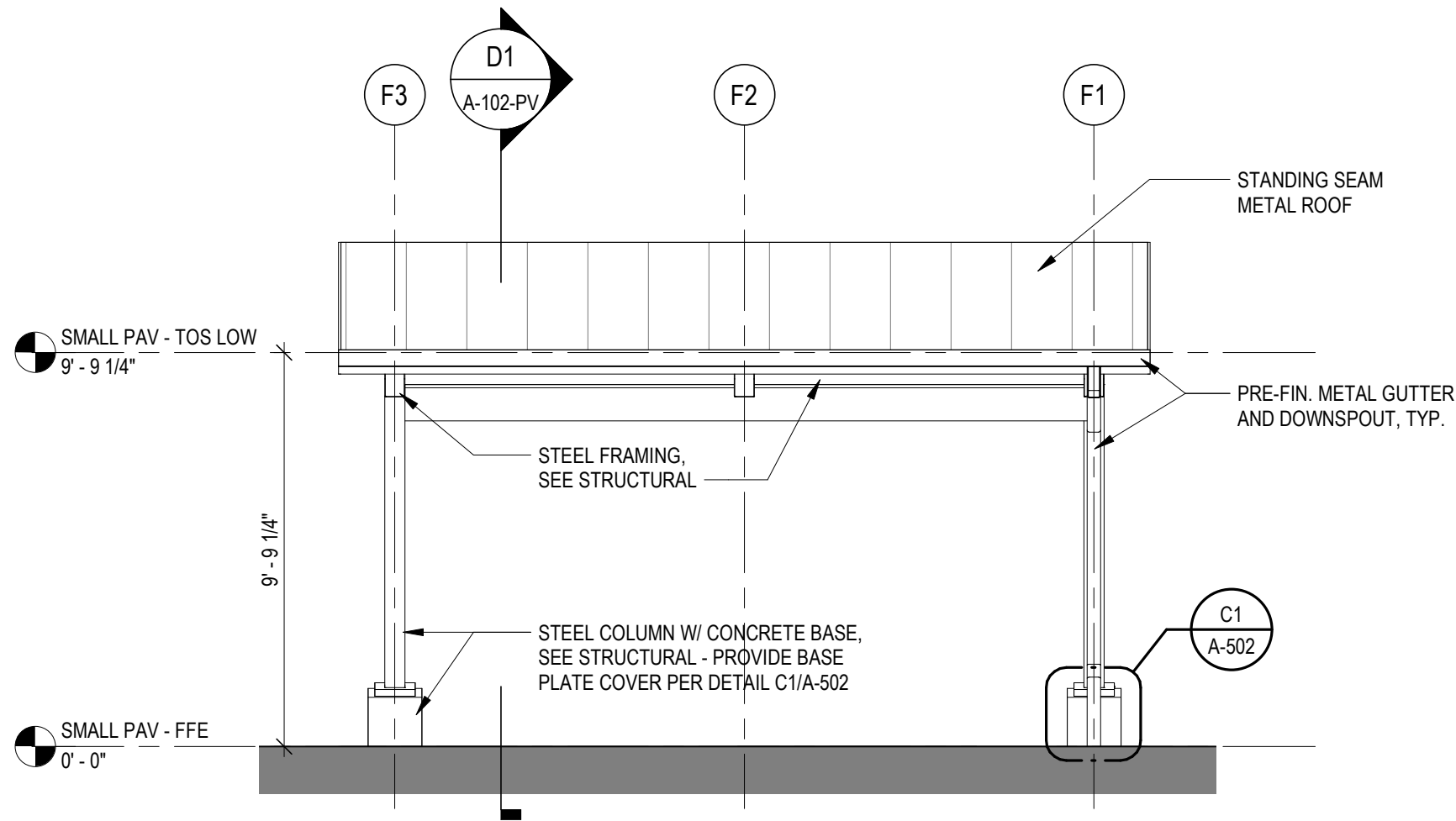
A-101-PV

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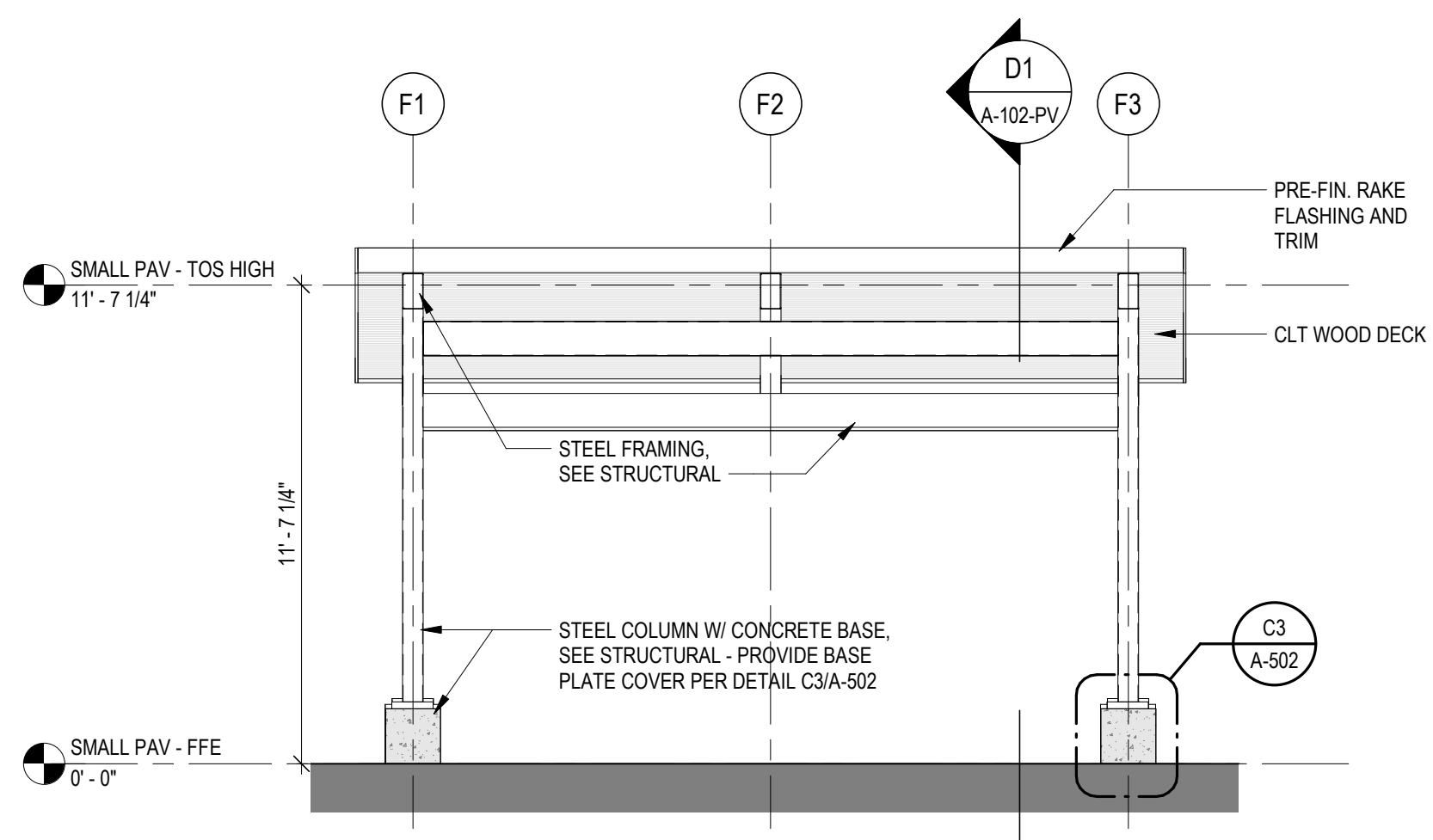
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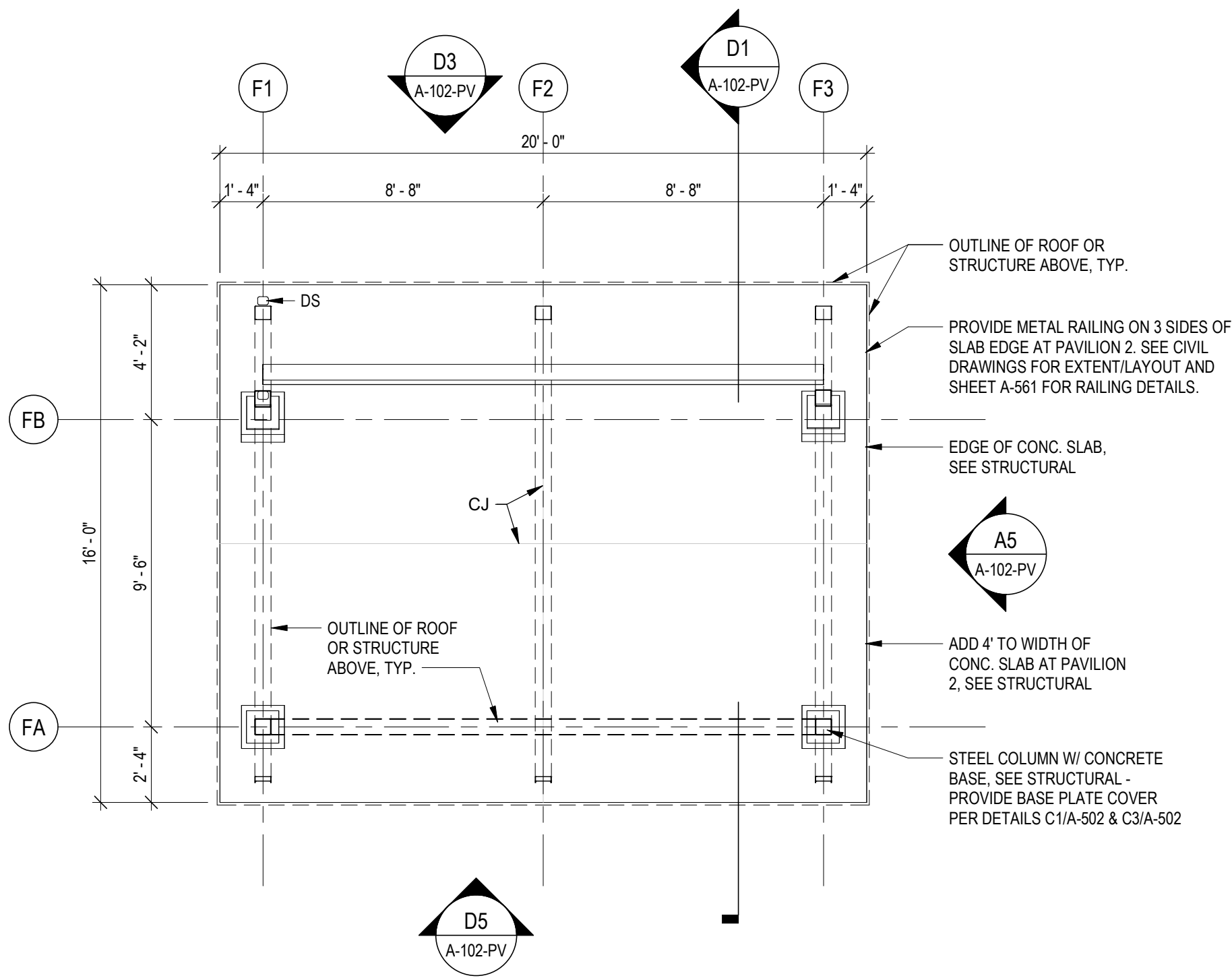
D1 BUILDING SECTION
1/4" = 1'-0"



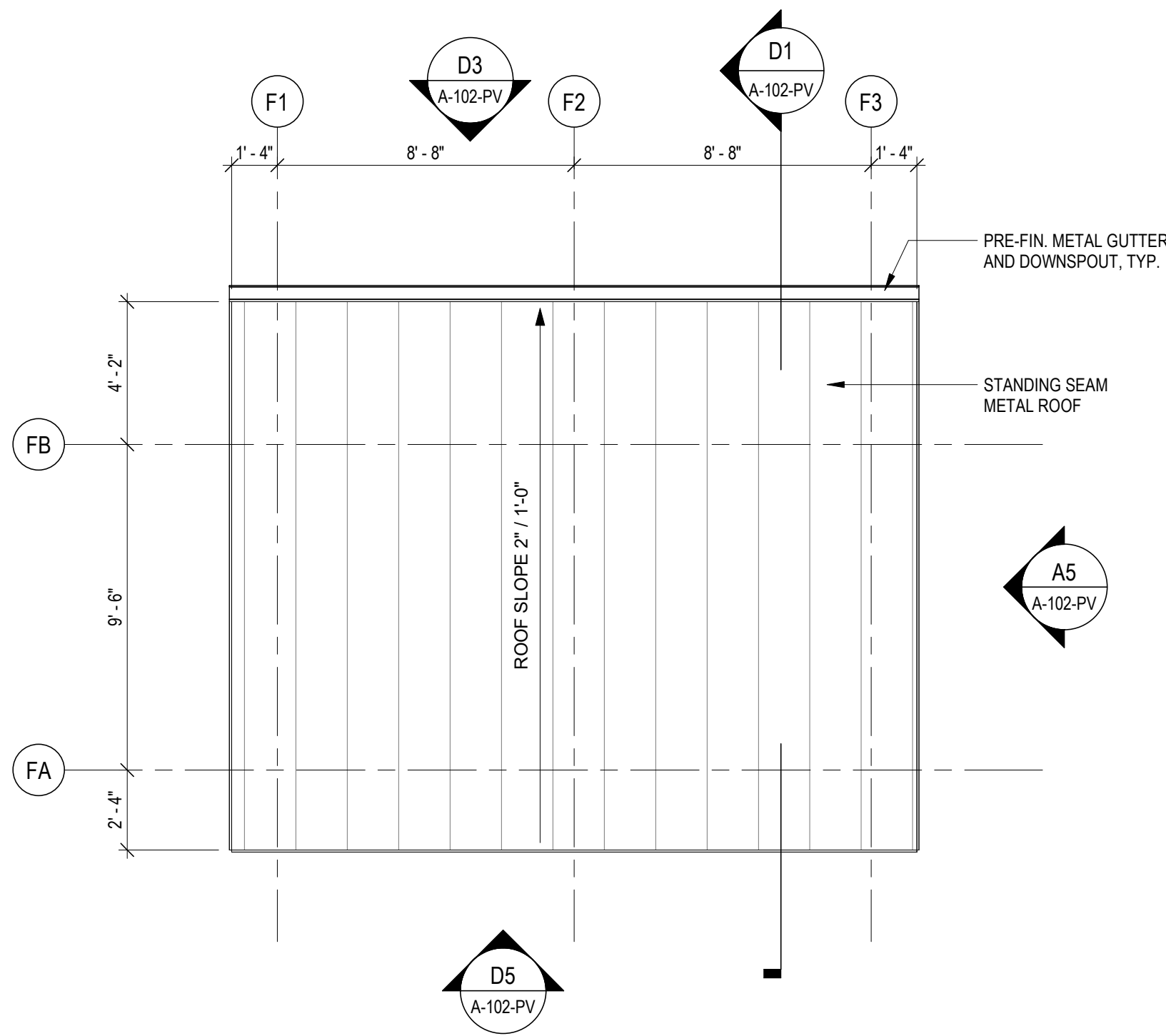
D3 BUILDING ELEVATION
1/4" = 1'-0"



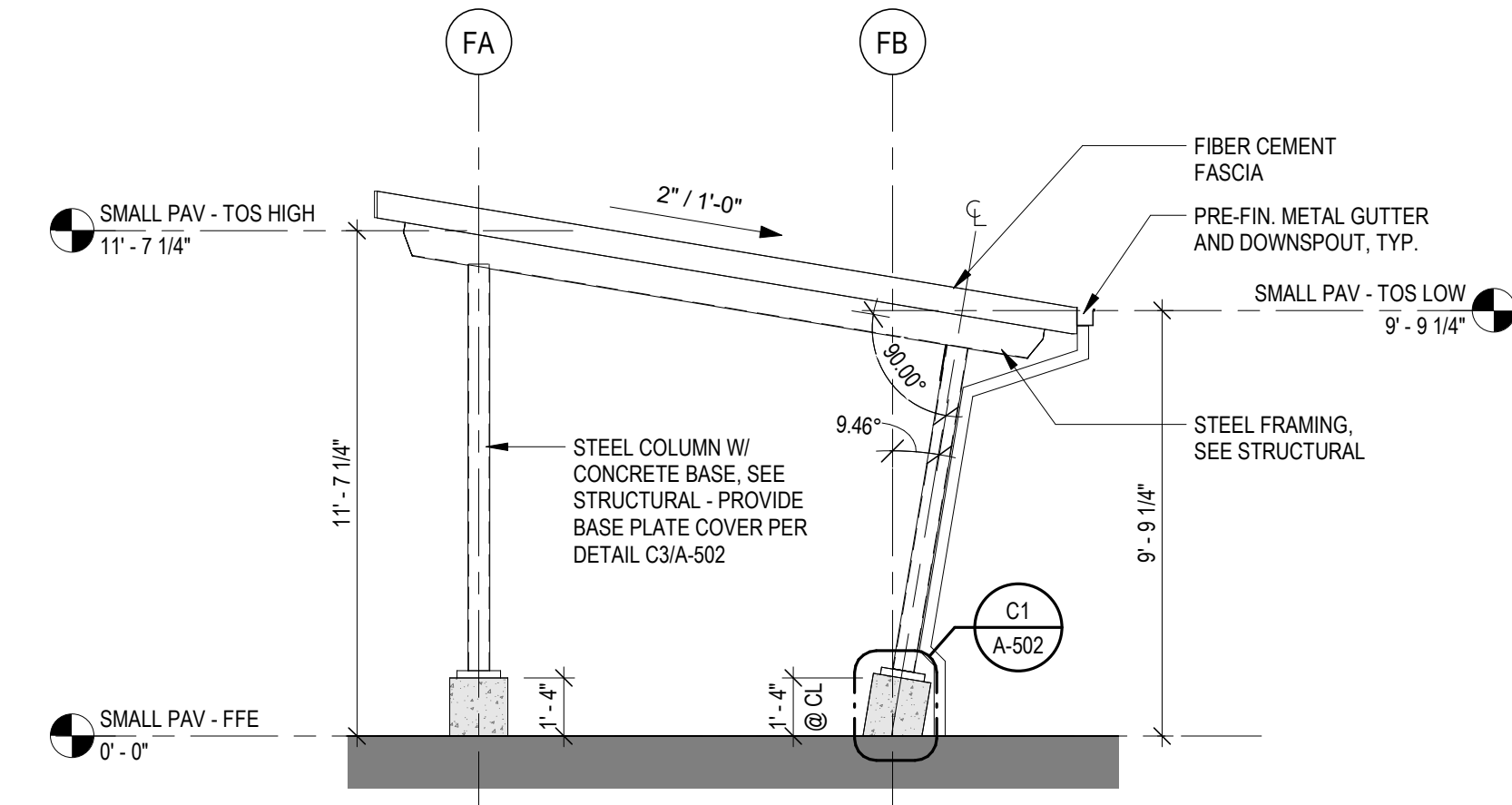
D5 BUILDING ELEVATION
1/4" = 1'-0"



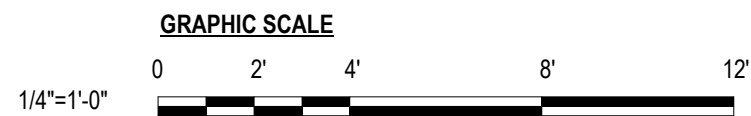
A1 FLOOR PLAN
1/4" = 1'-0"



A3 ROOF PLAN
1/4" = 1'-0"

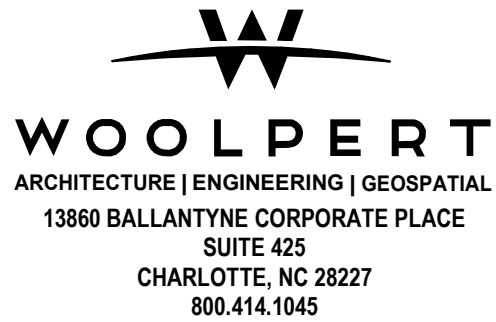


A5 BUILDING ELEVATION
1/4" = 1'-0"



GENERAL NOTES:

- A. CONTRACTOR TO PROVIDE CONCRETE CONTROL JOINTS AS INDICATED, PER INDUSTRY STANDARD, AND AROUND COLUMNS TO PREVENT RANDOM CRACKING.
- B. SMALL PAVILION DESIGN ON THIS SHEET APPLIES TO SMALL SHELTER A, B, C, AND D.
- C. SMALL SHELTER A AND C ARE IN BASE BID.
- D. SMALL SHELTER B IS ADD ALTERNATE NO 3. SEE SPECIFICATION SECTION 012300 ALTERNATES AND SITE PLANS.
- E. SMALL SHELTER D IS ADD ALTERNATE NO 4. SEE SPECIFICATION SECTION 012300 ALTERNATES AND SITE PLANS.



ISSUANCE SCHEDULE	DESCRIPTION
NUMBER	DATE

C

CITY OF CONCORD
J.E. "JIM" RAMSEUR PARK
PARKS & RECREATION DEPARTMENT
SHELTER PAVILIONS (PV)
1252 Cox Mill Rd
Concord, NC 28027

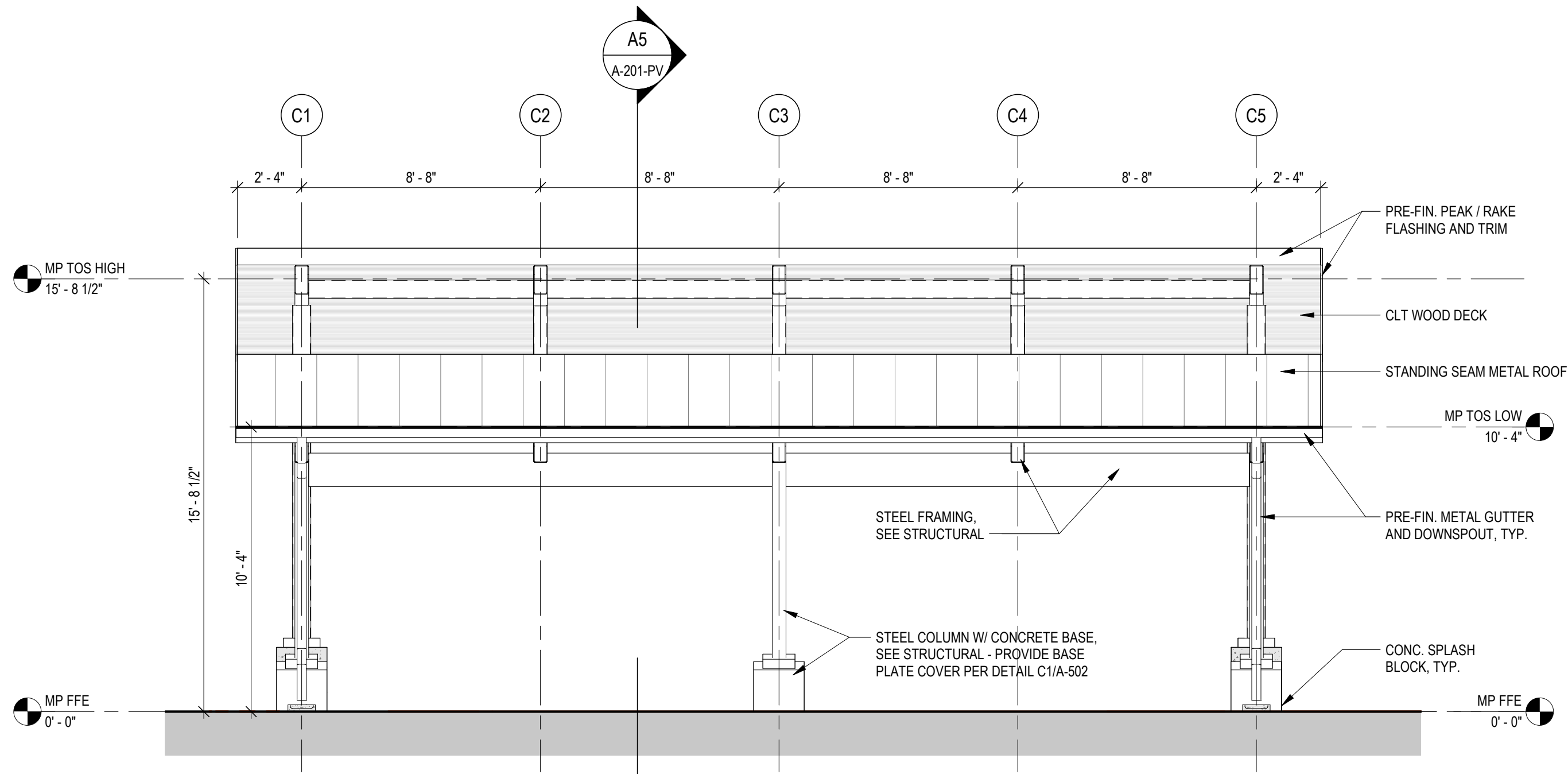
PROJECT NO:	081197
DATE ISSUED:	06/15/2023
DESIGNED BY:	BF
DRAWN BY:	DL
CHECKED BY:	BB

SHEET NAME:
SMALL PAVILIONS PLANS,
ELEVATIONS & BUILDING
SECTION

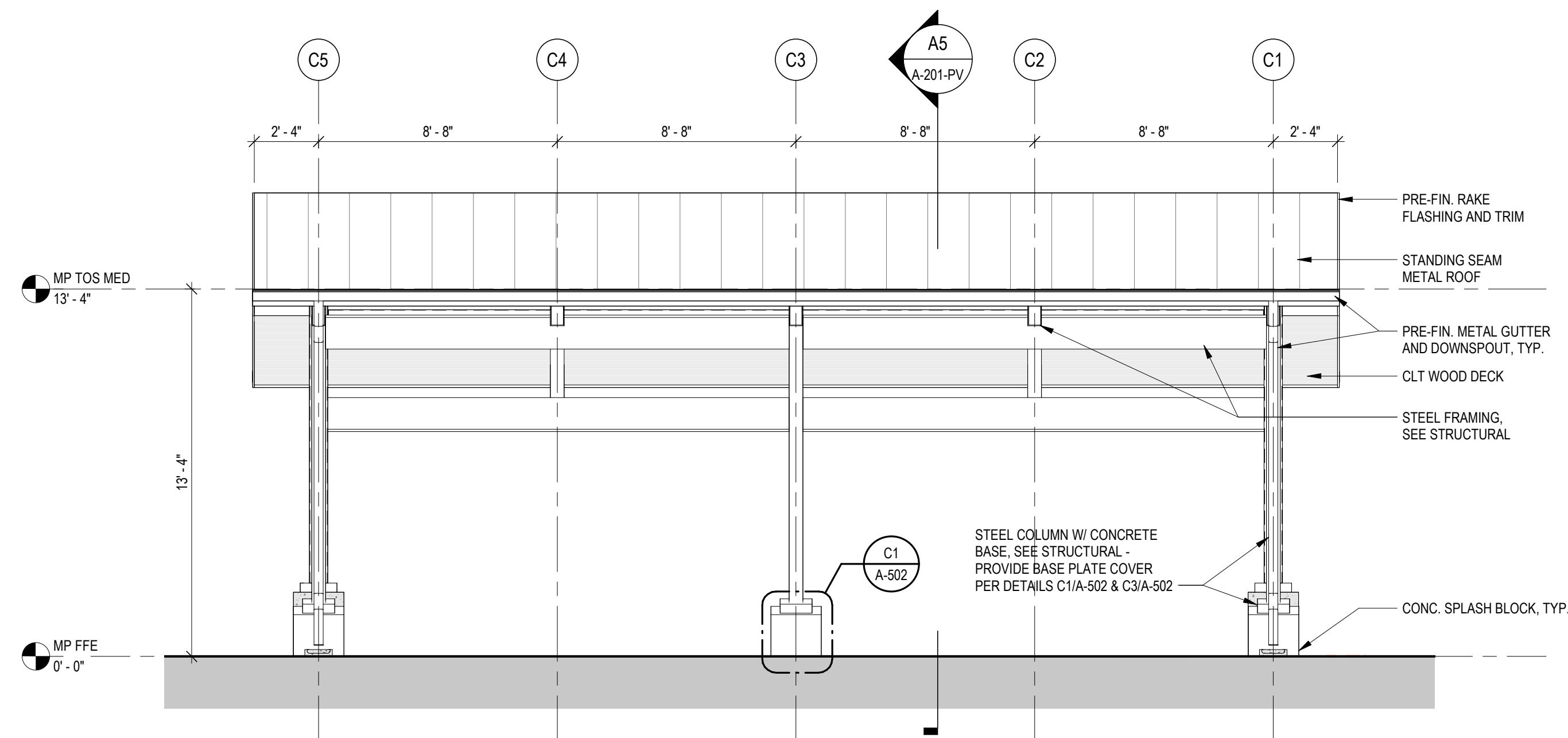
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A-102-PV

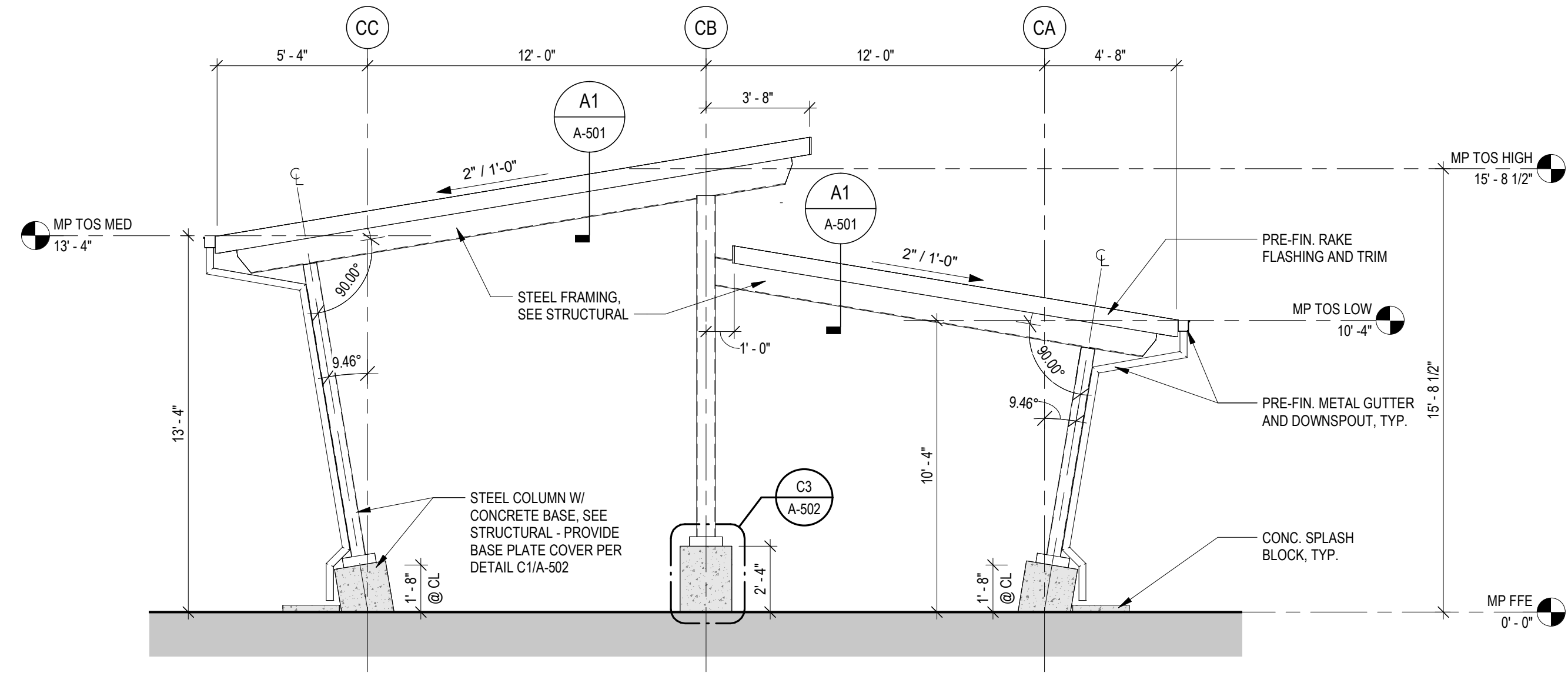
01/14/25 -ISSUED FOR BIDDING



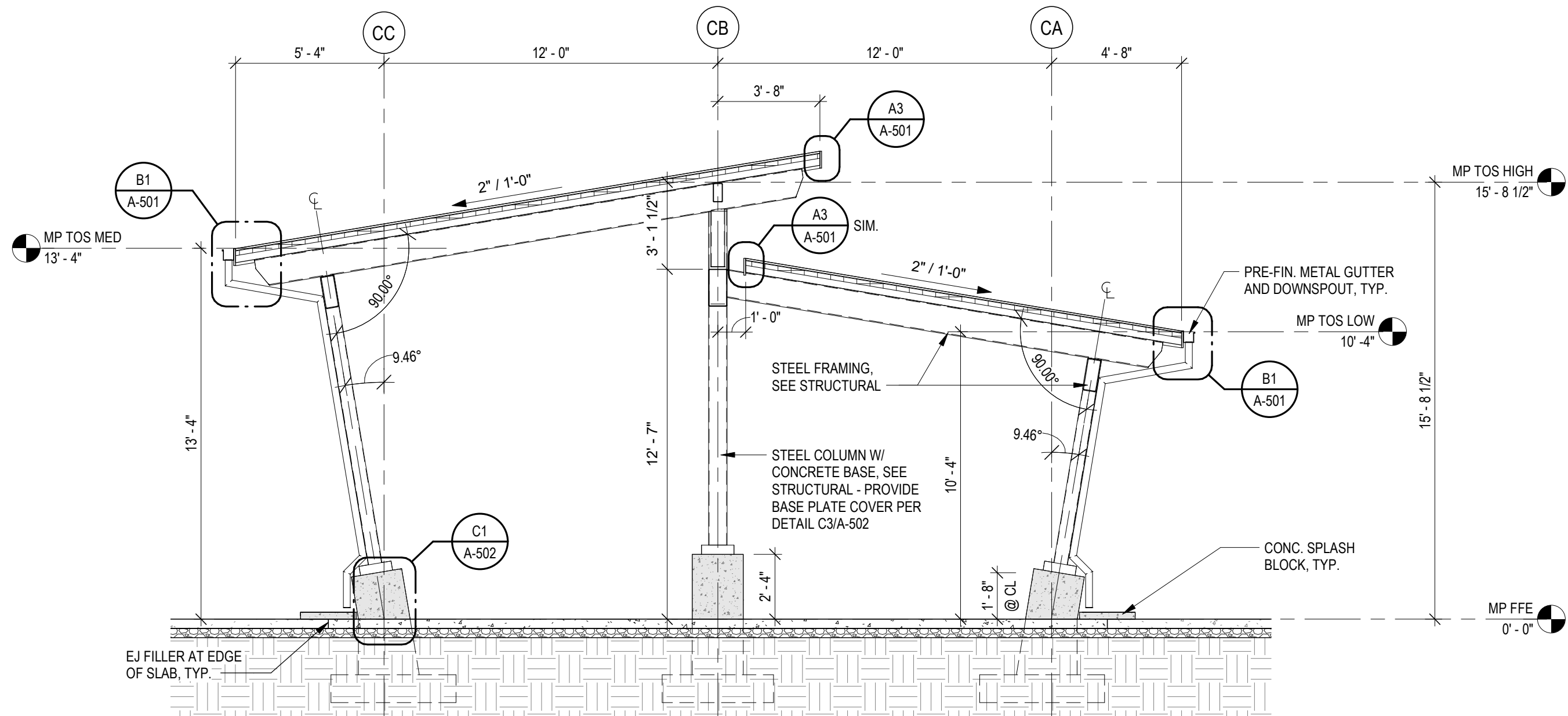
D1 BUILDING ELEVATION - EAST
1/4" = 1'-0"



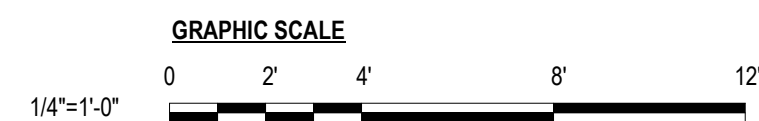
A1 BUILDING ELEVATION - WEST
1/4" = 1'-0"



D5 BUILDING ELEVATION - SOUTH
1/4" = 1'-0"
(NORTH ELEVATION SAME BUT OPPOSITE)

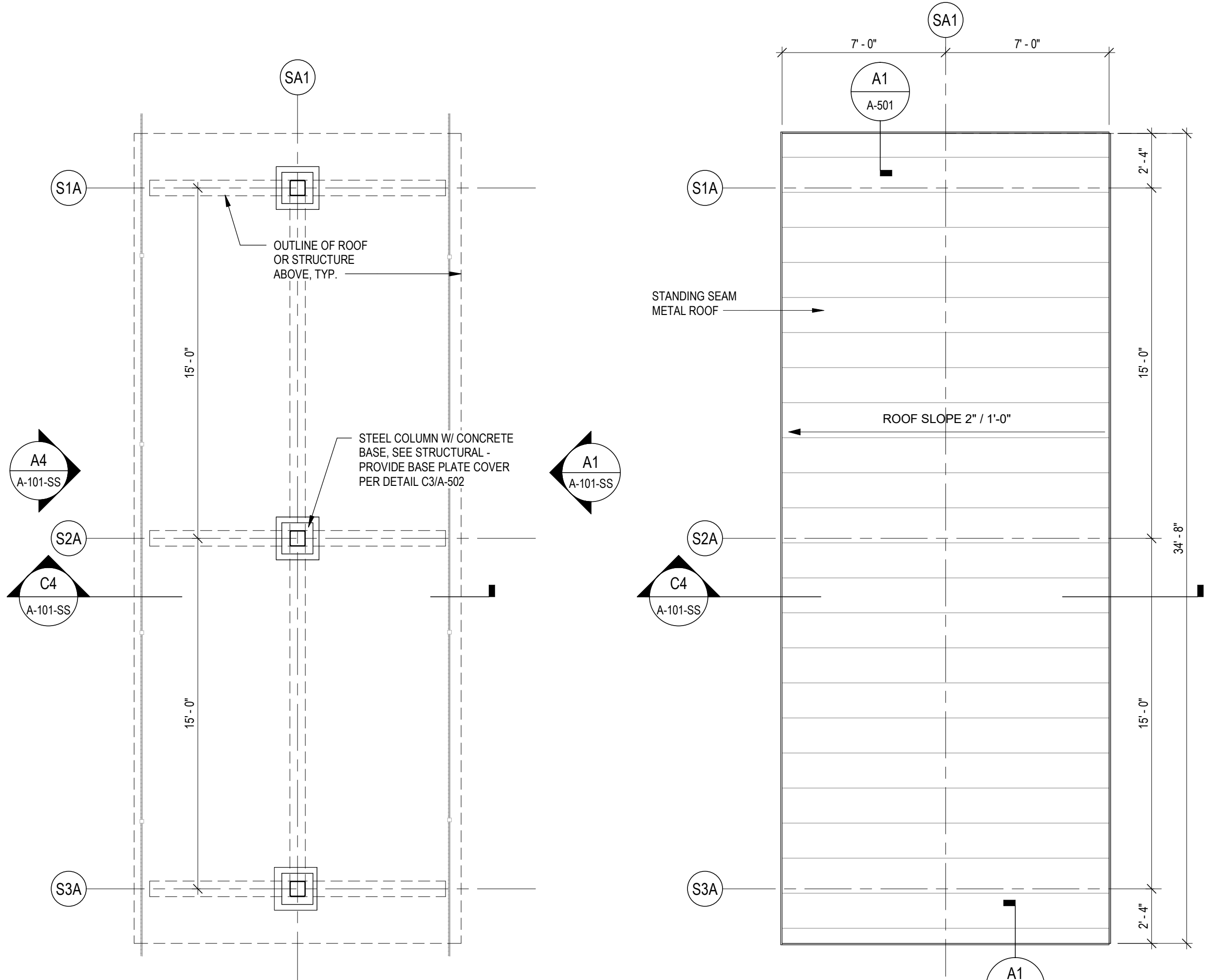


A5 BUILDING SECTION
1/4" = 1'-0"



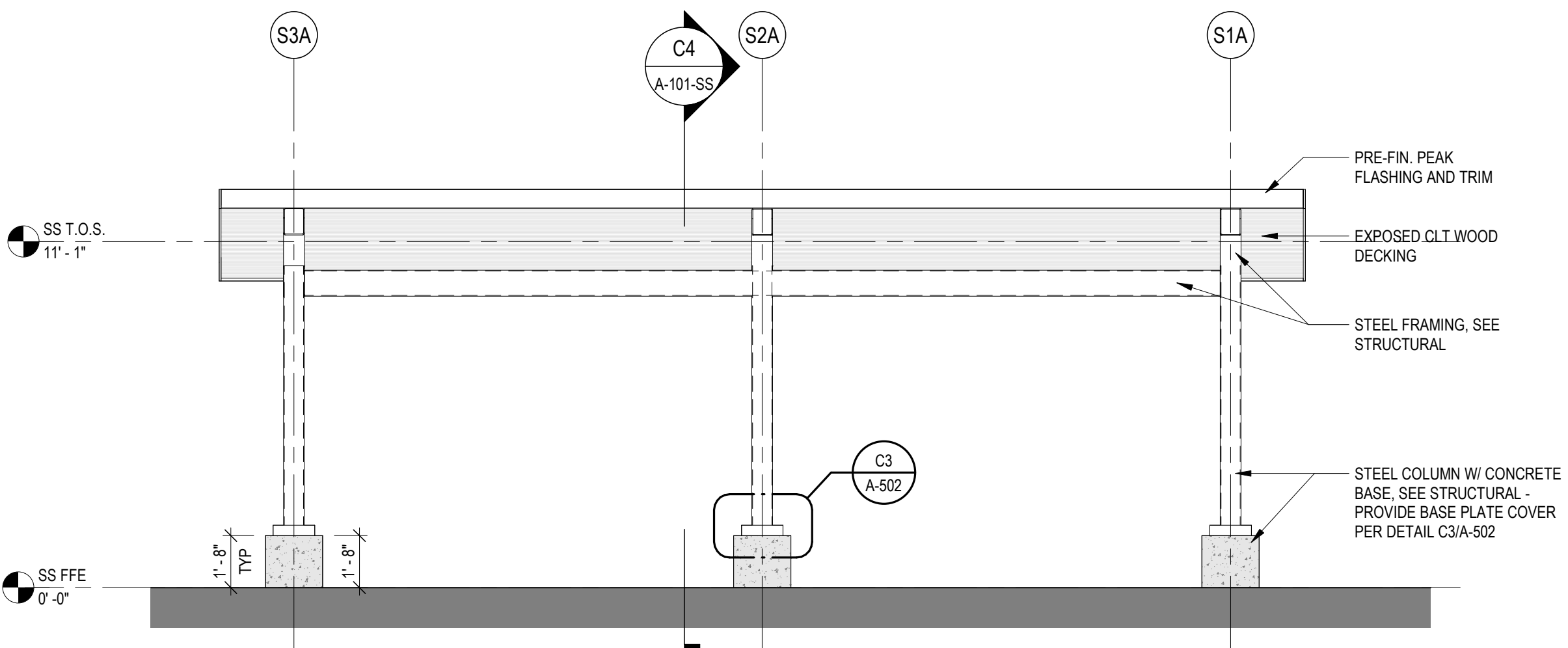
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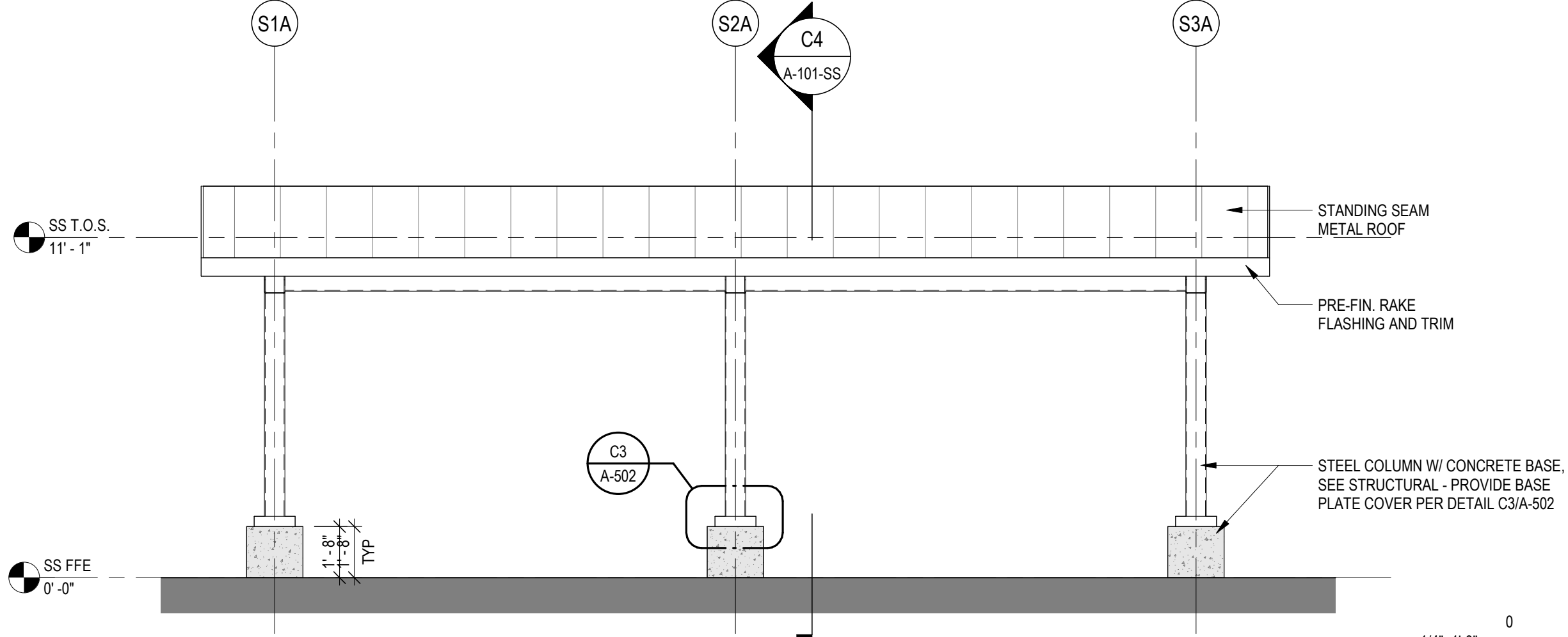


C1 FLOOR PLAN
1/4" = 1'-0"
(WEST STRUCTURE - EAST STRUCTURE SAME BUT OPPOSITE)

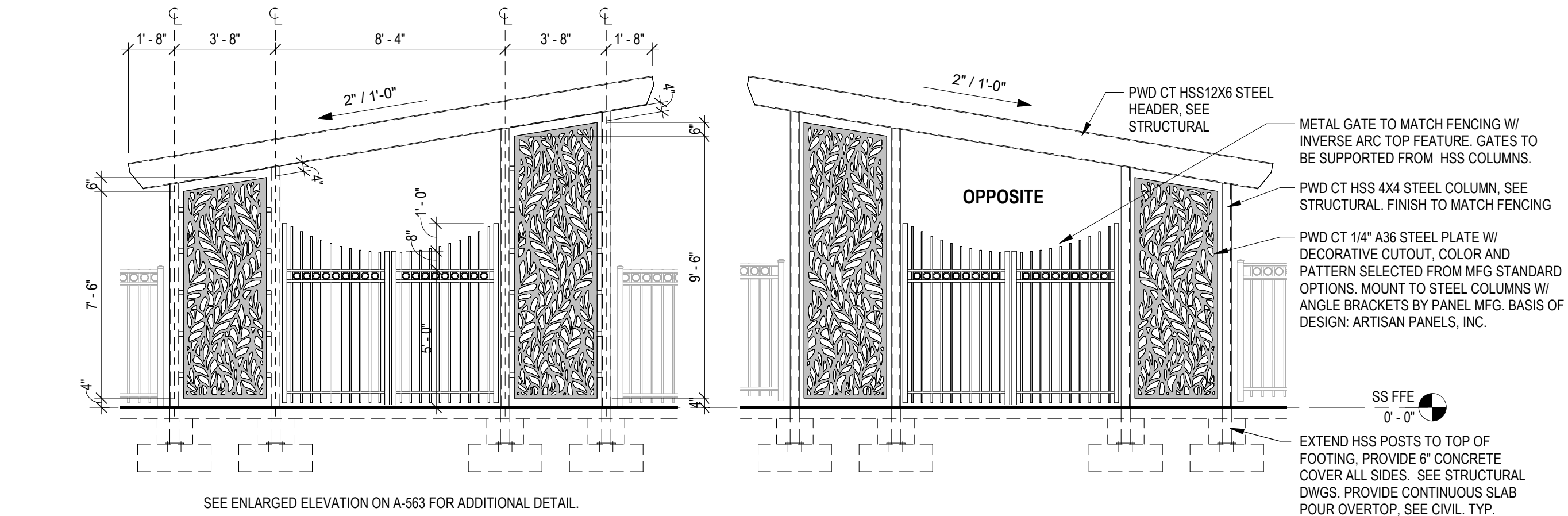
C3 ROOF PLAN
1/4" = 1'-0"
(WEST STRUCTURE - EAST STRUCTURE SAME BUT OPPOSITE)



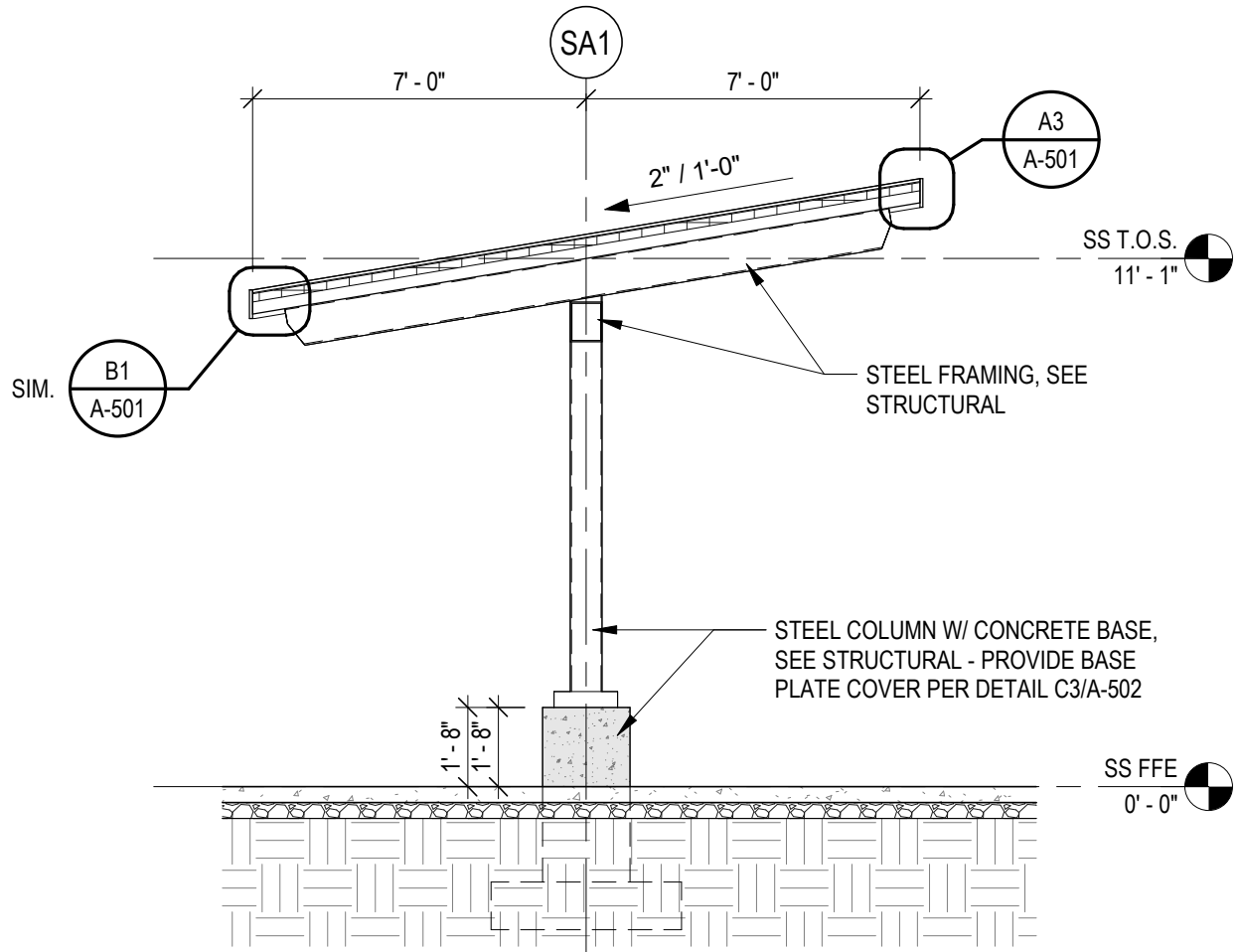
A1 BUILDING ELEVATION
1/4" = 1'-0"
(WEST STRUCTURE - EAST STRUCTURE SAME BUT OPPOSITE)



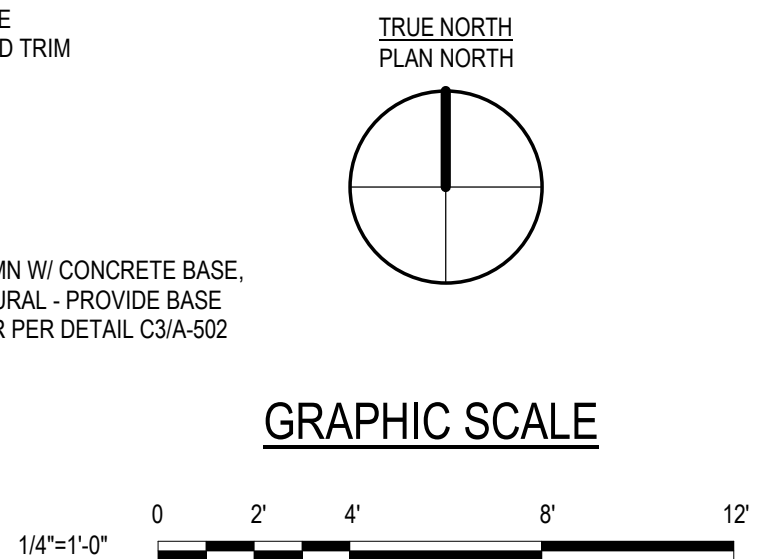
A4 BUILDING ELEVATION
1/4" = 1'-0"
(WEST STRUCTURE - EAST STRUCTURE SAME BUT OPPOSITE)



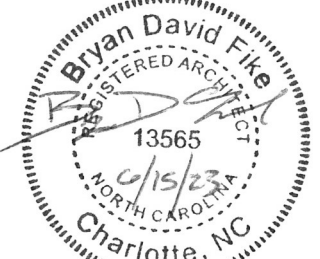
D4 BUILDING ELEVATION - GATES
1/4" = 1'-0"



C4 BUILDING SECTION
1/4" = 1'-0"
(WEST STRUCTURE - EAST STRUCTURE SAME BUT OPPOSITE)



WOOLPERT
ARCHITECTURE | ENGINEERING | GEOSPATIAL
13860 BALLANTYNE CORPORATE PLACE
SUITE 425
CHARLOTTE, NC 28227
800.414.1045



ISSUANCE SCHEDULE

DESCRIPTION
DATE
NUMBER

CITY OF CONCORD
J.E. "JIM" RAMSEUR PARK
PARKS & RECREATION DEPARTMENT
SHADE STRUCTURES & GATES (SS)
1252 Cox Mill Rd
Concord, NC 28027

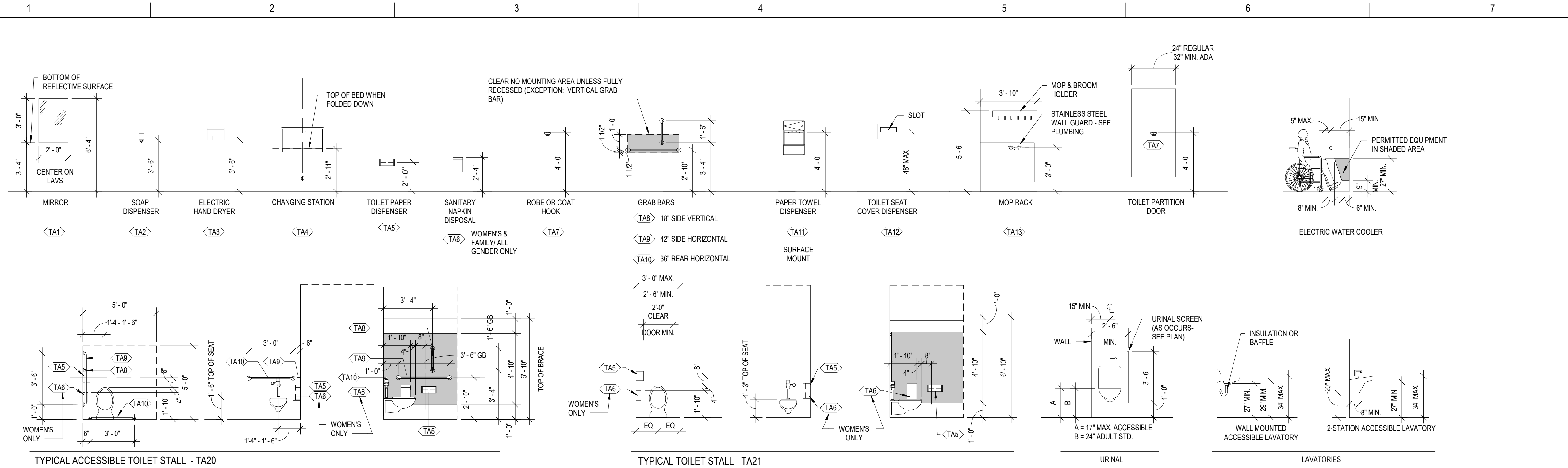
PROJECT NO: 081197
DATE ISSUED: 06/15/2023
DESIGNED BY: BF
DRAWN BY: DL
CHECKED BY: BB

SHEET NAME:
PICKLEBALL SHADE
STRUCTURES - PLANS &
ELEVATIONS

SHEET NO:

A-101-SS

01/14/25 -ISSUED FOR BIDDING



D1 TOILET ACCESSORY ELEVATIONS & PLUMBING FIXTURES
1/4" = 1'-0"



ISSUANCE SCHEDULE	
NUMBER	DATE DESCRIPTION

CITY OF CONCORD
J.E. "JIM" RAMSEUR PARK
PARKS & RECREATION DEPARTMENT

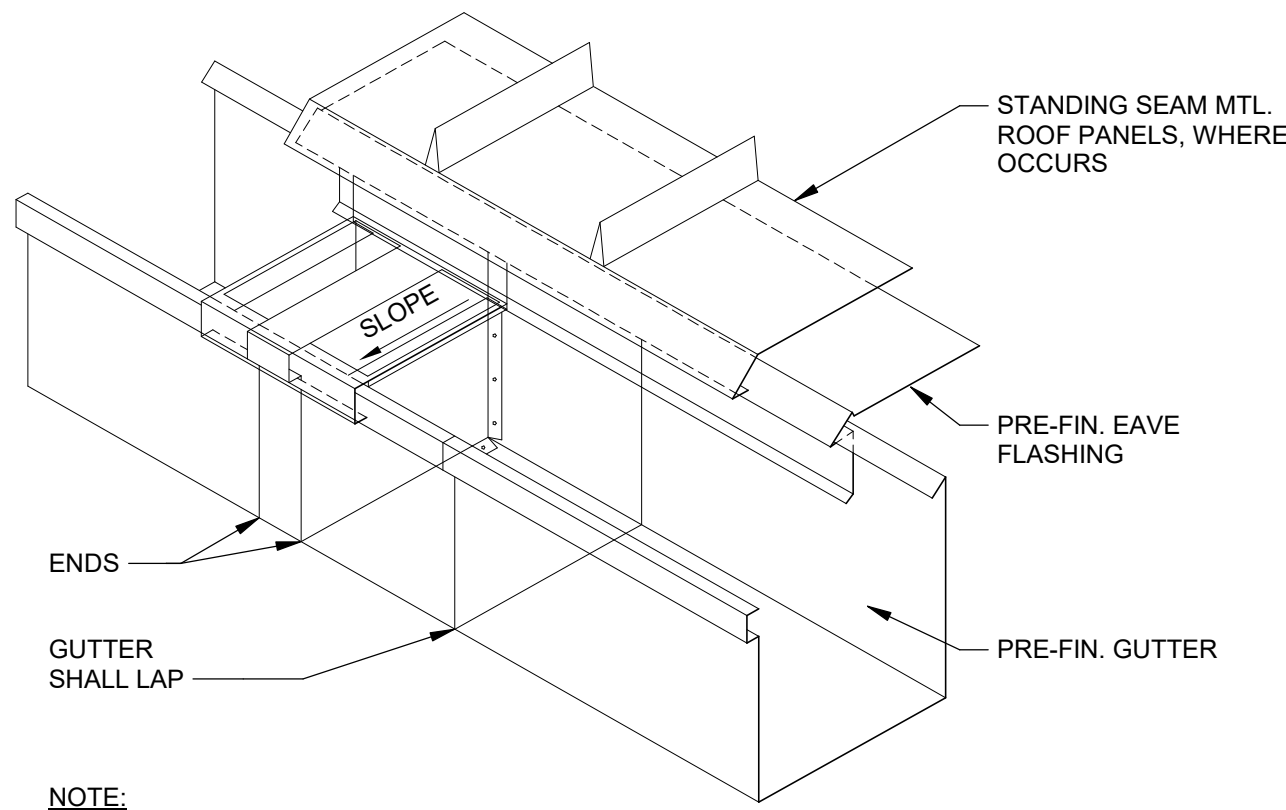
1252 Cox Mill Rd
Concord, NC 28027

PROJECT NO: 081197
DATE ISSUED: 06/15/2023
DESIGNED BY: BF
DRAWN BY: DL
CHECKED BY: BB

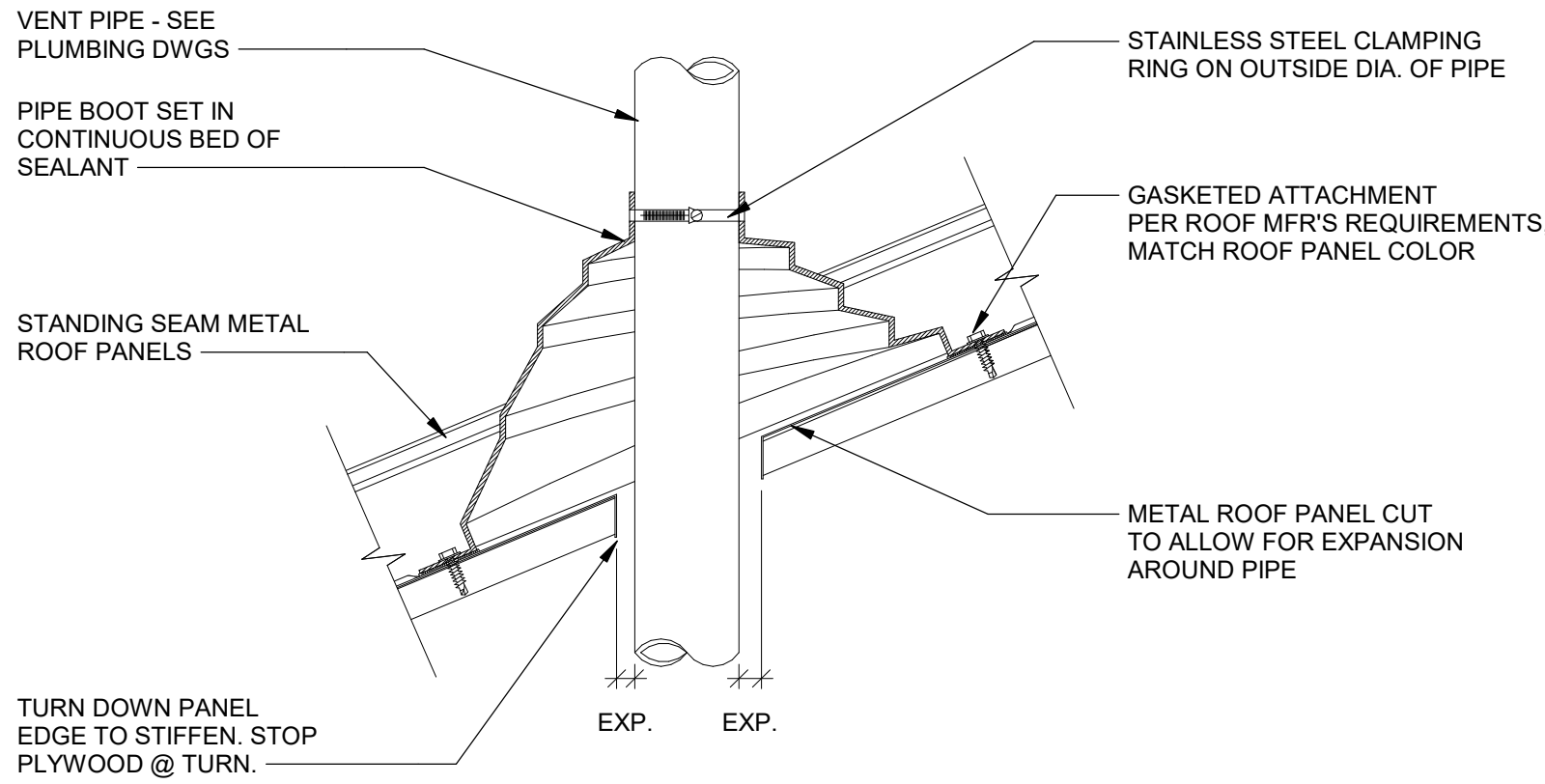
SHEET NAME:
TOILET ACCESSORY
ELEVATIONS & PLUMBING
FIXTURES

SHEET NO:

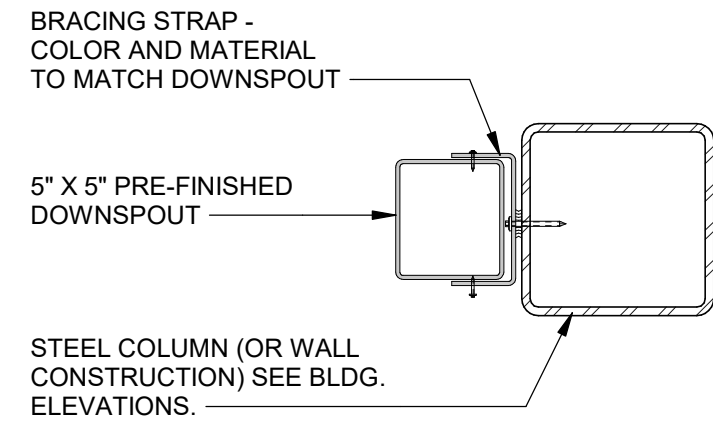
A-401



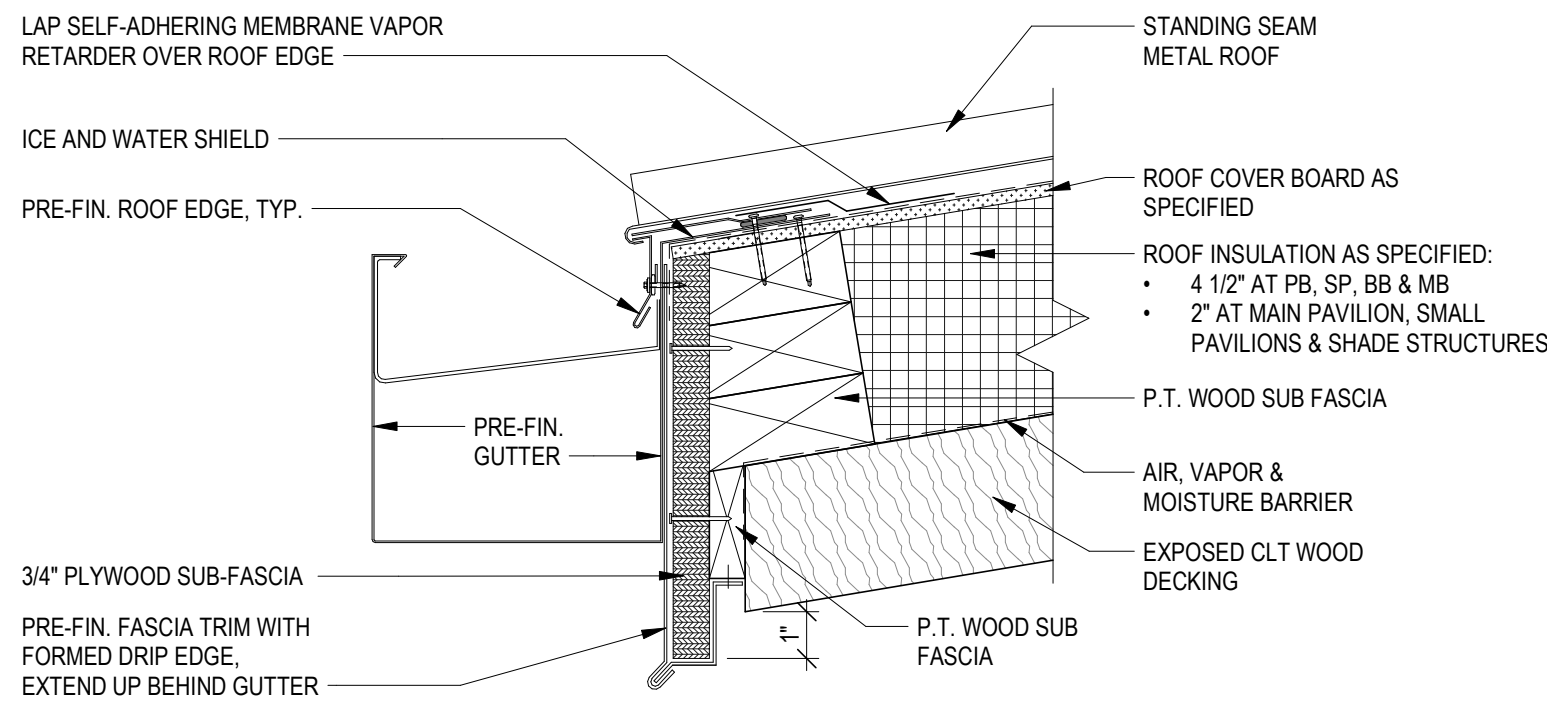
D1 TYP. GUTTER EXPANSION DETAIL
1 1/2" = 1'-0"



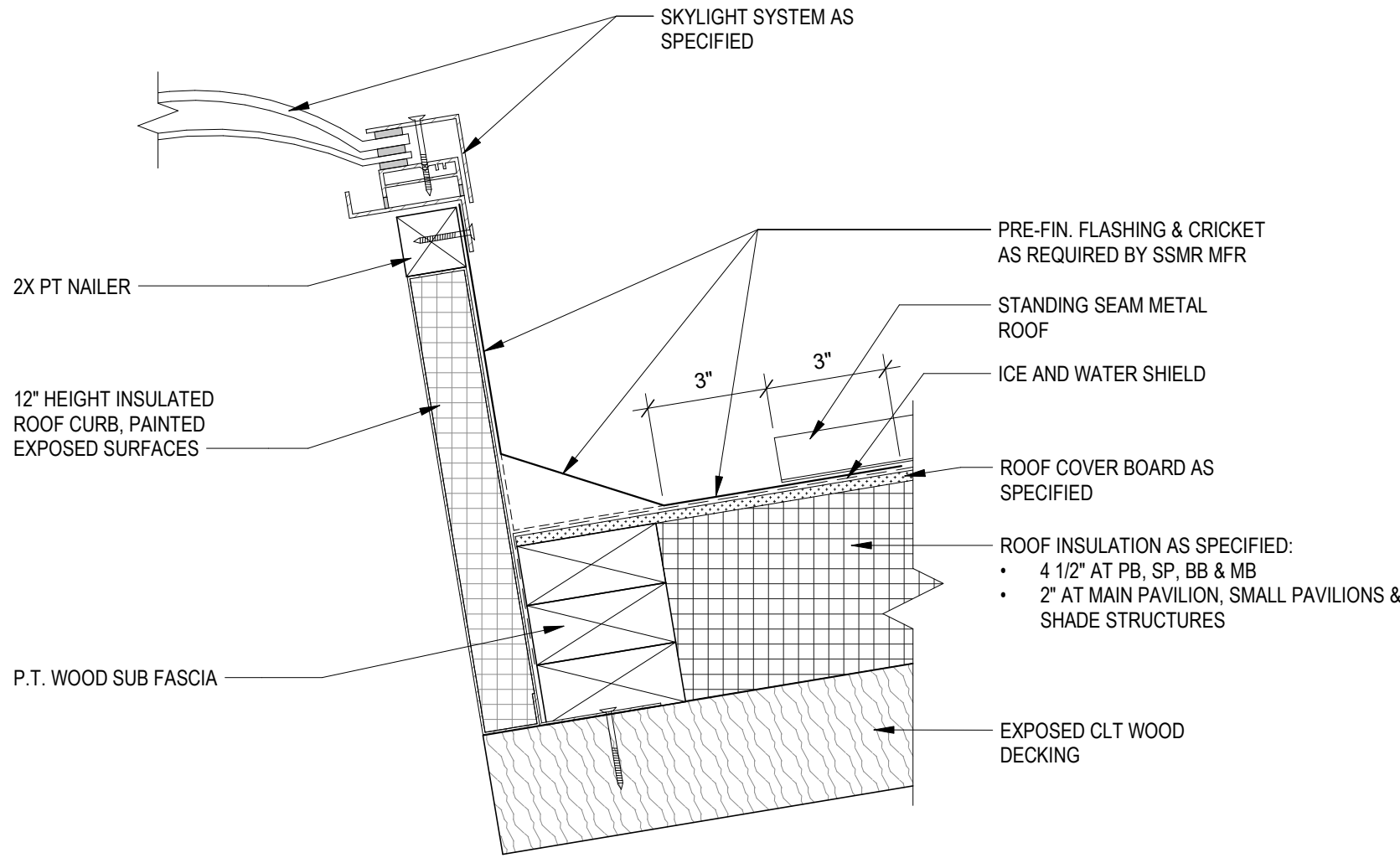
D3 TYP. METAL ROOF PIPE PENETRATION DETAIL
1 1/2" = 1'-0"



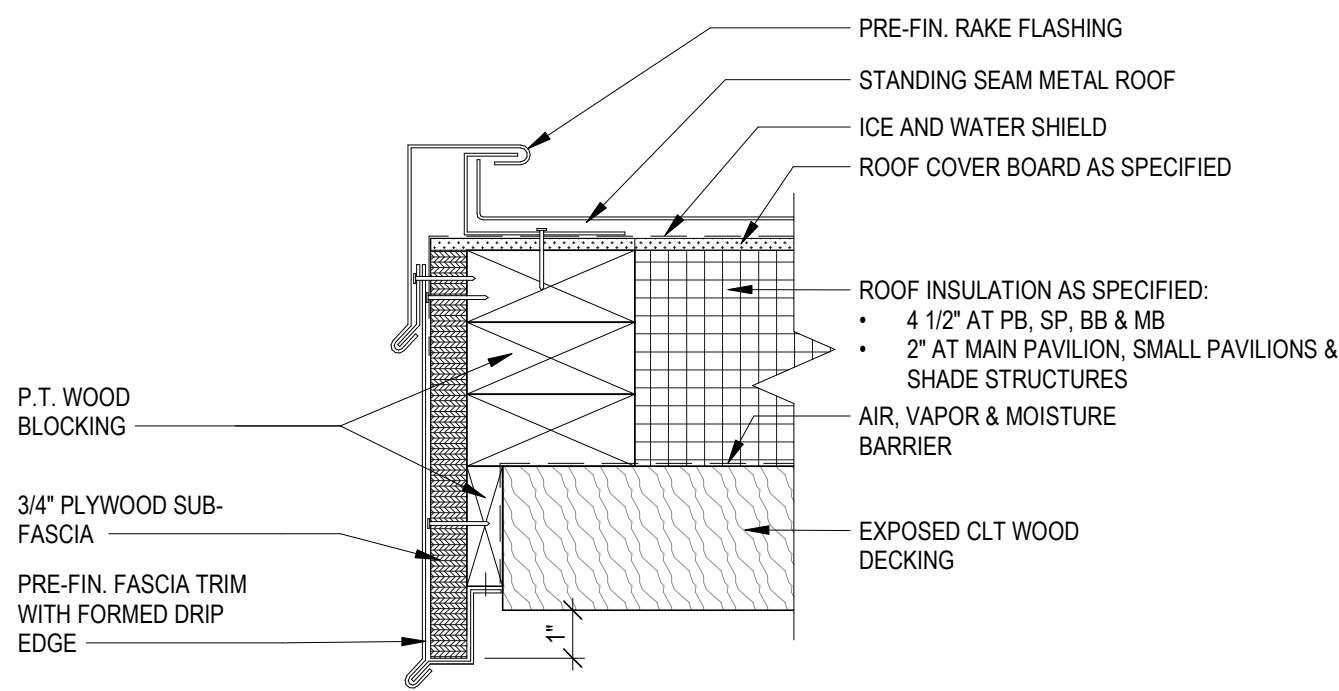
D6 TYP. DOWNSPOUT BRACING
1 1/2" = 1'-0"



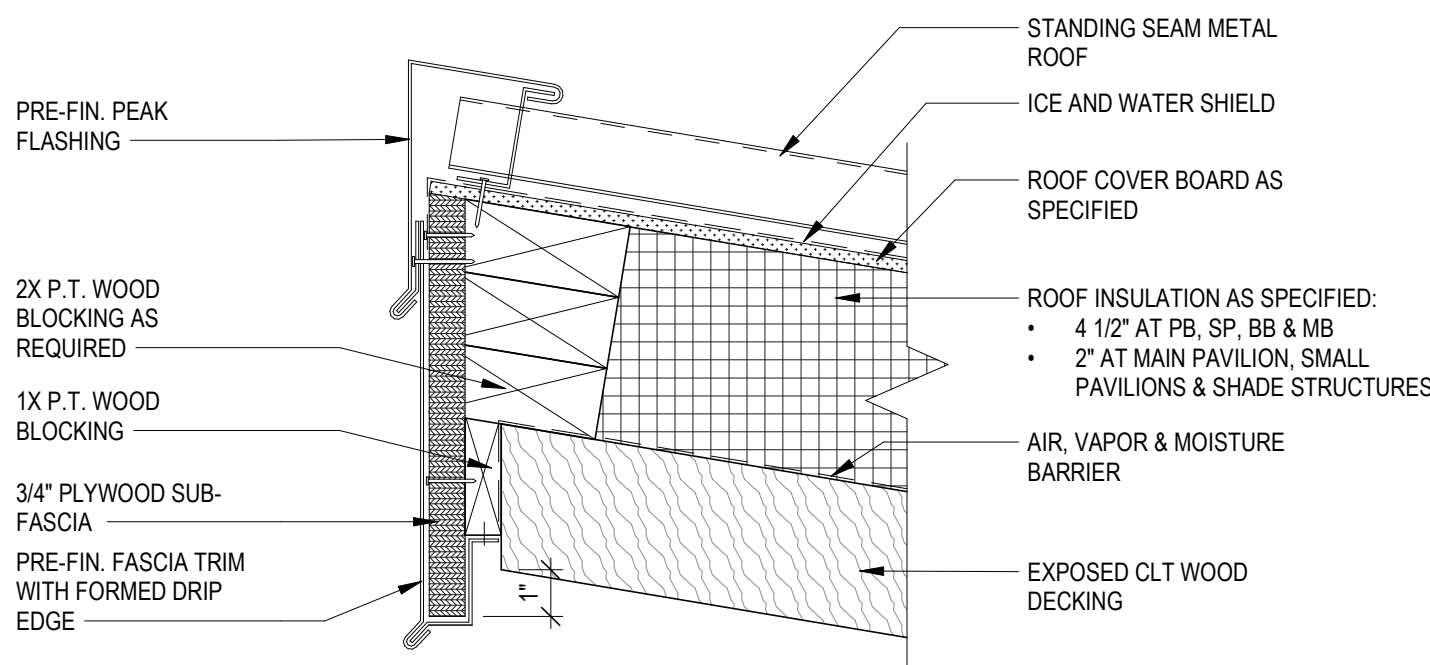
B1 TYP. GUTTER DETAIL
3" = 1'-0"



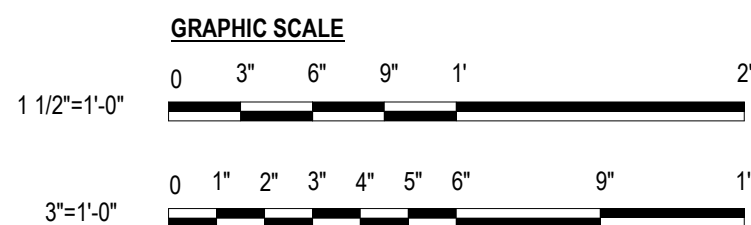
B3 TYP. SKYLIGHT CURB DETAIL
3" = 1'-0"



A1 TYP. METAL RAKE DETAIL - SIDE
3" = 1'-0"



A3 TYP. METAL PEAK DETAIL - SECTION
3" = 1'-0"



ISSUANCE SCHEDULE	DATE	DESCRIPTION
△	NUMBER	

CITY OF CONCORD
J.E. "JIM" RAMSEUR PARK
PARKS & RECREATION DEPARTMENT

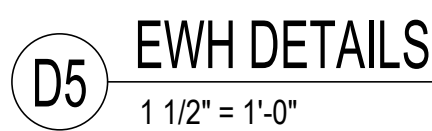
1252 Cox Mill Rd
Concord, NC 28027

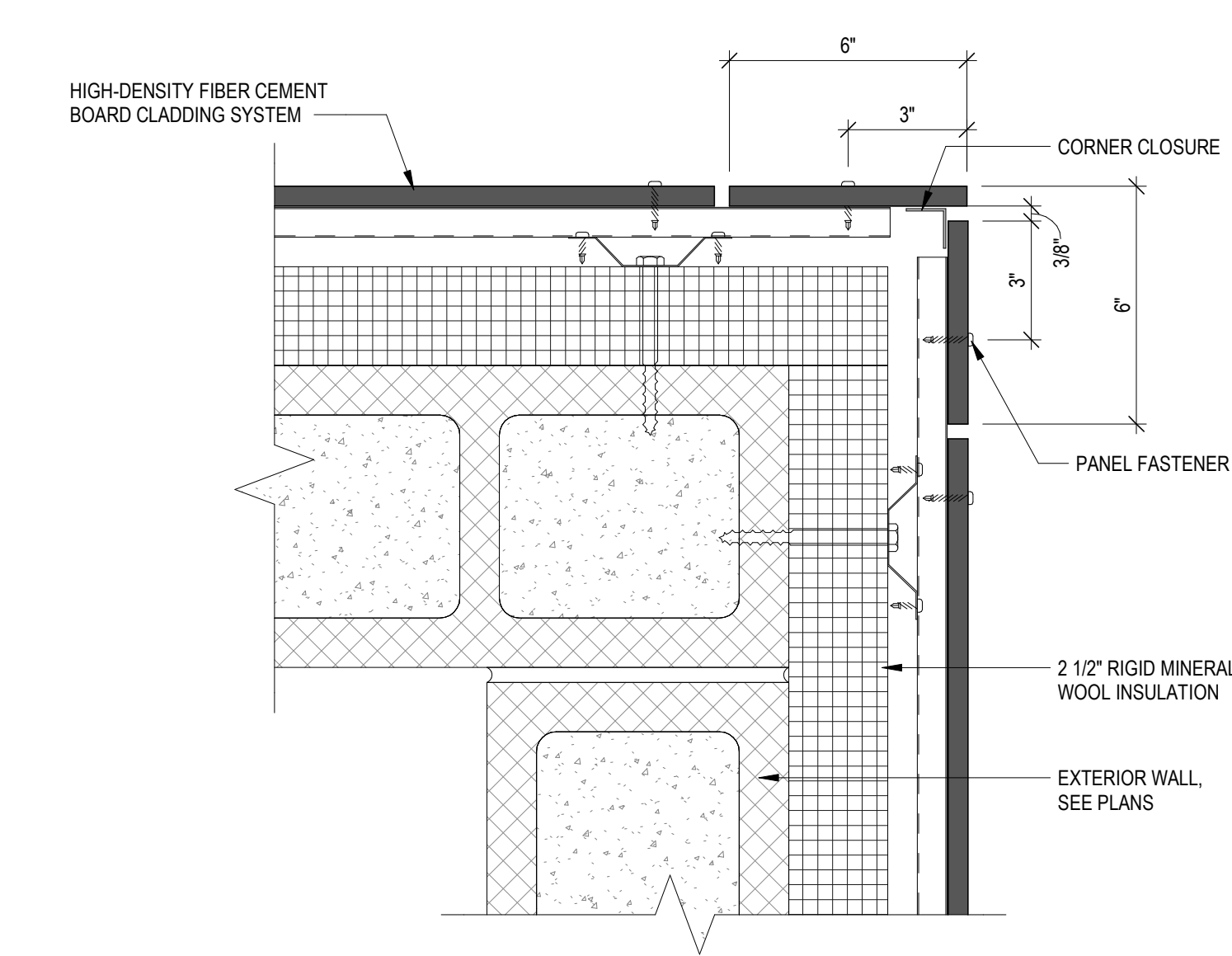
PROJECT NO:	081197
DATE ISSUED:	06/15/2023
<hr/>	
DESIGNED BY:	DL
DRAWN BY:	DL
CHECKED BY:	BB

SHEET NAME:
TYPICAL DETAILS

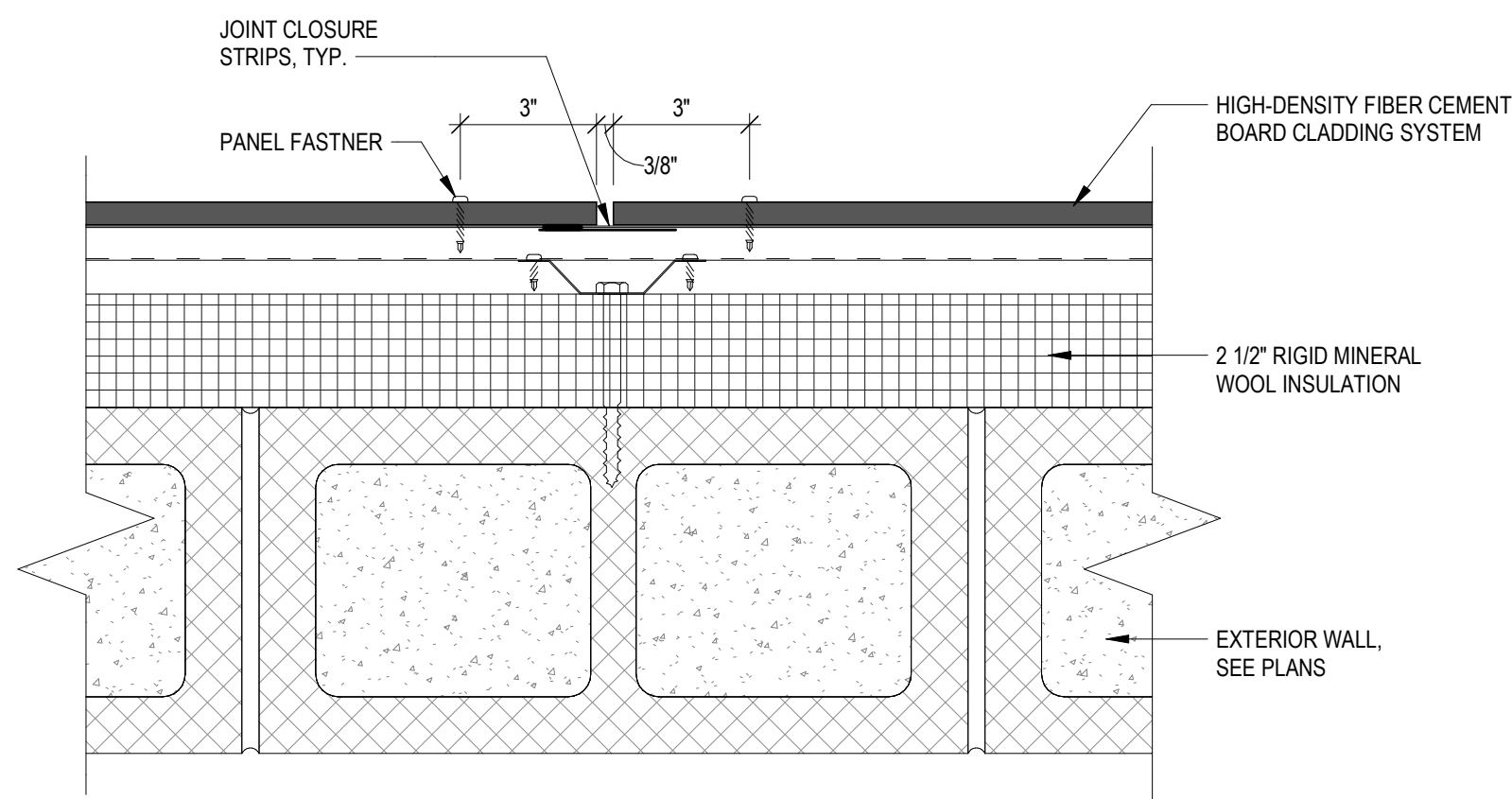
SHEET NO:

A-502

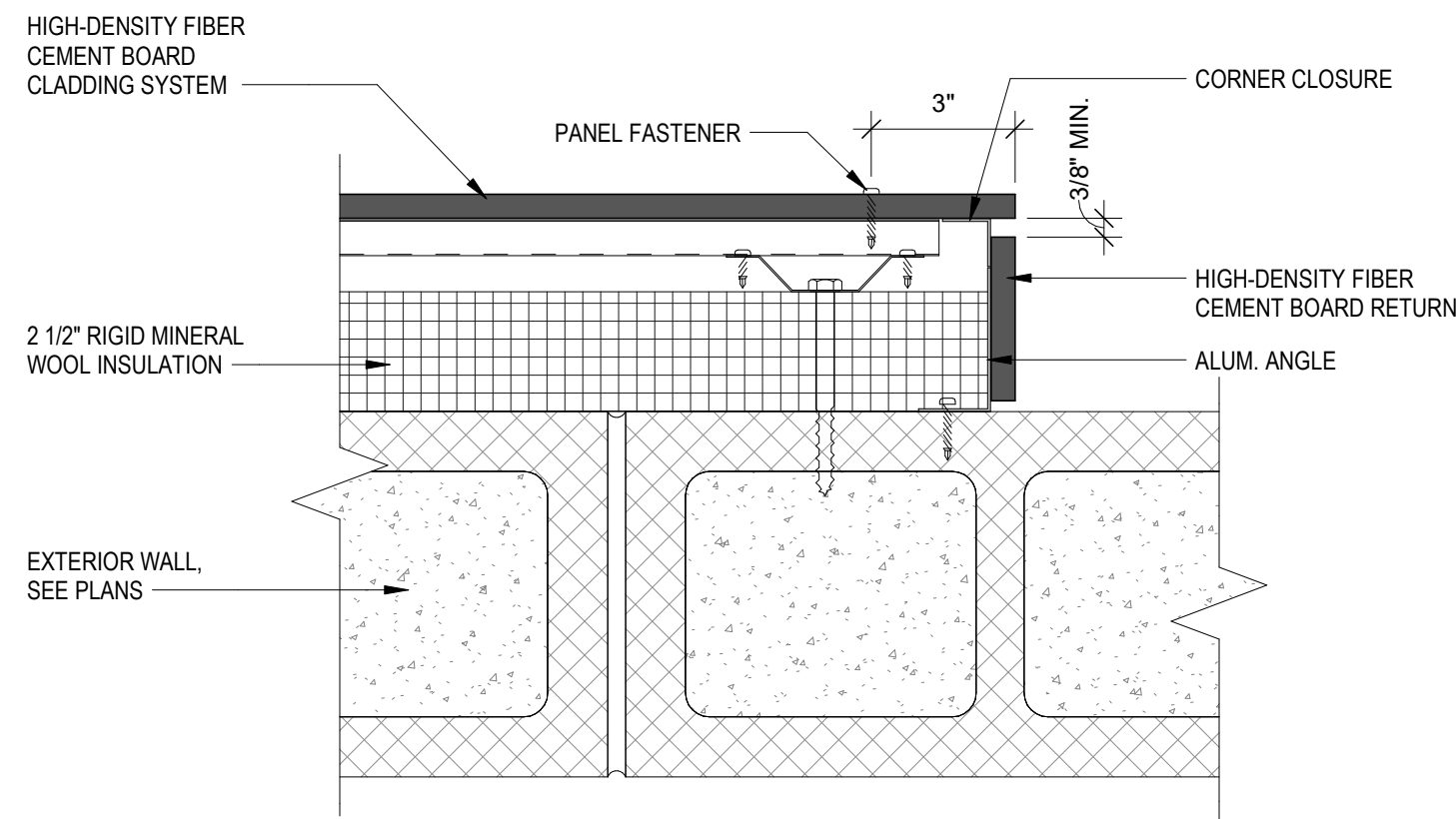




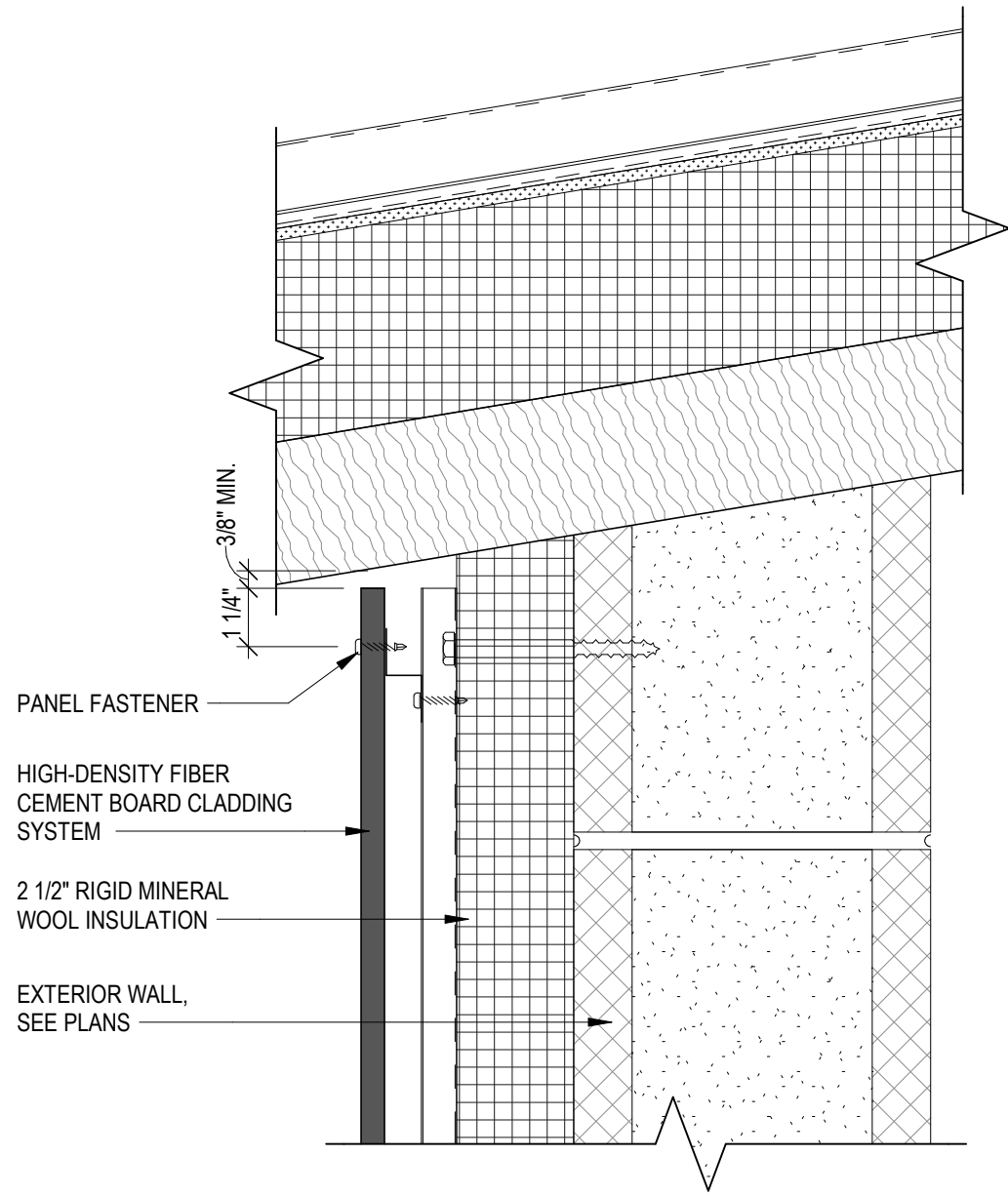
D1 PLAN DETAIL - OUTSIDE CORNER
3" = 1'-0"



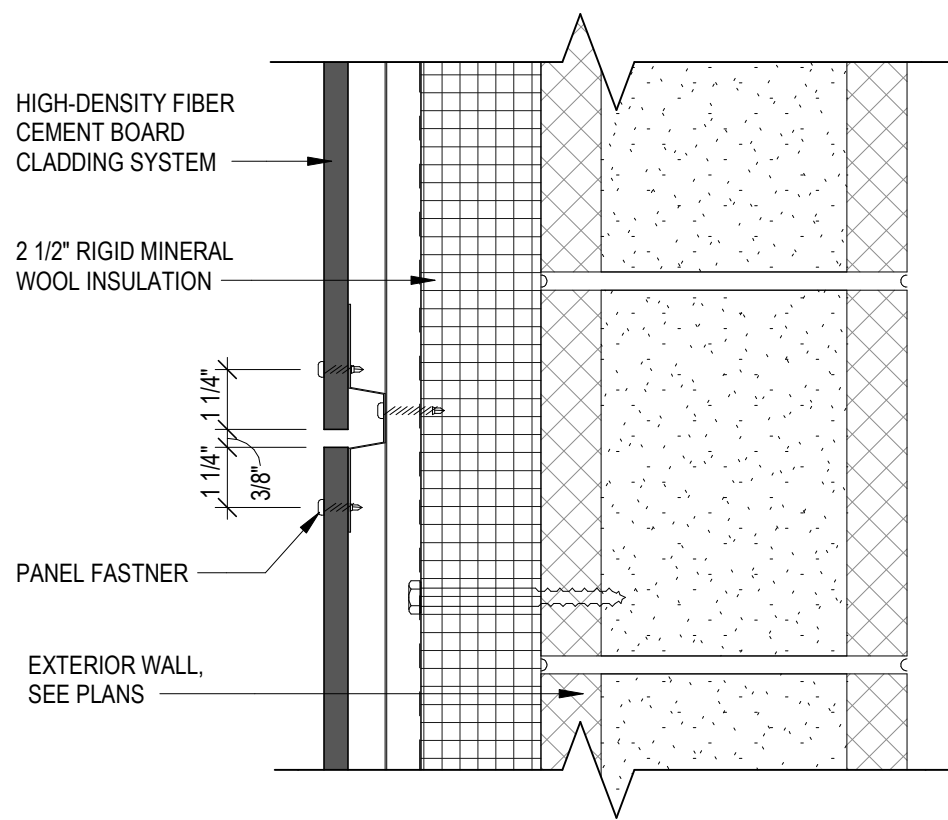
B1 PLAN DETAIL - VERTICAL JOINT
3" = 1'-0"



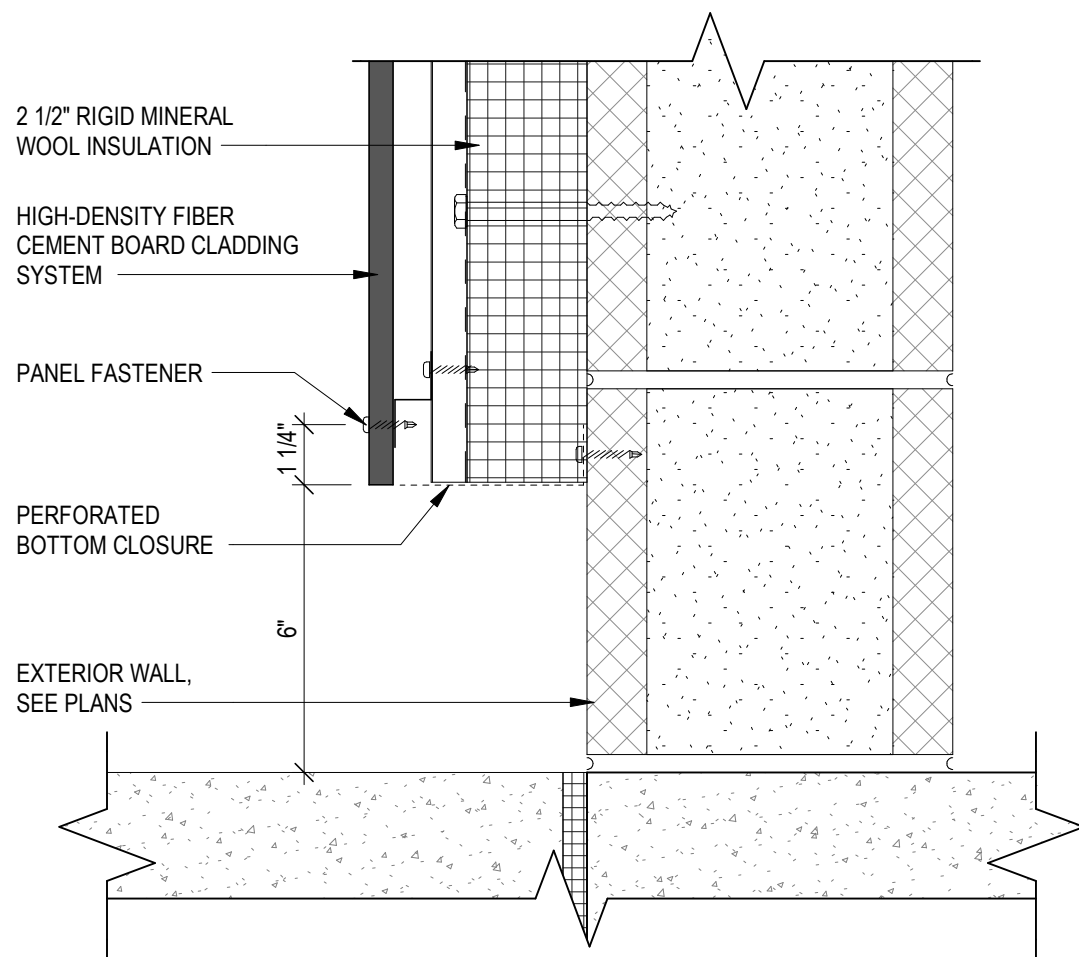
A1 PLAN DETAIL - RETURN
3" = 1'-0"



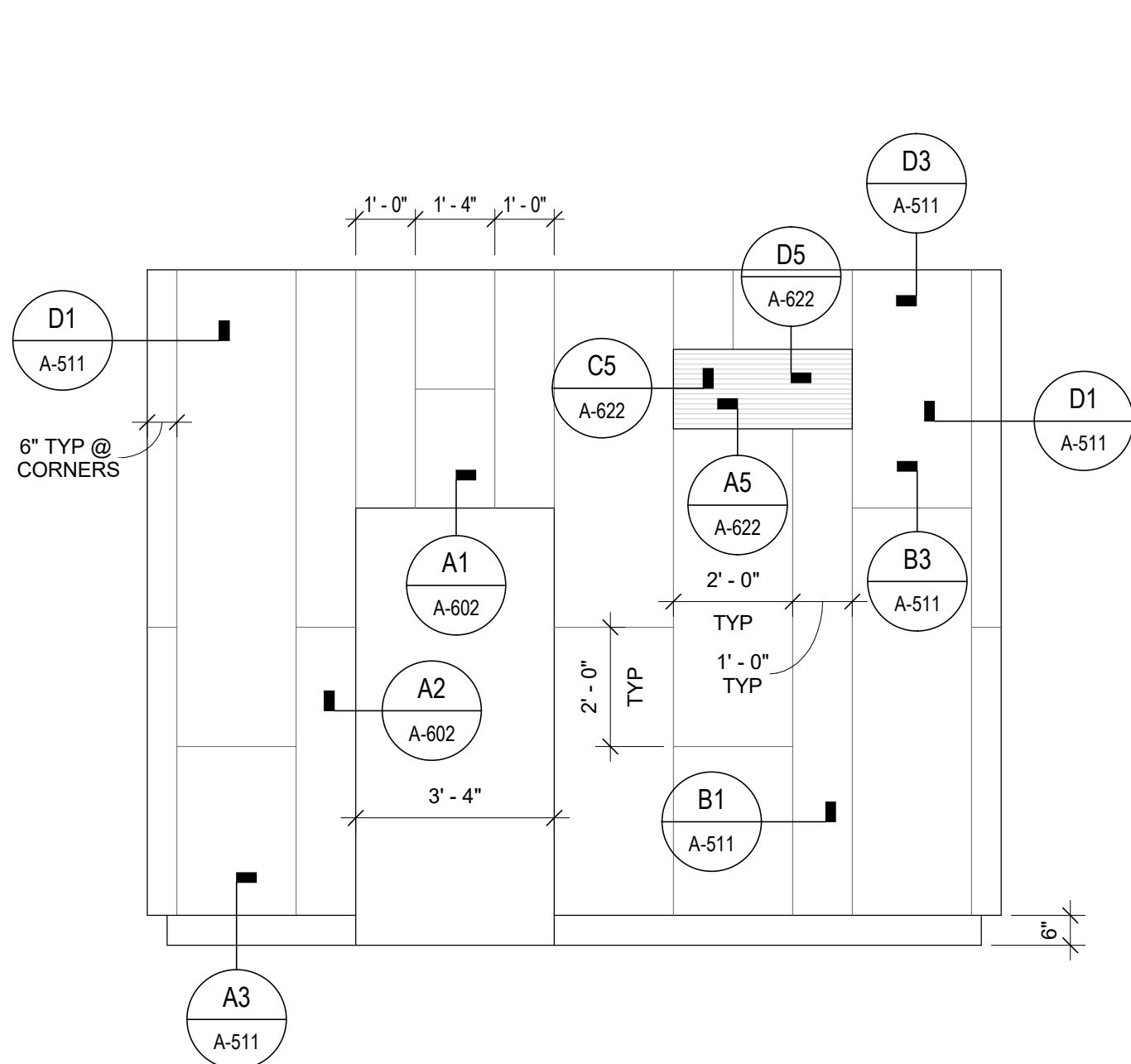
D3 SECTION DETAIL - TOP OF WALL
3" = 1'-0"



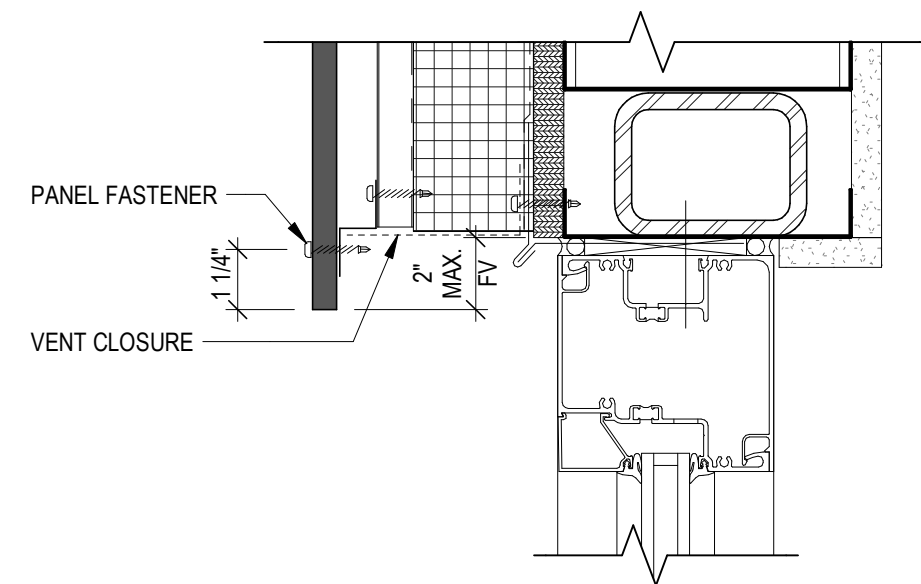
B3 SECTION DETAIL - HORIZONTAL JOINT
3" = 1'-0"



A3 SECTION DETAIL - BOTTOM OF WALL
3" = 1'-0"

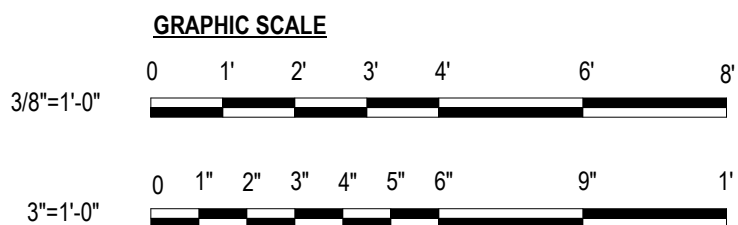


B5 FIBER CEMENT PANEL DETAIL LEGEND
3/8" = 1'-0"

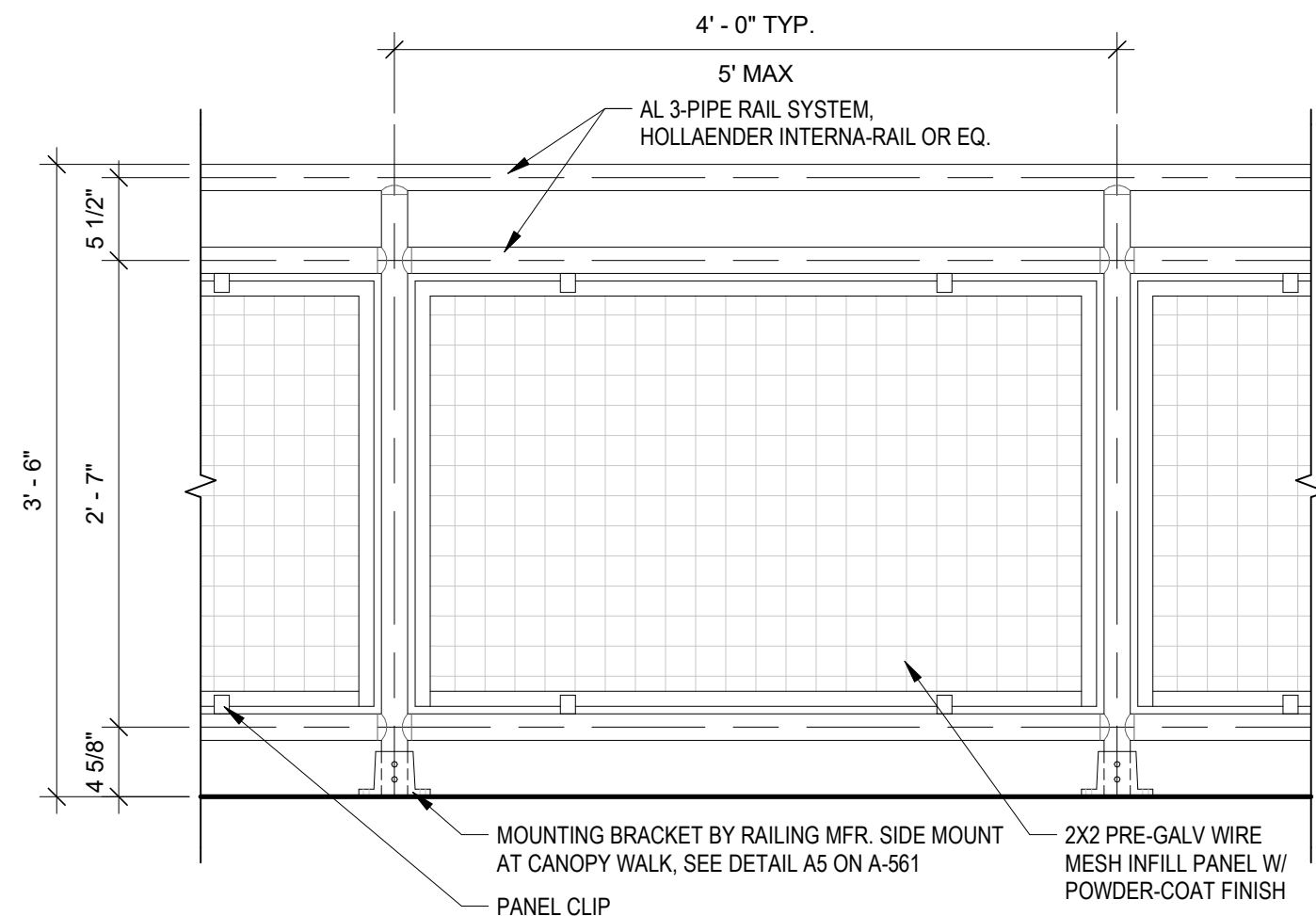


A5 TYP. PANEL END DETAIL
3" = 1'-0"

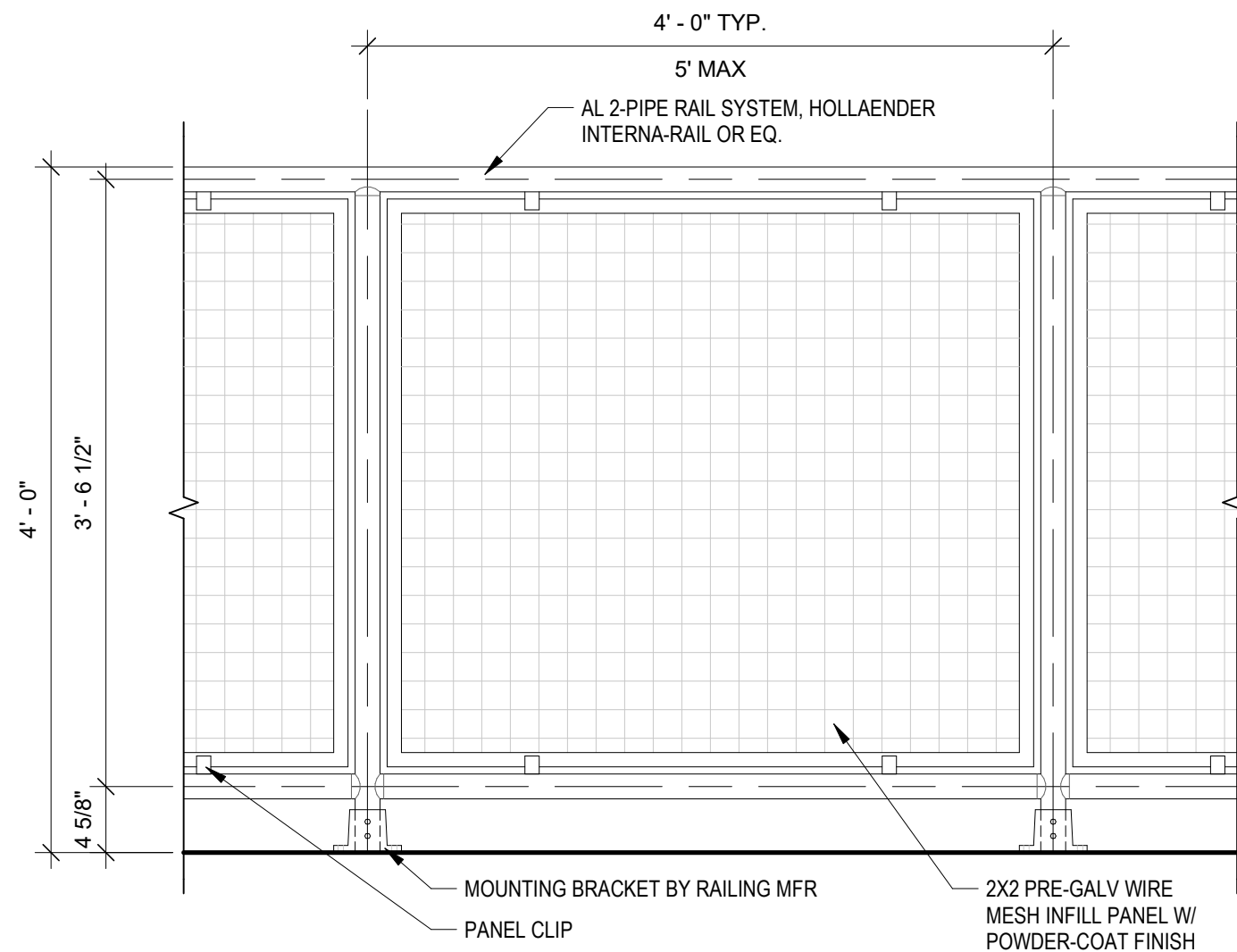
- NOTES:
- SEE ELEVATIONS FOR HIGH DENSITY FIBER CEMENT PANEL LAYOUT DESIGN INTENT. FINAL PANEL LAYOUT IS BY CLADDING MANUFACTURER. PROVIDE SHOP DRAWINGS FOR ARCHITECT REVIEW AND APPROVAL PRIOR TO FABRICATION.
- PANELS SHALL BE VERTICALLY ORIENTED. SINGLE LENGTHS NO GREATER THAN 10'. WITH AVG LENGTH OF 6'. DIRECTIONAL PANEL TEXTURES SHALL ALL BE ORIENTED IN THE SAME DIRECTION. ANGLE PANEL ORIENTATION WHERE INDICATED TO MATCH A 9.46 DEGREE SLOPE (PERPENDICULAR TO 2:12 ROOF SLOPE).
 - PANEL WIDTHS SHALL BE STANDARDIZED AT 1' AND 2' NOMINAL WIDTHS AT FIELD LOCATIONS. RANDOM PATTERN. PROVIDE APPROXIMATELY 75% OF FACADE AREA WITH 2' PANELS AND 25% WITH 1' PANELS.
 - PROVIDE 6" WIDE PANELS AT ALL BUILDING CORNERS.
 - VARIATIONS IN WIDTHS IS ALLOWED AT DOORS AND OPENINGS TO ALIGN PANEL EDGES TO OPENING, OR AT END OF RUN TO MEET LENGTH REQUIRED.
 - PROVIDE HIGH DENSITY FIBER CEMENT RETURN PANEL AT JAMBS OF RECESSED OPENINGS.
 - SPACE BETWEEN PANELS SHALL BE 3/8".
 - HORIZONTAL JOINTS SHALL BE RANDOMLY STAGGERED AT INCRIMENTS OF 2', OR NEAREST FRAME SPACING.
 - PROVIDE JOINT BAFFLES OR CLOSER PANELS AT OPEN JOINTS TO PREVENT TRASH FROM BEING STUFFED INTO THE CAVITY.
 - PROVIDE BUTT OR MITERED OUTSIDE CORNERS.
 - PROVIDE SUPPORT FRAMING BEHIND PANEL-MOUNTED FIXTURES AND EQUIPMENT. FABRICATOR TO COORDINATE WITH ENGINEERING DRAWINGS FOR LOCATIONS.
 - PANEL AND FRAMING MANUFACTURER SHALL COORDINATE WITH BUILDING CONTROL JOINTS TO PROVIDE CONNECTIONS CAPABLE OF MOVEMENT.



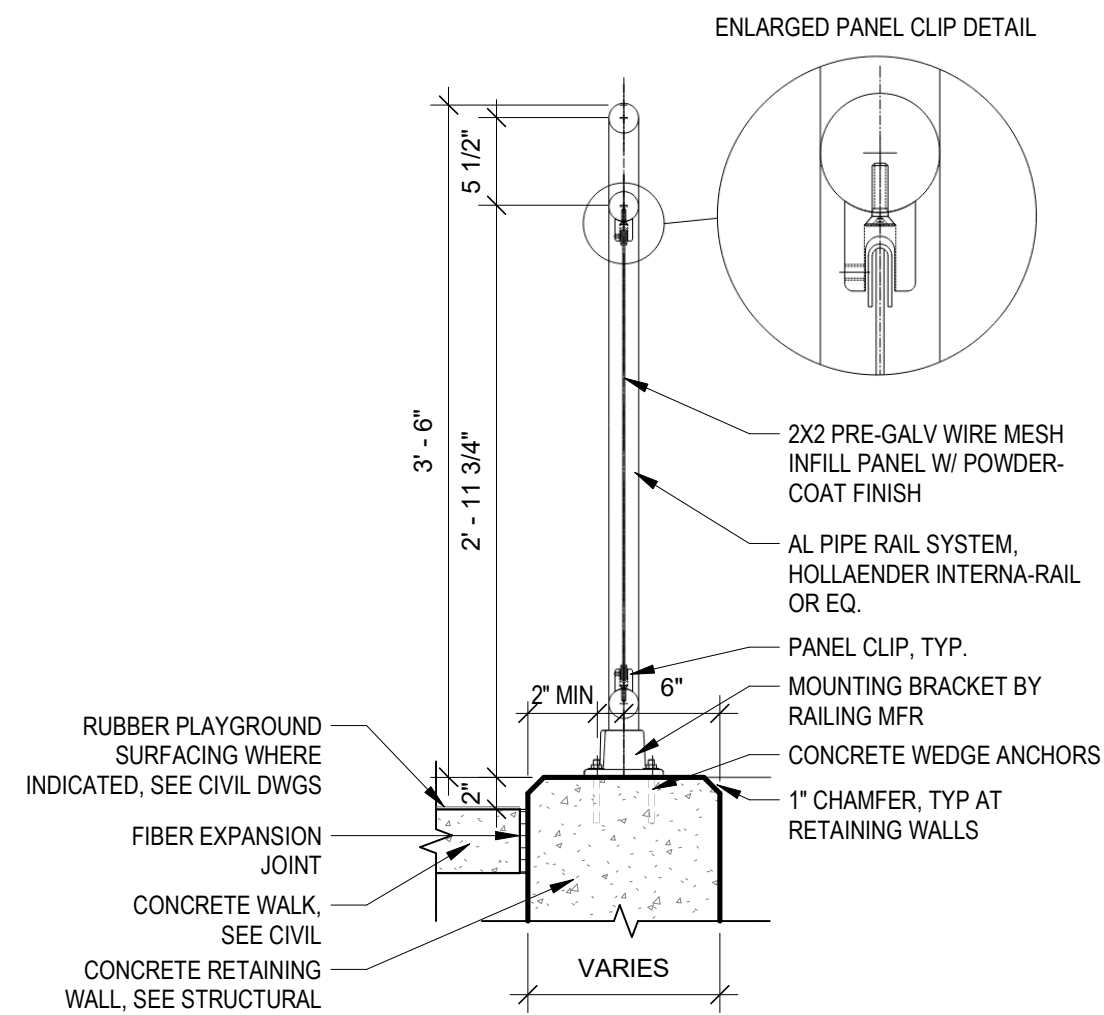
1234567



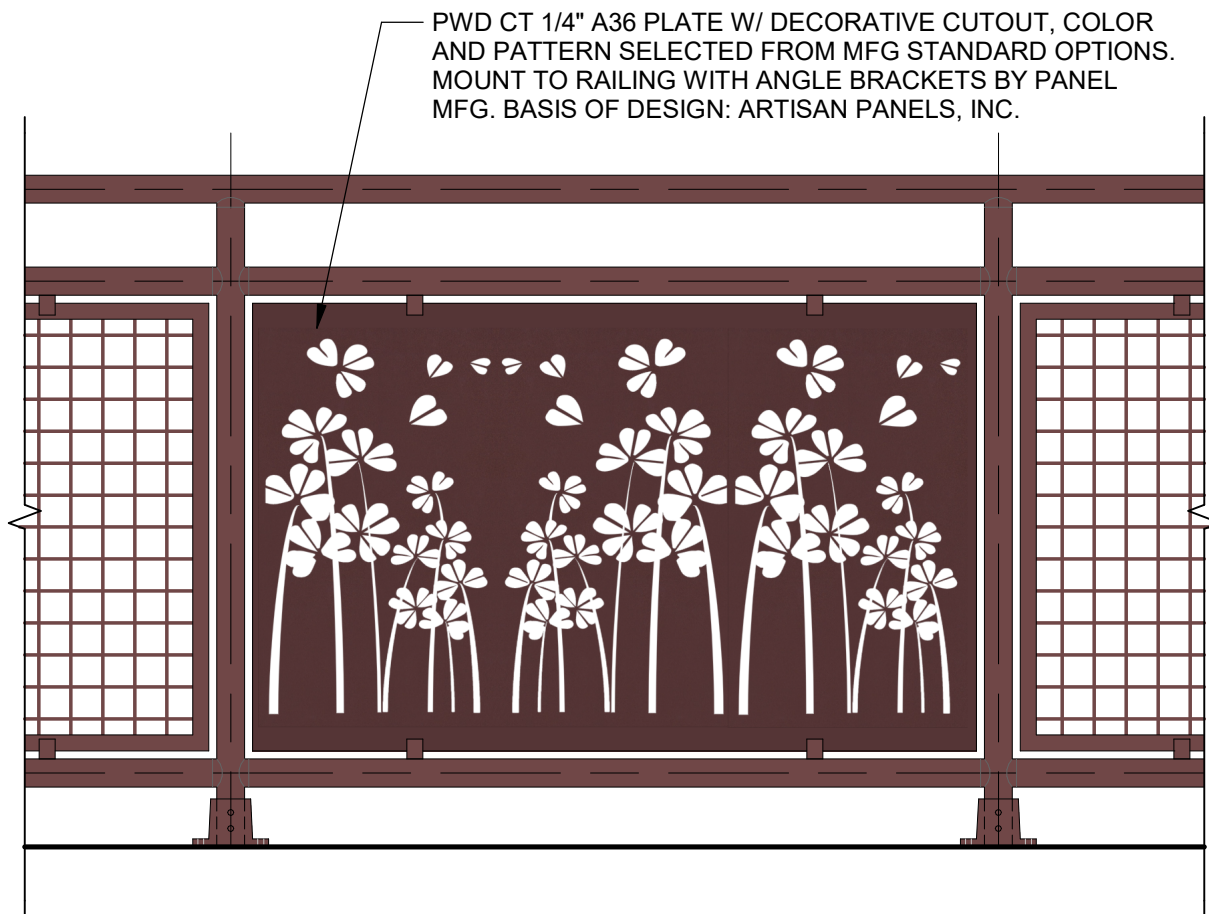
D1 TYP. ELEVATION @ METAL RAILING
1" = 1'-0"



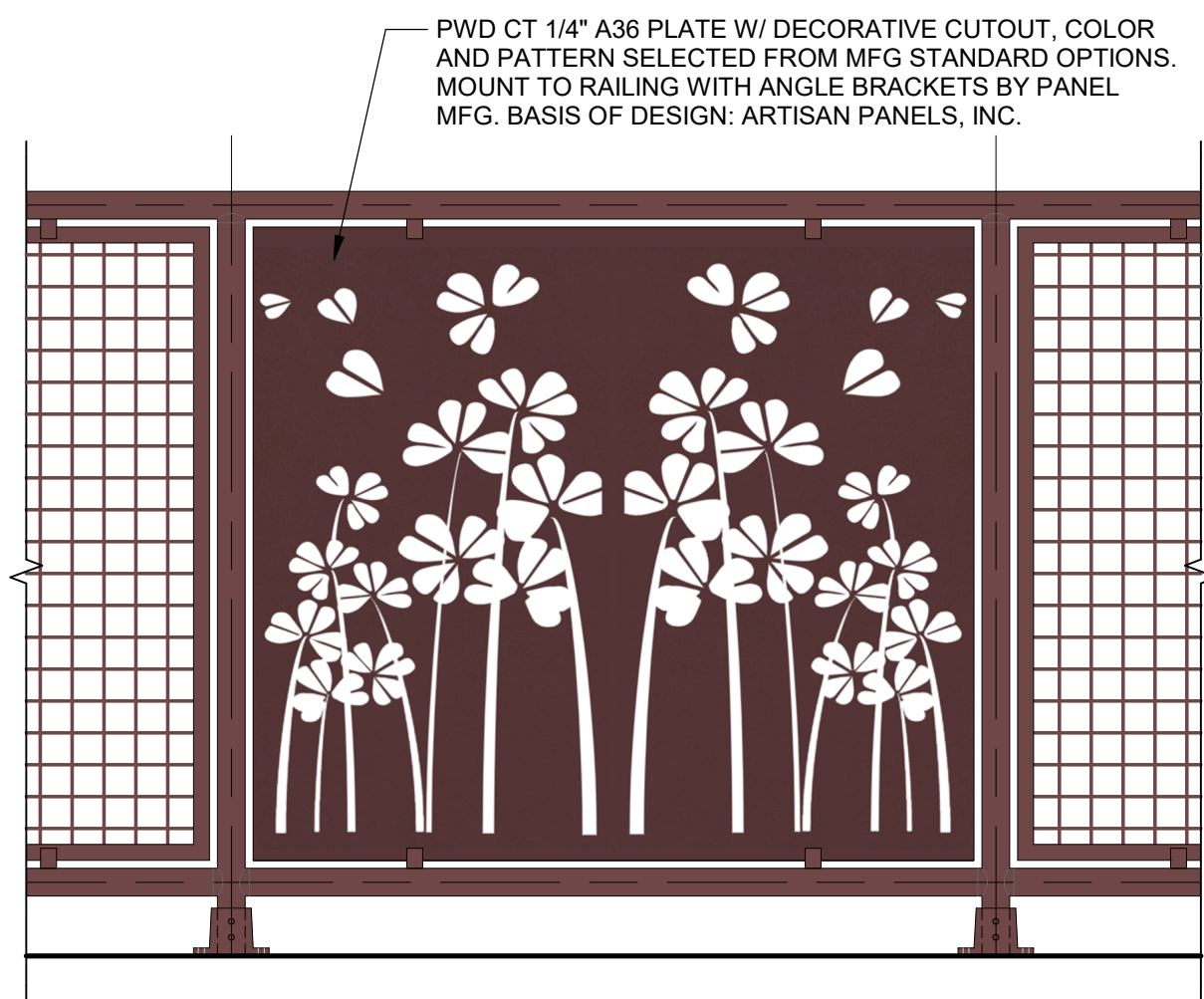
B1 TYP. ELEVATION @ 48" METAL RAILING
1" = 1'-0"



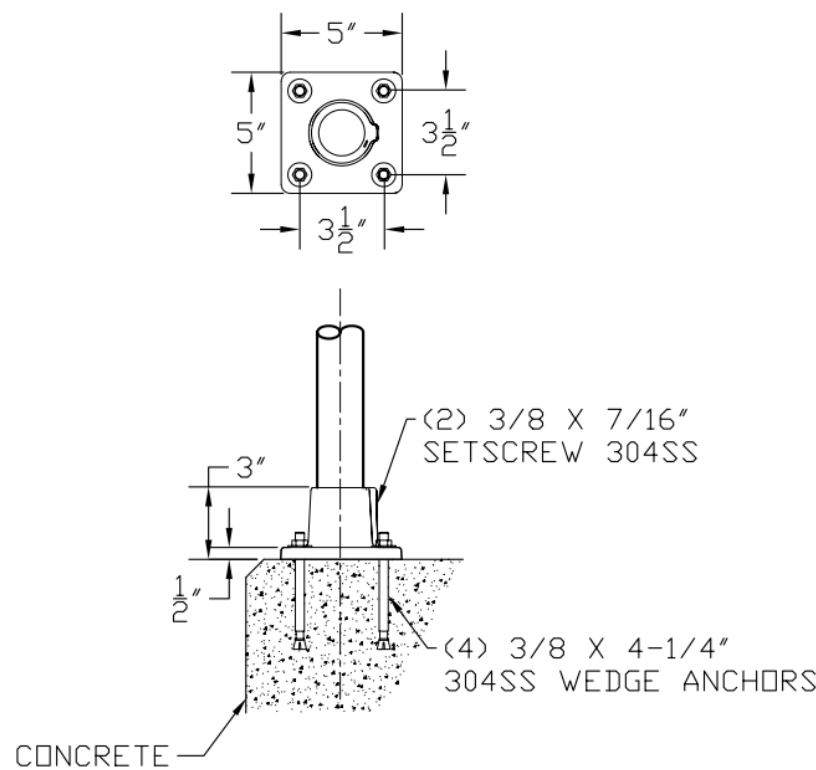
A1 TYP. SECTION @ METAL RAILING
1" = 1'-0"



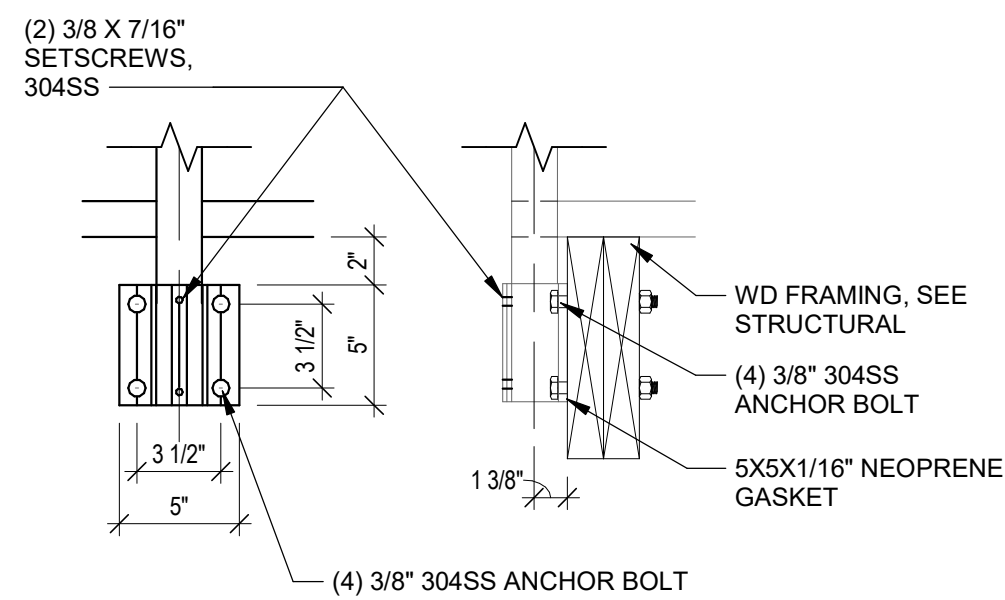
D3 ELEVATION @ DECORATIVE METAL RAILING
1" = 1'-0"



B3 ELEVATION @ 48" DECORATIVE METAL RAILING
1" = 1'-0"



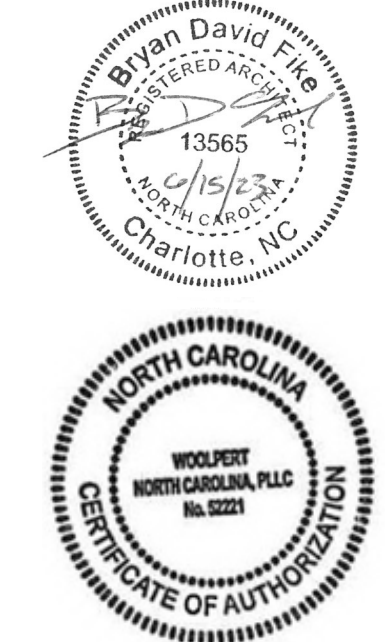
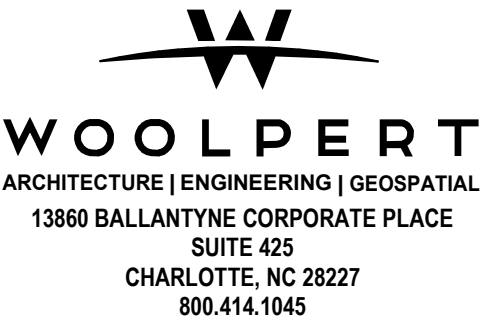
A3 TYP. BASE DETAIL
1 1/2" = 1'-0"



A5 BASE DETAIL @ CANOPY WALK
1 1/2" = 1'-0"

GENERAL NOTES:

- A. RAILING ASSEMBLY MUST MEET 200LB POINT LOAD AND 50LB/LF UNIFORM LOAD PER NCBC 1607.8.1. CONTRACTOR SHALL PROVIDE ENGINEERED SHOP DRAWINGS AND CALCULATIONS SEALED BY A LICENSED ENGINEER IN THE STATE OF NC.
- B. DECORATIVE PANEL INFILLS SHALL MATCH SIZE AND PC FINISH OF MESH INFILL PANELS TO PROVIDE A CONSISTENT GAP WIDTH AND COLOR. SEE SITE PLAN FOR LOCATIONS.
- C. SITE RAILING DETAILS SHOWN ARE TYPICAL TO INDICATE DESIGN INTENT. SEE CIVIL DRAWINGS FOR LAYOUTS AND LOCATION-SPECIFIC REQUIREMENTS.
- D. RAILING AT NATURE PLAYGROUND IS ADD ALTERNATE NO 1. SEE SPECIFICATION SECTION 012300 ALTERNATES AND SITE PLANS.



ISSUANCE SCHEDULE

DATE

NUMBER

C

B

A

CITY OF CONCORD
J.E. "JIM" RAMSEUR PARK
PARKS & RECREATION DEPARTMENT

1252 Cox Mill Rd
Concord, NC 28027

PROJECT NO: 081197
DATE ISSUED: 06/15/2023
DESIGNED BY: BF
DRAWN BY: BF
CHECKED BY: BB

SHEET NAME:
TYP METAL RAILING
DETAILS

SHEET NO:

A-561

01/14/25 -ISSUED FOR BIDDING



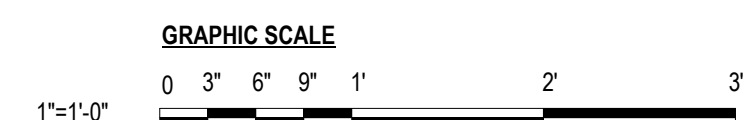
PWD CT 1/4" A36 PLATE W/ DECORATIVE CUTOUT, COLOR AND PATTERN SELECTED FROM MFG STANDARD OPTIONS. MOUNT TO RAILING WITH ANGLE BRACKETS BY PANEL MFG. BASIS OF DESIGN: ARTISAN PANELS, INC.

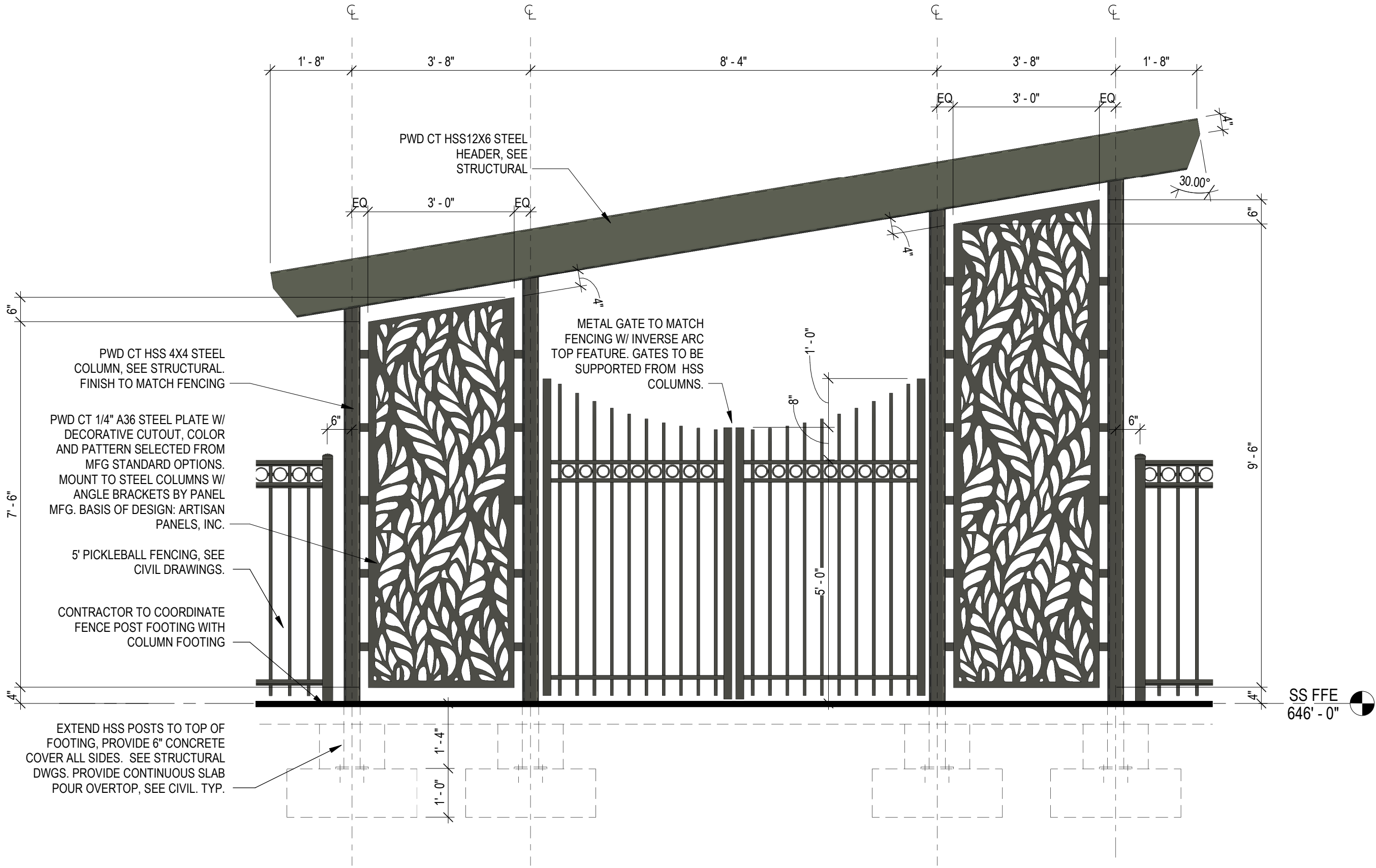
C

1232 COX IVIII RD
Concord, NC 28027

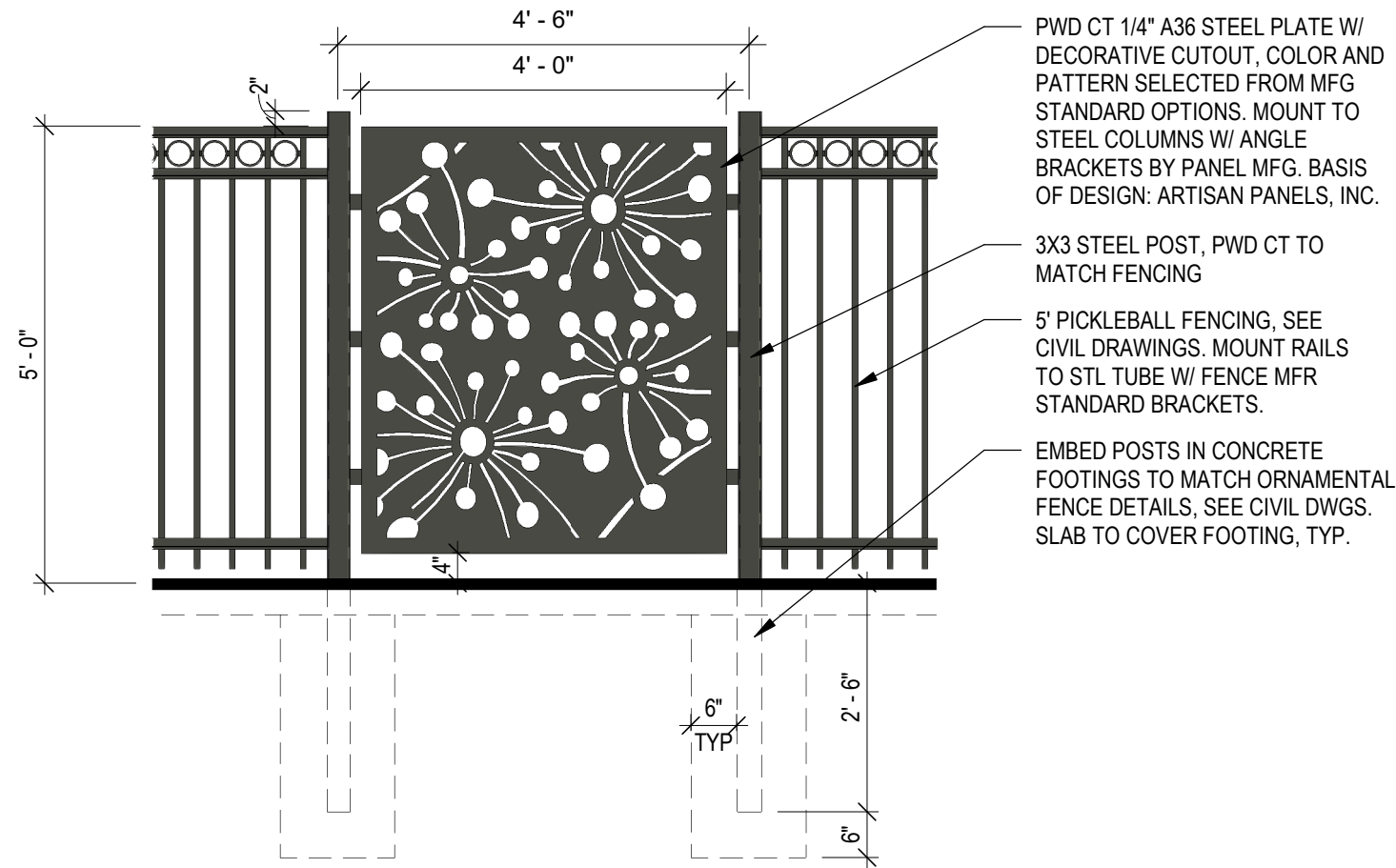
SHEET NO:

A-562

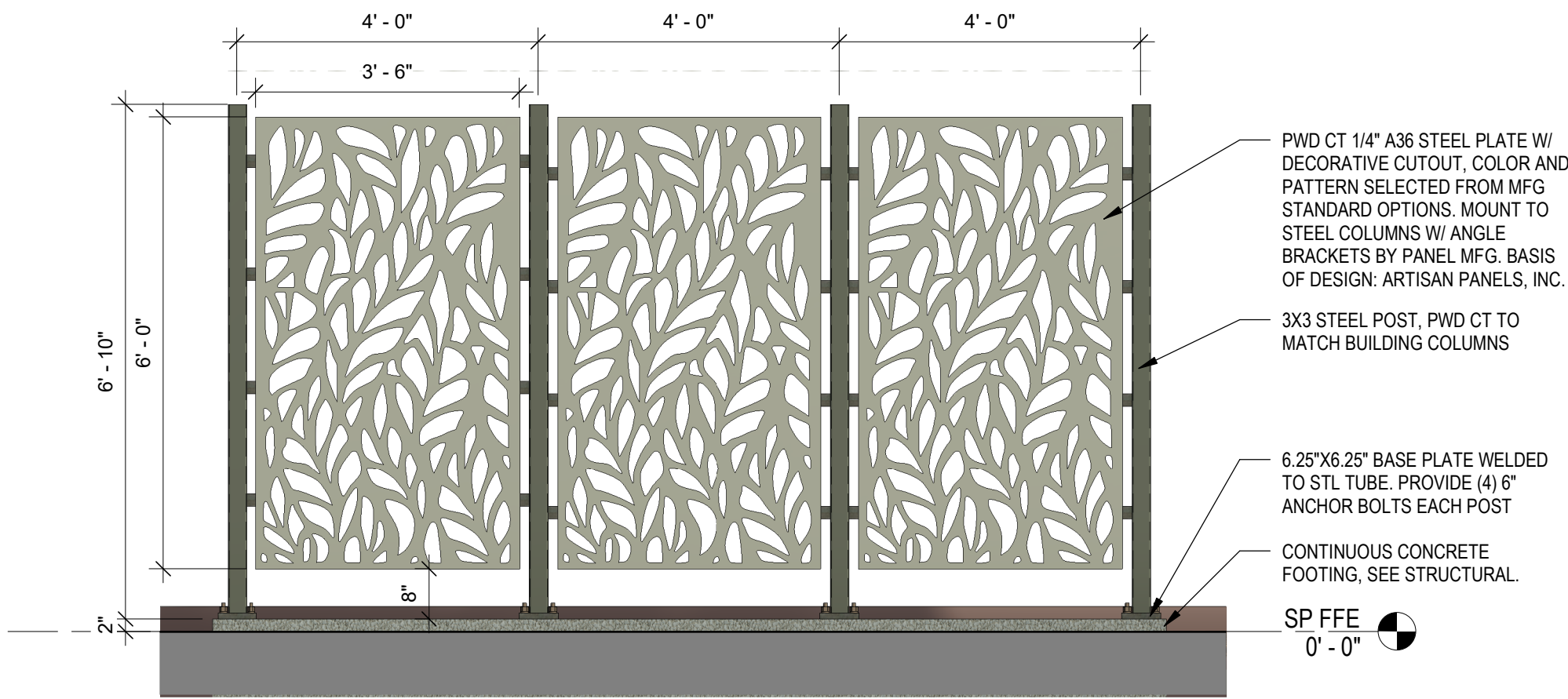




D1 ENLARGED ELEVATION - PICKLEBALL ORNAMENTAL GATES (+1 OPPOSITE)
1/2" = 1'-0"



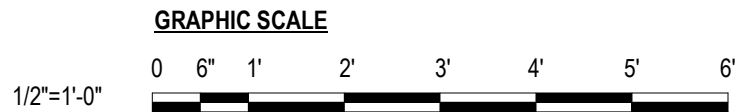
D5 ELEVATION - PICKLEBALL ORNAMENTAL PANELS (6)
1/2" = 1'-0"



B1 ELEVATION - SPLASHPAD ORNAMENTAL PANELS (2)
1/2" = 1'-0"



SAMPLE PATTERN OPTIONS FROM ARTISAN PANELS, INC. FINAL PATTERN DESIGN TO BE SELECTED FROM MANUFACTURER FULL LINE OF PATTERNS SIZED TO FIT PANEL SIZE AND SHAPE.



ISSUANCE SCHEDULE	DESCRIPTION
NUMBER	DATE

CITY OF CONCORD
J.E. "JIM" RAMSEUR PARK
PARKS & RECREATION DEPARTMENT

1252 Cox Mill Rd
Concord, NC 28027

PROJECT NO: 081197
DATE ISSUED: 06/15/2023
DESIGNED BY: BF
DRAWN BY: BF
CHECKED BY: BB

SHEET NAME:
ORNAMENTAL METAL
PANEL DETAILS

SHEET NO:

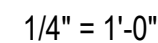
A-563

DOOR NO.	DOOR TYPE	DOOR					FRAME			RATING		DETAILS			HARDWARE SET	DOOR NOTES
		WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH	TYPE	MATERIAL	FINISH	STC	FIRE	HEAD	JAMB	SILL		
PICKLEBALL RESTROOM																
PB101	D1	3'-0"	7'-0"	1 3/4"	HM	PT	F2	HM	PT			A5/A-602	A6/A-602	A4-A-602	HWD 8	
PB102	D1	3'-0"	7'-0"	1 3/4"	HM	PT	F2	HM	PT			A5/A-602	A6/A-602	A4-A-602	HWD 1	
PB103	D1	3'-0"	7'-0"	1 3/4"	HM	PT	F2	HM	PT			A5/A-602	A6/A-602	A4-A-602	HWD 8	
PB104	D1	3'-0"	7'-0"	1 3/4"	HM	PT	F2	HM	PT			A1/A-602	A2/A-602	A4-A-602	HWD 2	
PB105	D1	3'-0"	7'-0"	1 3/4"	HM	PT	F2	HM	PT			A1/A-602	A2/A-602	A4-A-602	HWD 2	
PB106	D1	3'-0"	7'-0"	1 3/4"	HM	PT	F2	HM	PT			A1/A-602	A2/A-602	A4-A-602	HWD 2	
SPLASHPAD PAVILION																
SP101	D4	6'-0"	7'-0"	1 3/4"	HM	PT	F2	HM	PT			A5/A-602	A6/A-602	A4/A-602	HDW 9	
SP102	D4	6'-0"	7'-0"	1 3/4"	HM	PT	F2	HM	PT			A5/A-602	A6/A-602	A4/A-602	HDW 9	
SP103	D1	3'-0"	7'-0"	1 3/4"	HM	PT	F2	HM	PT		45 MIN	A5/A-602	A6/A-602	A4/A-602	HDW 10	3/4" UNDERCUT
SP104	D1	3'-0"	7'-0"	1 3/4"	HM	PT	F2	HM	PT			A1/A-602	A2/A-602	A4/A-602	HDW 1.1	
SP105	D1	3'-0"	7'-0"	1 3/4"	HM	PT	F2	HM	PT			A1/A-602	A2/A-602	A4/A-602	HDW 1.1	
SP106	D1	3'-0"	7'-0"	1 3/4"	HM	PT	F2	HM	PT			A1/A-602	A2/A-602	A4/A-602	HDW 1.1	
SP107	D1	3'-0"	7'-0"	1 3/4"	HM	PT	F2	HM	PT			A1/A-602	A2/A-602	A4/A-602	HDW 1.1	
BASKETBALL RESTROOM																
BB101	D1	3'-0"	7'-0"	1 3/4"	HM	PT	F3	HM	PT			A5/A602	A6/A-602	A4/A-602	HDW 1	
BB102	D1	3'-0"	7'-0"	1 3/4"	HM	PT	F3	HM	PT			A5/A602	A6/A-602	A4/A-602	HDW 1	
BB103	D1	3'-0"	7'-0"	1 3/4"	HM	PT	F2	HM	PT			A1/A602	A2/A-602	A4/A-602	HDW 2	
BB104	D1	3'-0"	7'-0"	1 3/4"	HM	PT	F2	HM	PT			A1/A602	A2/A-602	A4/A-602	HDW 1	
MAINTENANCE BUILDING																
MB100A	D1	3'-0"	7'-0"	1 3/4"	HM	PT	F2	HM	PT			B4/A-602	A2+-B5/A-602	A4/A-602	HDW 3	
MB100B	D1	3'-0"	7'-0"	1 3/4"	HM	PT	F2	HM	PT			B4/A-602	A2+-B5/A-602	A4/A-602	HDW 3	
MB100C	OH	9'-0"	9'-0"	1"		PC			PT			A1/A-502-MB	A1/A-502-MB	E4/A-502MB	HDW 4	
MB100D	OH	9'-0"	9'-0"	1"		PC			PT			A1/A-502-MB	A1/A-502-MB	E4/A-502MB	HDW 4	
MB101	D1	3'-0"	7'-0"	1 3/4"	HM	PT	F1	HM	PT			B1/A-602	D2-B2/A-602	C1/A-701	HDW 5	
MB102	D2	3'-0"	7'-0"	1 3/4"	HM	PT	F1	HM	PT			B1/A-602	D2-B2/A-602	C1/A-701	HDW 6	
MB103	D1	3'-0"	7'-0"	1 3/4"	HM	PT	F1	HM	PT			B1/A-602	D2-B2/A-602		HDW 7	

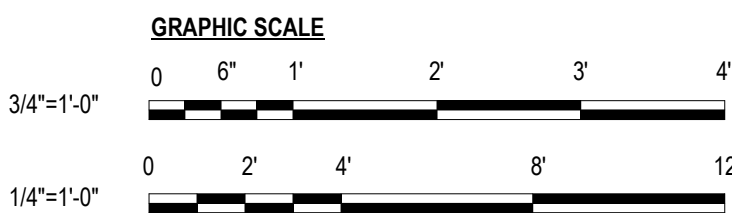
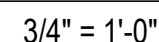
ROOM NUMBER	ROOM NAME	SIGN TYPE	SIGN TEXT	SIGN NOTES
PICKLEBALL RESTROOM				
PB101	MEN	B	MEN	EXTERIOR SIGN
PB101	MEN	G	NO SMOKING	EXTERIOR SIGN
PB102	FAMILY RESTROOM	A	FAMILY RESTROOM	EXTERIOR SIGN
PB103	WOMEN	C	WOMEN	EXTERIOR SIGN
PB104	IT	E	IT	EXTERIOR SIGN
PB104	IT	F	AUTHORIZED PERSONNEL ONLY	EXTERIOR SIGN
PB105	JANITOR	E	JANITOR	EXTERIOR SIGN
PB106	STORAGE	E	STORAGE	EXTERIOR SIGN
PB106	STORAGE	G	NO SMOKING	EXTERIOR SIGN
SPLASHPAD PAVILION				
SP101	PARK STORAGE	E	STORAGE	EXTERIOR SIGN
SP103	CHEMICAL STO	G	NO SMOKING	EXTERIOR SIGN
SP102	PUMP ROOM	E	PUMP ROOM	EXTERIOR SIGN
SP102	PUMP ROOM	F	AUTHORIZED PERSONNEL ONLY	EXTERIOR SIGN
SP103	CHEMICAL STO	E	CHEMICAL STORAGE	
SP104	ALL GENDER RR	D	ALL GENDER RESTROOM	EXTERIOR SIGN
SP105	ALL GENDER RR	D	ALL GENDER RESTROOM	EXTERIOR SIGN
SP106	ALL GENDER RR	D	ALL GENDER RESTROOM	EXTERIOR SIGN
SP106	ALL GENDER RR	G	NO SMOKING	EXTERIOR SIGN
SP107	ALL GENDER RR	D	ALL GENDER RESTROOM	EXTERIOR SIGN
SP107	ALL GENDER RR	H	ADULT CHANGING STATION	EXTERIOR SIGN
BASKETBALL RESTROOM				
BB101	ALL GENDER RR	D	ALL GENDER RESTROOM	EXTERIOR SIGN
BB101	ALL GENDER RR	G	NO SMOKING	EXTERIOR SIGN
BB102	ALL GENDER RR	D	ALL GENDER RESTROOM	EXTERIOR SIGN
BB103	JANITOR / STORAGE	E	JANITOR	EXTERIOR SIGN
BB103	JANITOR / STORAGE	G	NO SMOKING	EXTERIOR SIGN
BB104	ALL GENDER RR	D	ALL GENDER RESTROOM	EXTERIOR SIGN
MAINTENANCE BUILDING				
MB100	SHOP	E	MAINTENANCE SHOP	EXTERIOR SIGN
MB100	SHOP	G	NO SMOKING	EXTERIOR SIGN
MB101	RR	D	RESTROOM	
MB102	OFFICE/ BREAKROOM	E	OFFICE/ BREAKROOM	
MB103	IT	E	IT	
MB103	IT	F	AUTHORIZED PERSONNEL ONLY	

1. HOLLOW METAL FRAMES SHALL BE SOLID GROUTED AT MASONRY CONDITIONS, TROWLED NOT PUMPED.
2. DOORS AND FRAMES SHALL BE FACTORY PRIMED, FIELD PAINTED.
3. HARDWARE SETS ARE PROVIDED IN THE DOOR HARDWARE SPECIFICATION.
4. HARDWARE SHALL BE US320 SATIN STAINLESS STEEL OR US260 SATIN CHROMIUM PLATED FINISH UNLESS OTHERWISE NOTED.
5. PROVIDE 7-PIN INTERCHANGABLE CORES (IC) FOR ALL CYLINDERS AND KEYING U.O.N. OR ELECTRIFIED.
6. COORDINATE WITH OWNER'S 3RD PARTY LOCKING SYSTEM PROVIDER FOR FINAL LOCKING SYSTEM HARDWARE PRIOR TO SUBMITTING SHOP DRAWINGS FOR APPROVAL.
7. COORDINATE FRAME PREP AND CONDUIT ROUTING FOR ELECTRIFIED HARDWARE. ALL CONDUIT TO/FROM DOORS, FRAMES, AND HARDWARE SHALL BE CONCEALED AND J-BOXES EMBEDDED WHERE POSSIBLE. REFER TO ELECTRICAL DWGS AND HARDWARE SETS FOR LOCATIONS.

1. SIGNAGE REPRESENTED IN THESE DOCUMENTS ARE TO BE USED FOR DIAGRAMMATIC AND INFORMATIONAL PURPOSES ONLY.
2. SIGNAGE MANUFACTURER SHALL PREPARE SHOP DRAWINGS AND SUBMIT TO ARCHITECT WITH SAMPLES FOR APPROVAL BEFORE COMMENCING WITH MANUFACTURING AND INSTALLATION.
3. ALL SIGNS SHALL COMPLY WITH AMERICANS WITH DISABILITIES ACCESSIBILITY ACT GUIDELINES (ADAAG).
4. SINGNAME SHALL BE ON A DARK BROWN OR GREY BACKGROUND. COLOR SAMPLES SHALL BE SUBMITTED TO THE ARCHITECT FOR THE OWNER'S APPROVAL.
5. WALL MOUNTING SYSTEM SHALL BE INSTALLED/ADHERED PER MANUFACTURERS REQUIREMENTS.
6. THE SIGN MOUNTING LOCATION CRITERIA SHALL COMPLY WITH ADAAG REQUIREMENTS, CHAPTER 11 OF 2018 NBC, AND ANSI A117.1.(2017)
7. EXTERIOR SIGNS WILL HAVE STAINLESS STEEL MOUNTING RECESSED SCREWS.
8. CONTRACTOR TO COORDINATE FINAL PLACEMENT OF SIGNAGE NOT TO SPAN TWO SEPARATE GLADDING PANELS. COORDINATE WITH OWNER PRIOR TO INSTALLATION.



Ⓣ = TEMPERED SAFETY GLASS



DATE _____

NUMBER

1252 Cox Mill Rd
Concord, NC 28027

SHEET NAME:
DOOR SCHEDULE, TYPES,
HARDWARE, & SIGNAGE

SHEET NO

A-601

01/14/25 -ISSUED FOR BIDDING

6/13/2023 5:36:50 PM

Autodesk Docs://JE Ramseur Park/ W_081197_JE Ramseur Park - Site.rvt



ISSUANCE SCHEDULE
NUMBER DATE DESCRIPTION

CITY OF CONCORD
J.E. "JIM" RAMSEUR PARK
PARKS & RECREATION DEPARTMENT

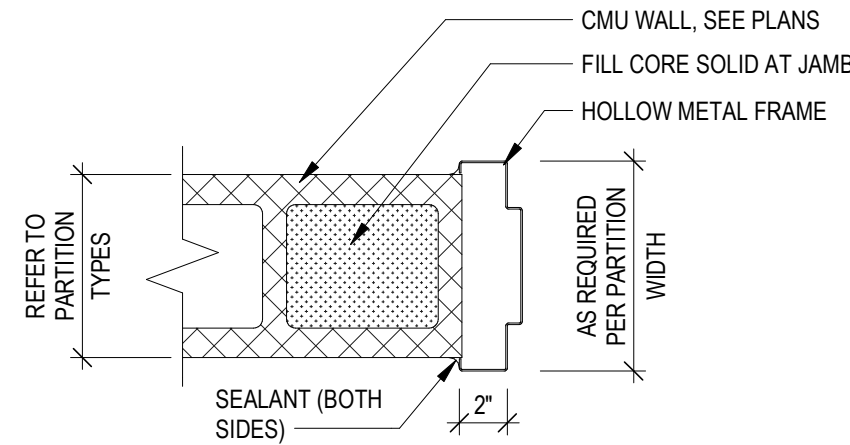
1252 Cox Mill Rd
Concord, NC 28027

PROJECT NO: 081197
DATE ISSUED: 06/15/2023
DESIGNED BY: DL
DRAWN BY: DL
CHECKED BY: BB

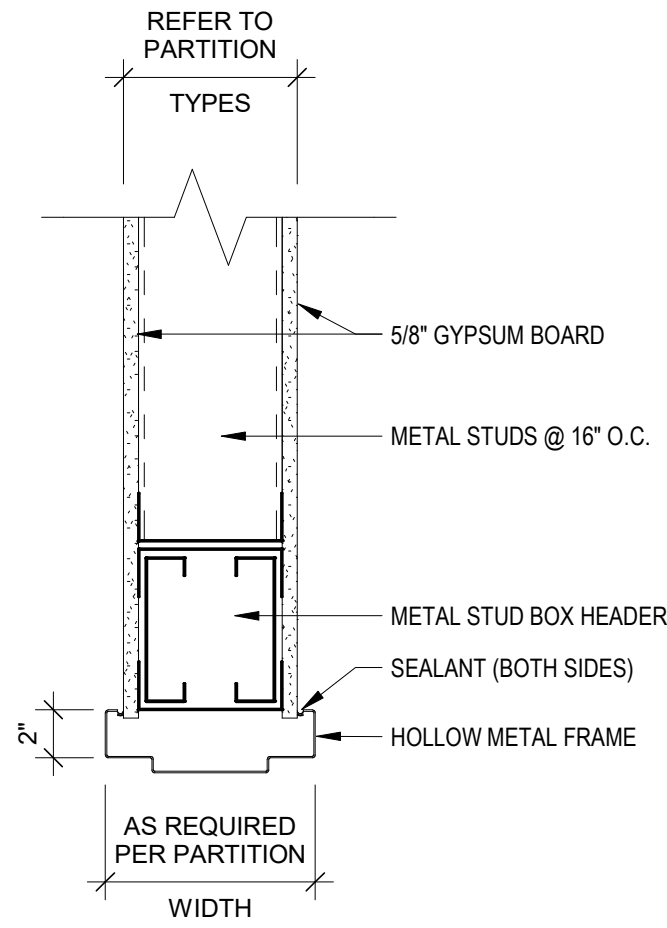
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DOOR DETAILS

SHEET NO:

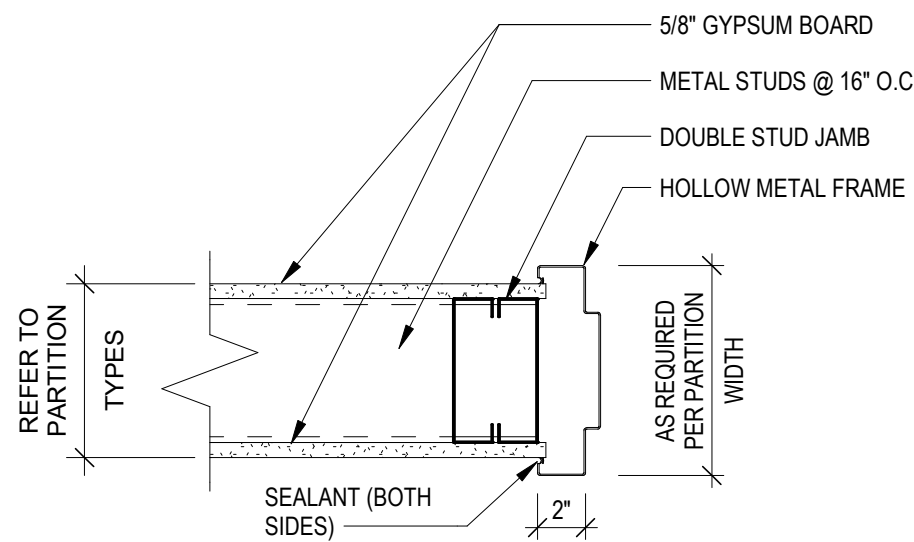
A-602



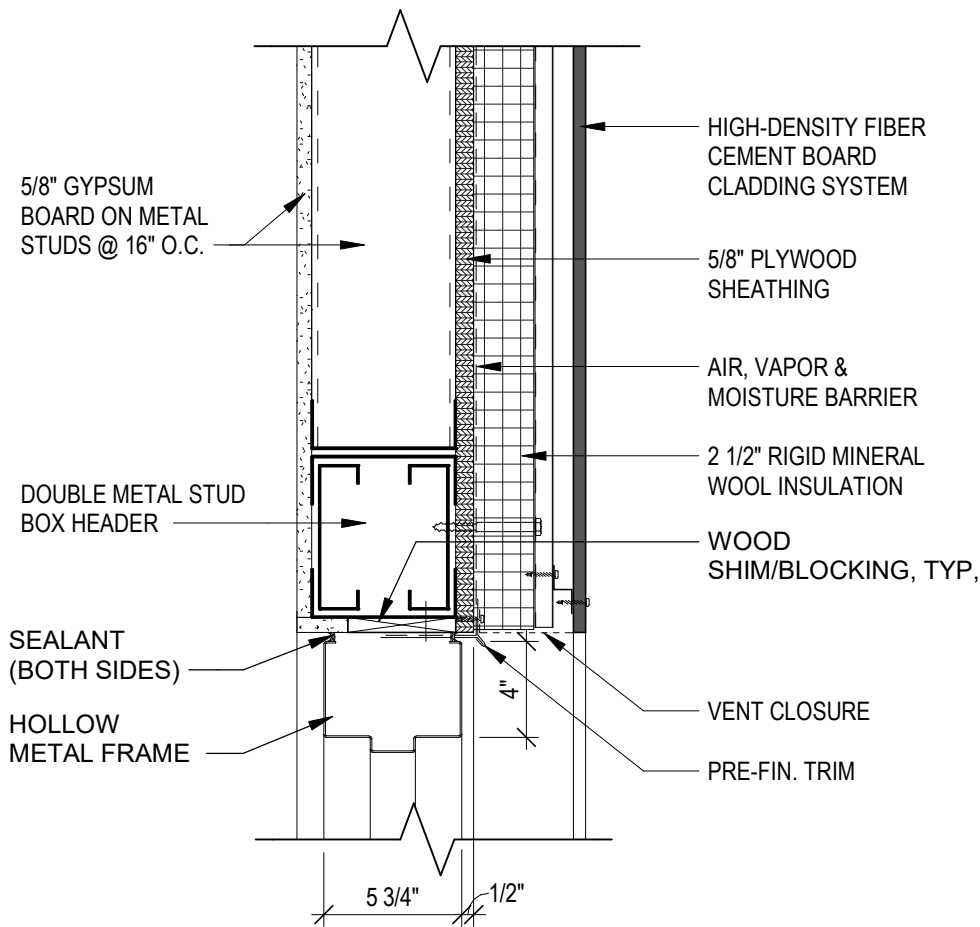
D2 JAMB DETAIL
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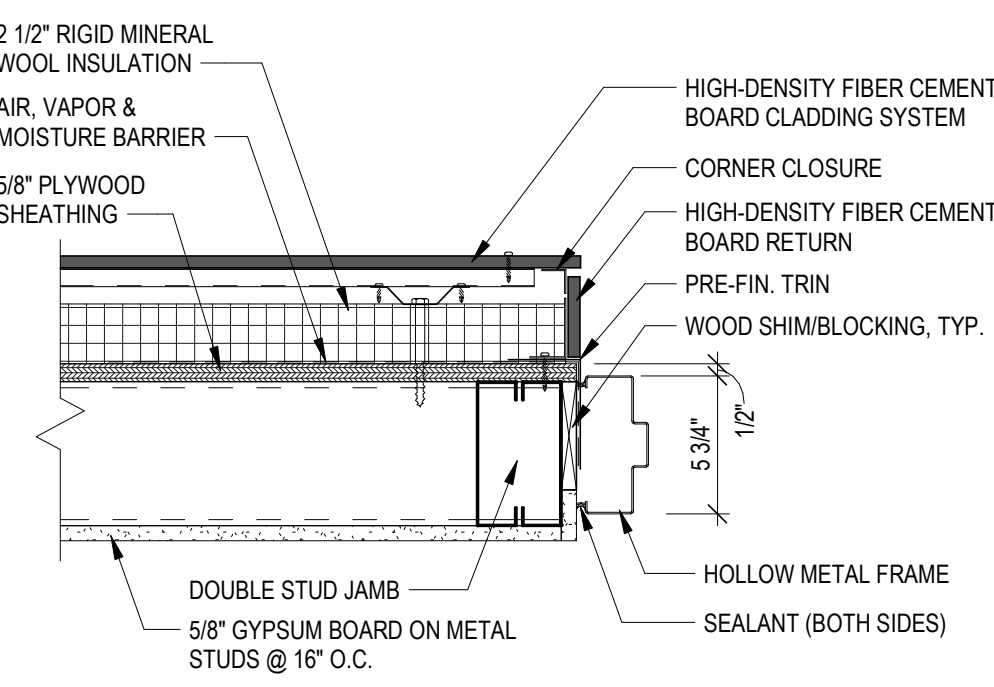
B1 HEAD DETAIL
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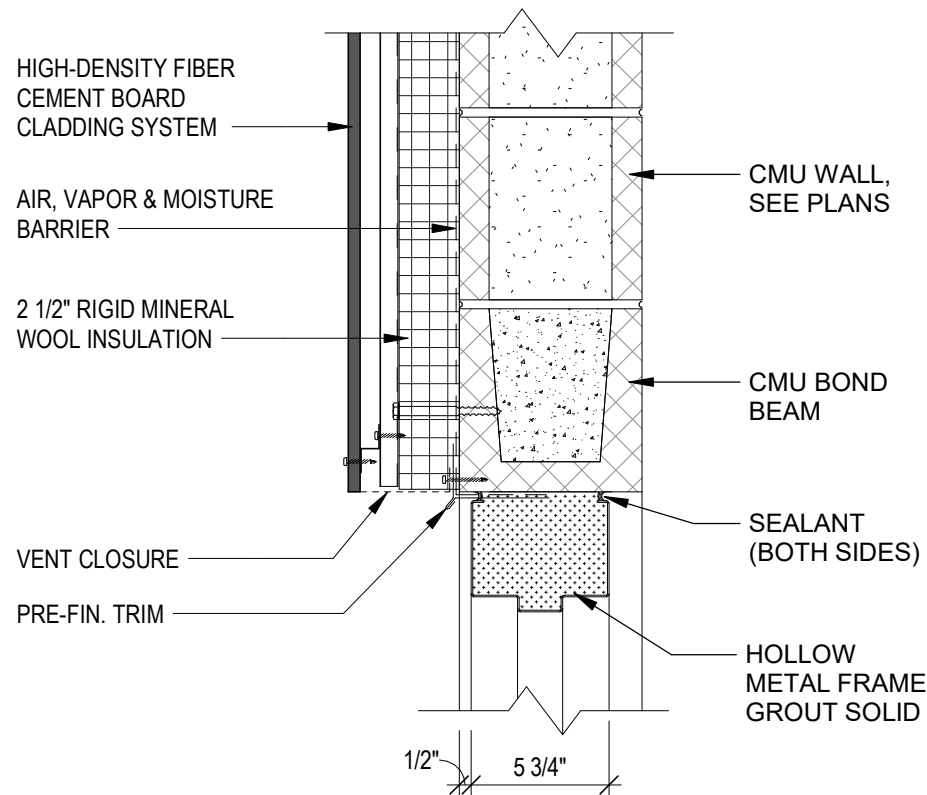
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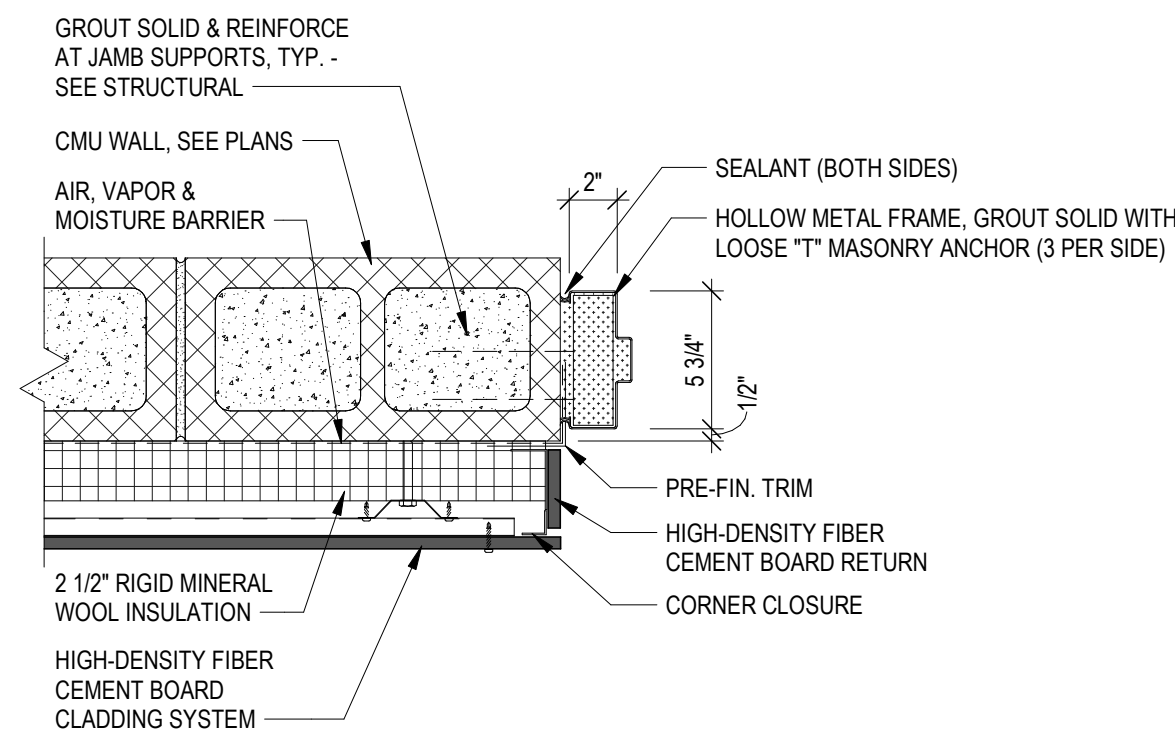
B4 HEAD DETAIL
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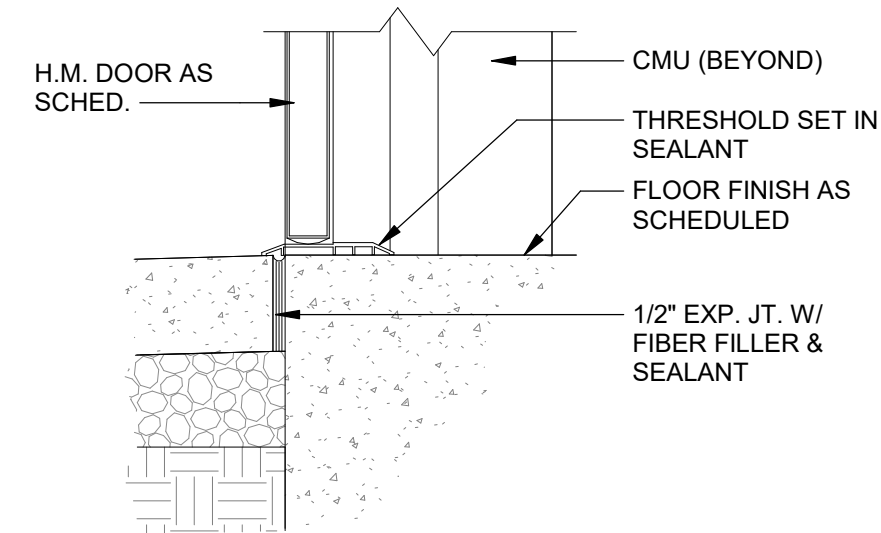
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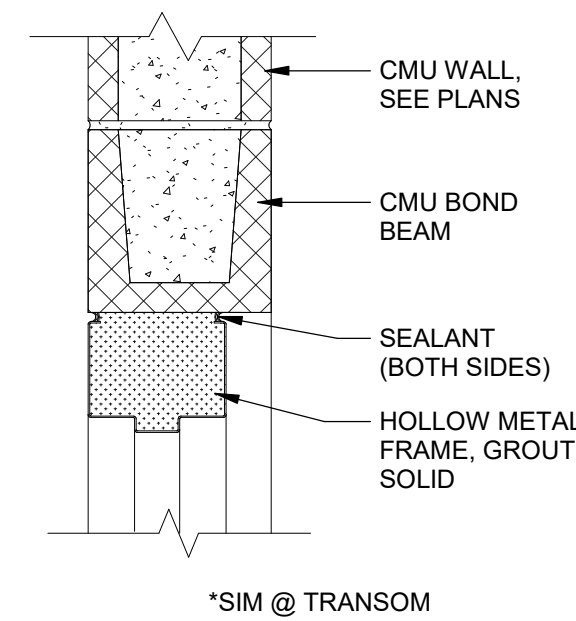
A1 HEAD DETAIL
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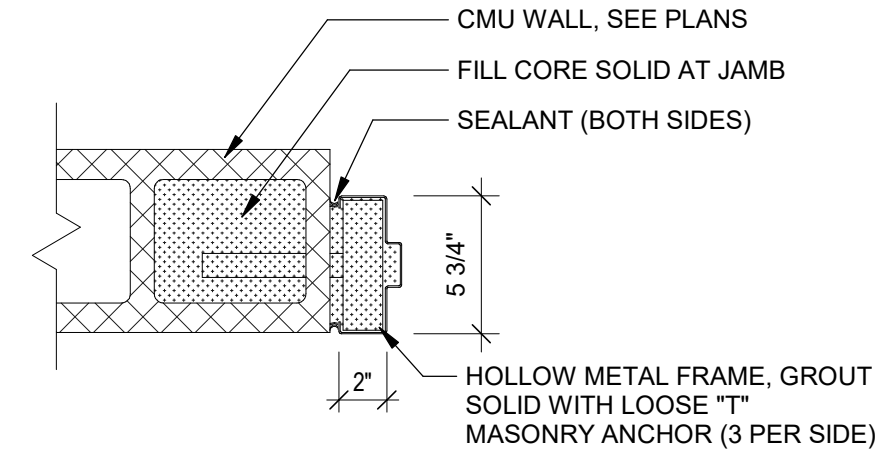
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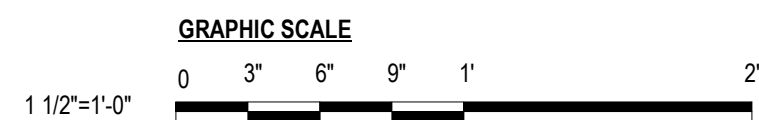
A4 SILL DETAIL
SCALE : 1 1/2" = 1'-0"



A5 HEAD DETAIL
SCALE : 1 1/2" = 1'-0"

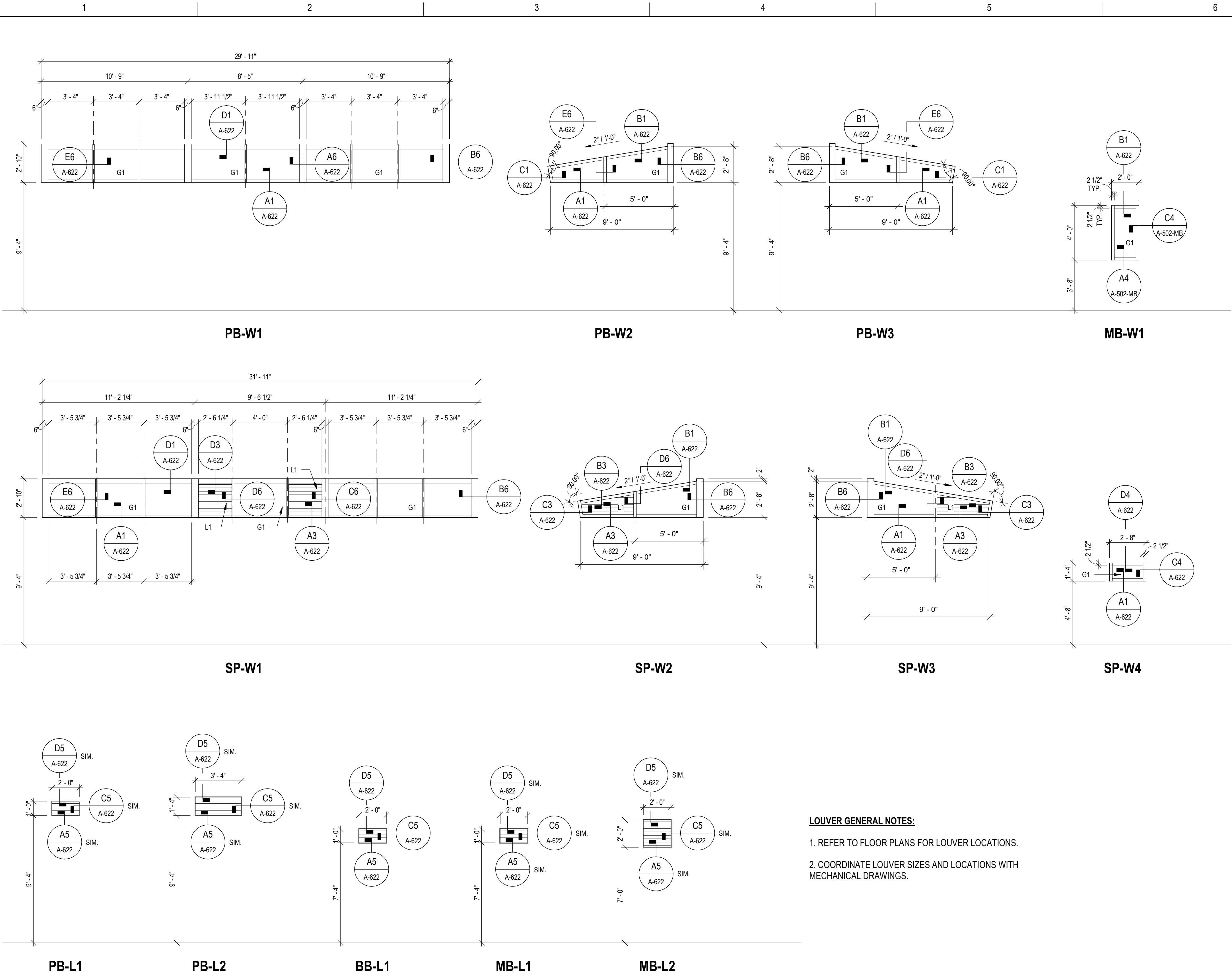


A6 JAMB DETAIL
SCALE : 1 1/2" = 1'-0"



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Autodesk Docs://JE Ramsey Park/ W_081197_JE Ramsey Park - Site.rvt



WINDOW GLAZING TYPES

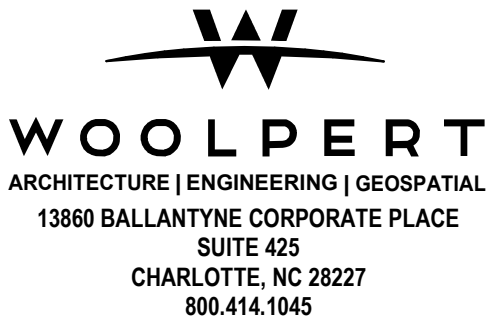
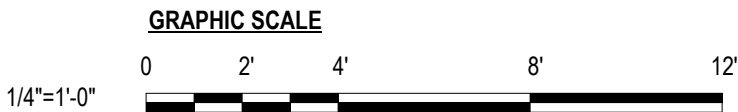
	G1	INSULATED GLASS
	L1	LOUVER INFILL PANELS

STOREFRONT & LOUVER TYPES

1/4" = 1'-0"

LOUVER GENERAL NOTES:

1. REFER TO FLOOR PLANS FOR LOUVER LOCATIONS.
2. COORDINATE LOUVER SIZES AND LOCATIONS WITH MECHANICAL DRAWINGS.



ISSUANCE SCHEDULE

NUMBER DATE DESCRIPTION

CITY OF CONCORD
J.E. "JIM" RAMSEUR PARK
PARKS & RECREATION DEPARTMENT

1252 Cox Mill Rd
Concord, NC 28027

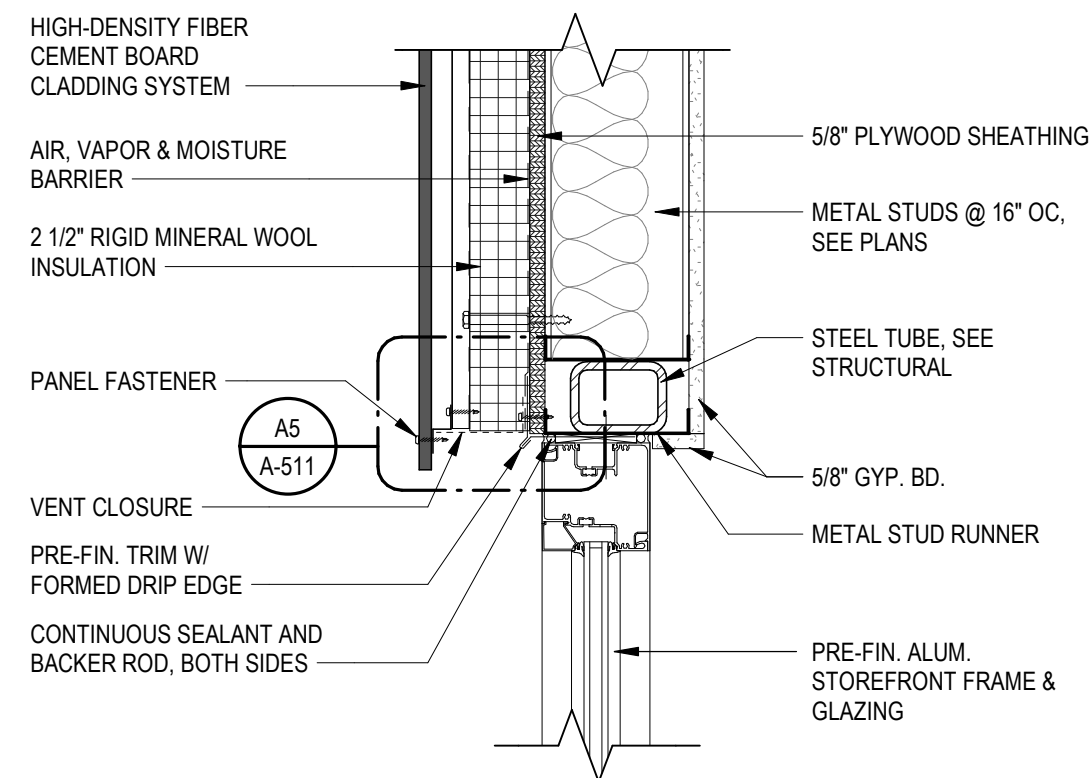
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SHEET NAME:
STOREFRONT AND
LOUVER ELEVATIONS

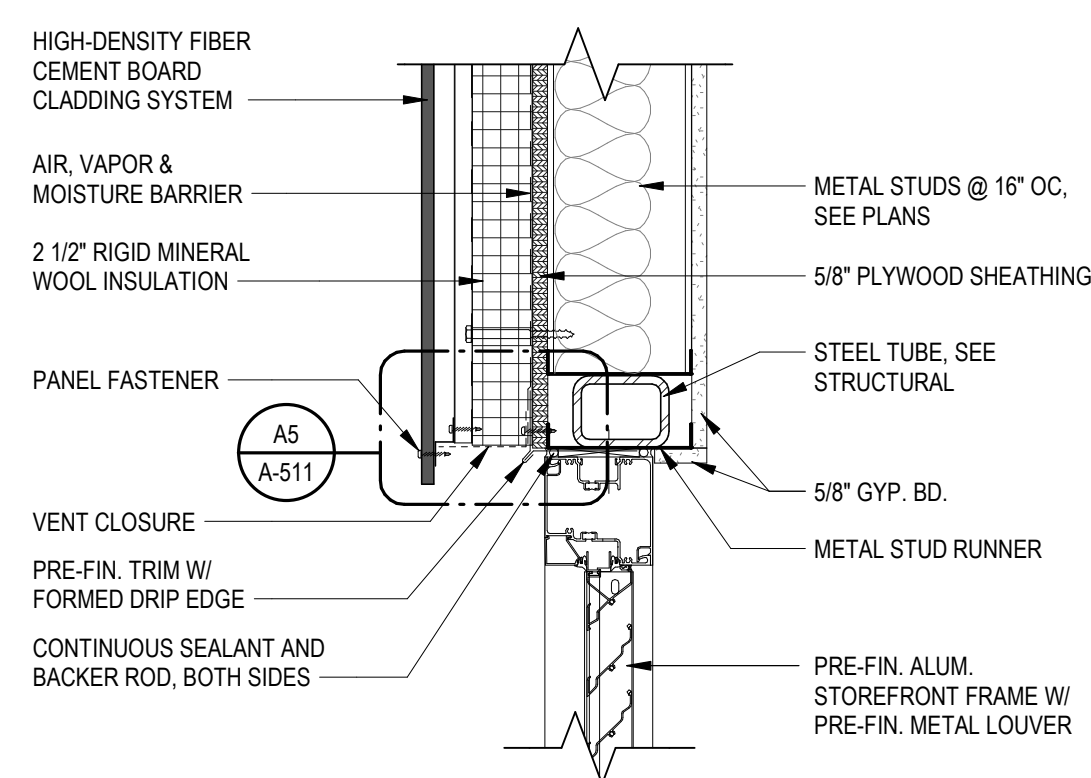
SHEET NO:

A-621

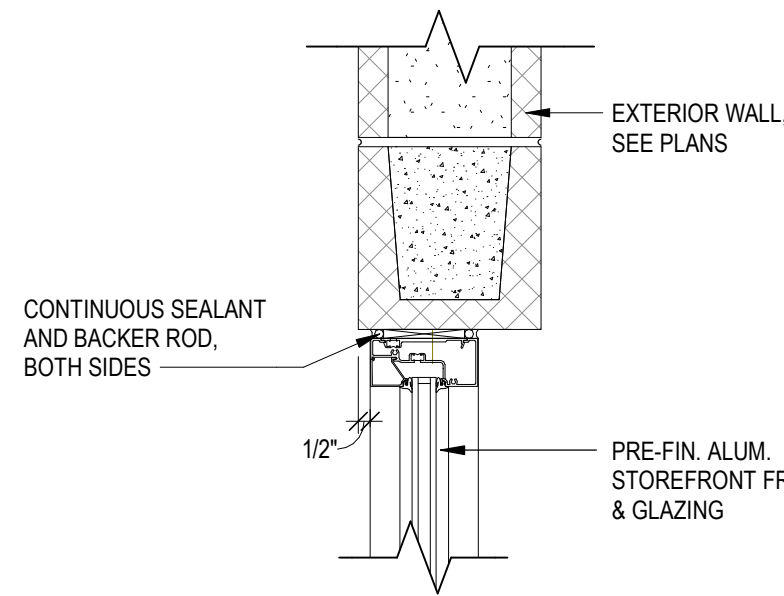
01/14/25 -ISSUED FOR BIDDING



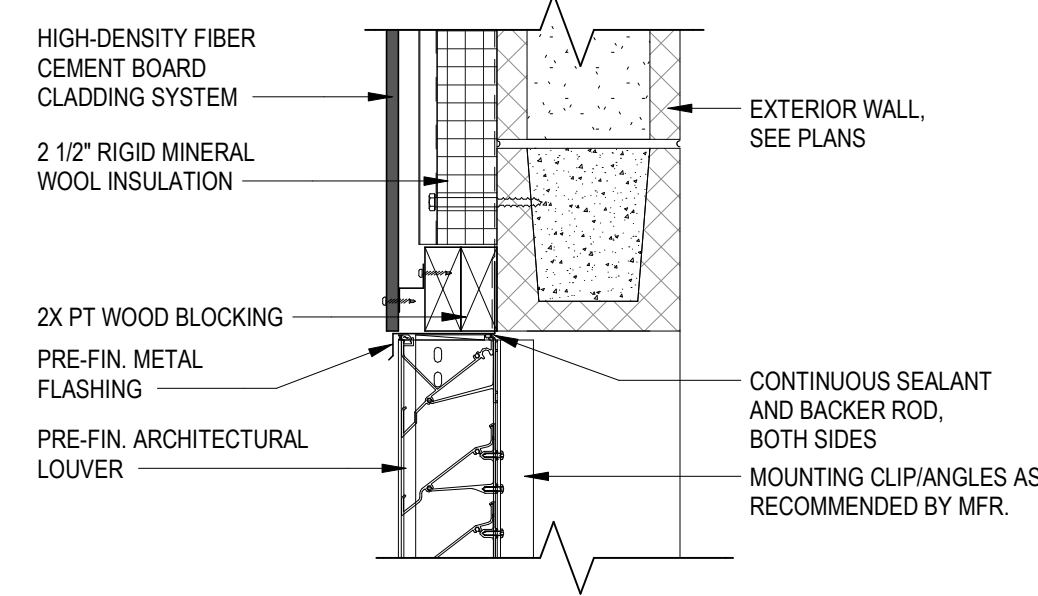
D1 TYP. STOREFRONT DETAIL - HEAD
1 1/2" = 1'-0"



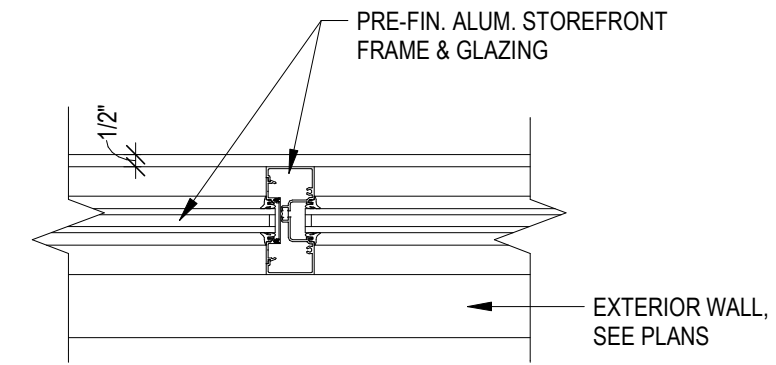
D3 TYP. LOUVER DETAIL - HEAD
1 1/2" = 1'-0"



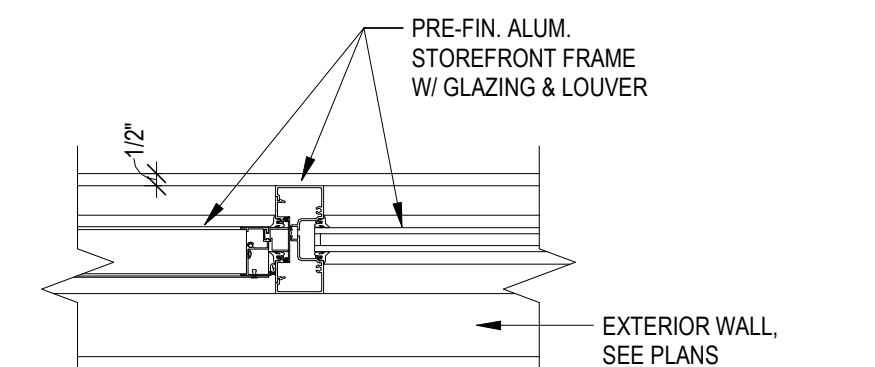
D4 TYP. STOREFRONT DETAIL - HEAD
1 1/2" = 1'-0"



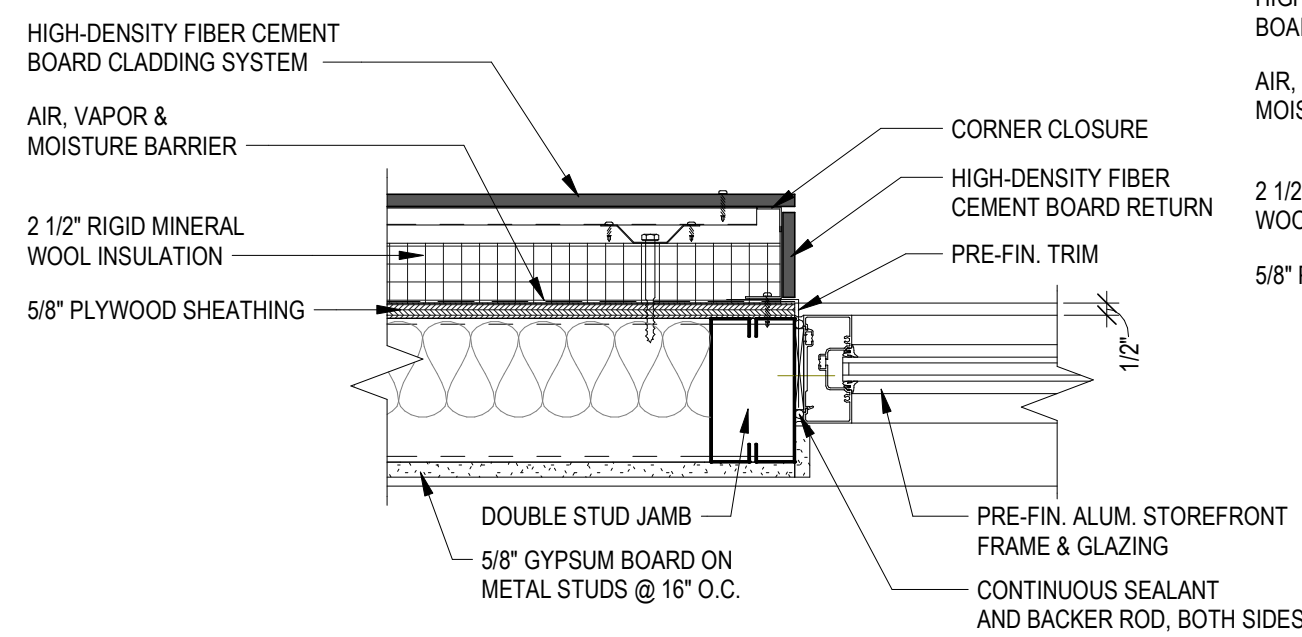
D5 TYP. LOUVER DETAIL - HEAD
1 1/2" = 1'-0"



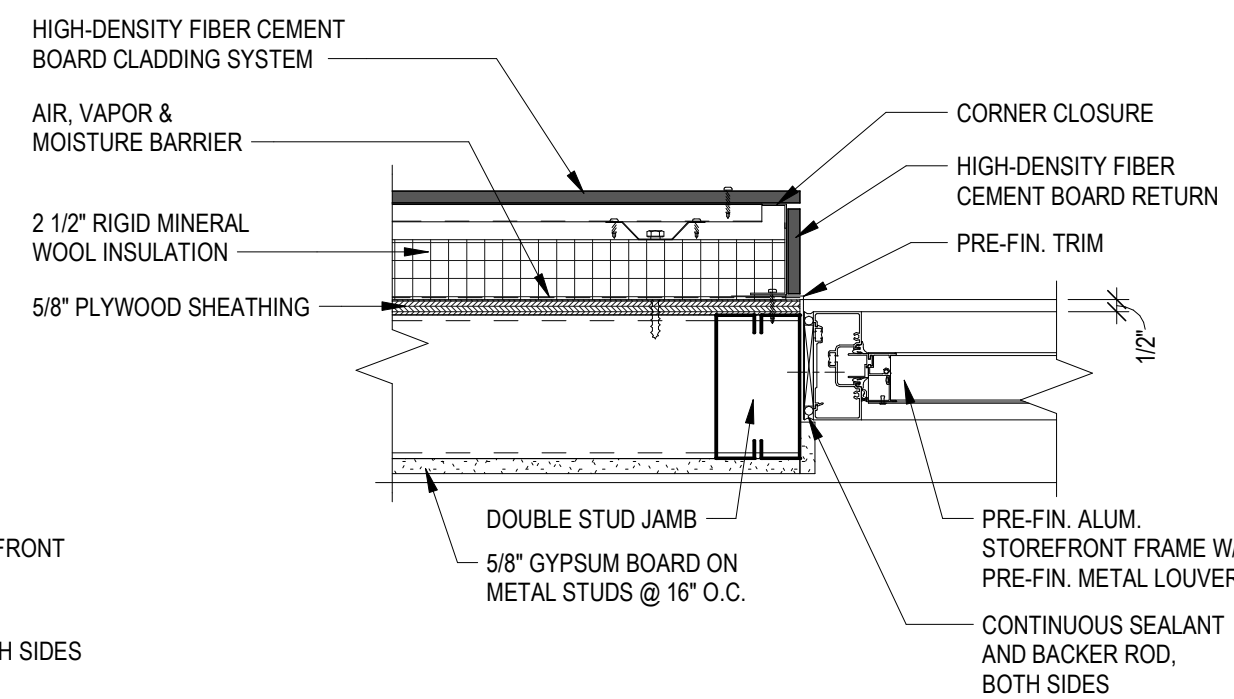
E6 TYP. STOREFRONT DETAIL - MULLION
1 1/2" = 1'-0"



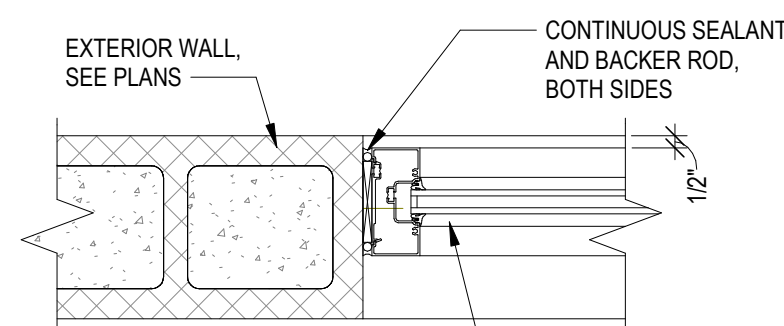
D6 TYP. STOREFRONT DETAIL - MULLION
1 1/2" = 1'-0"



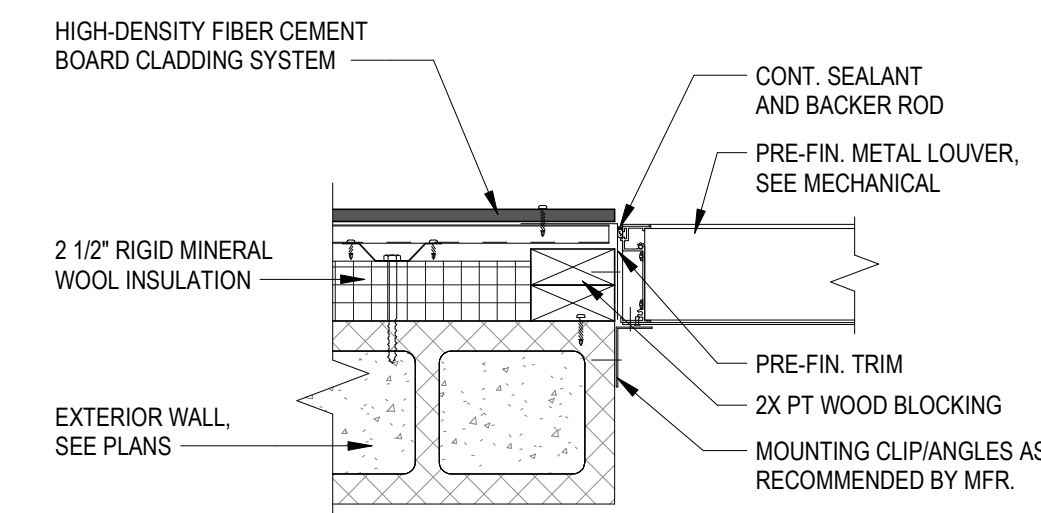
C1 TYP. STOREFRONT DETAIL - JAMB
1 1/2" = 1'-0"



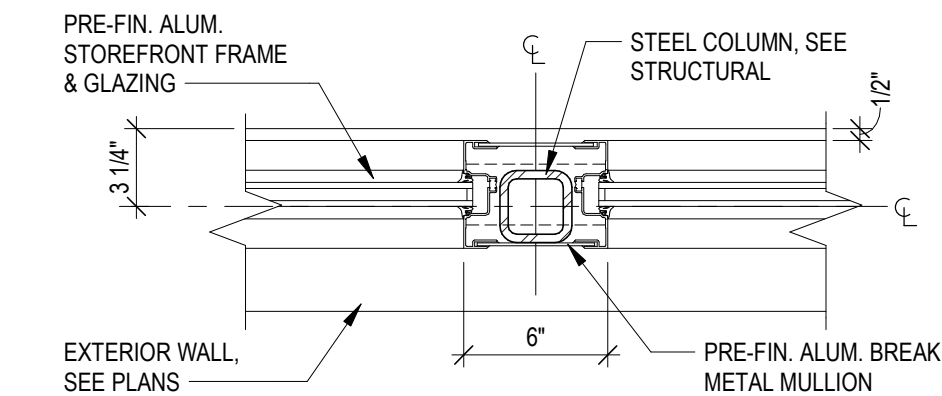
C3 TYP. LOUVER DETAIL - JAMB
1 1/2" = 1'-0"



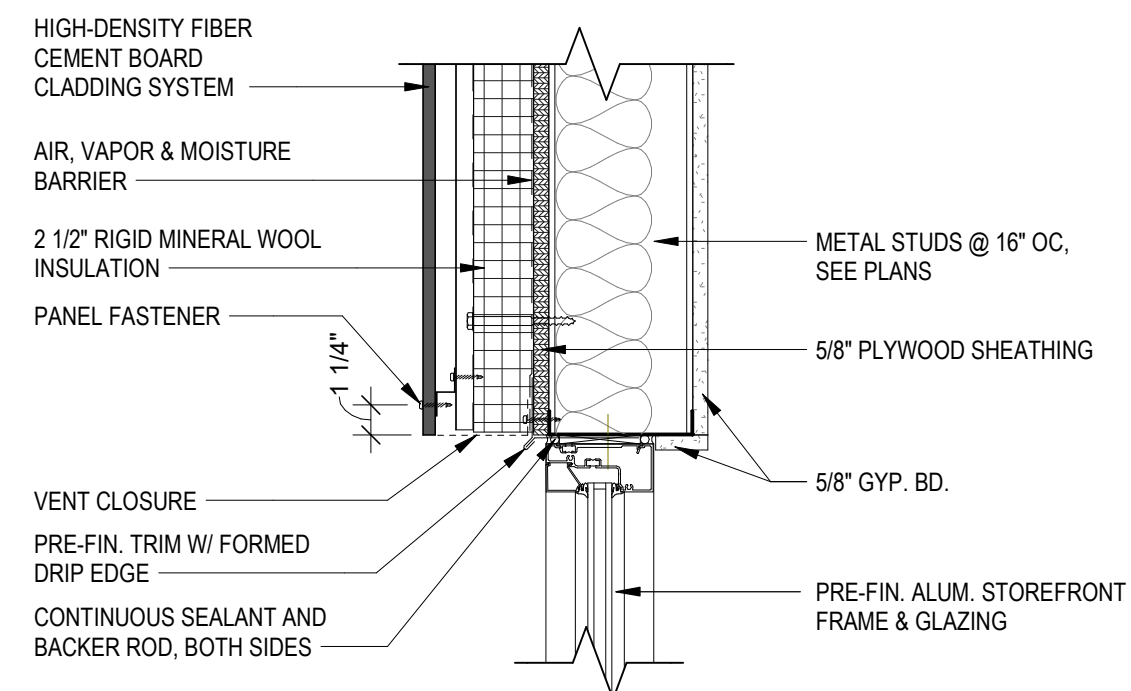
C4 TYP. STOREFRONT DETAIL - JAMB
1 1/2" = 1'-0"



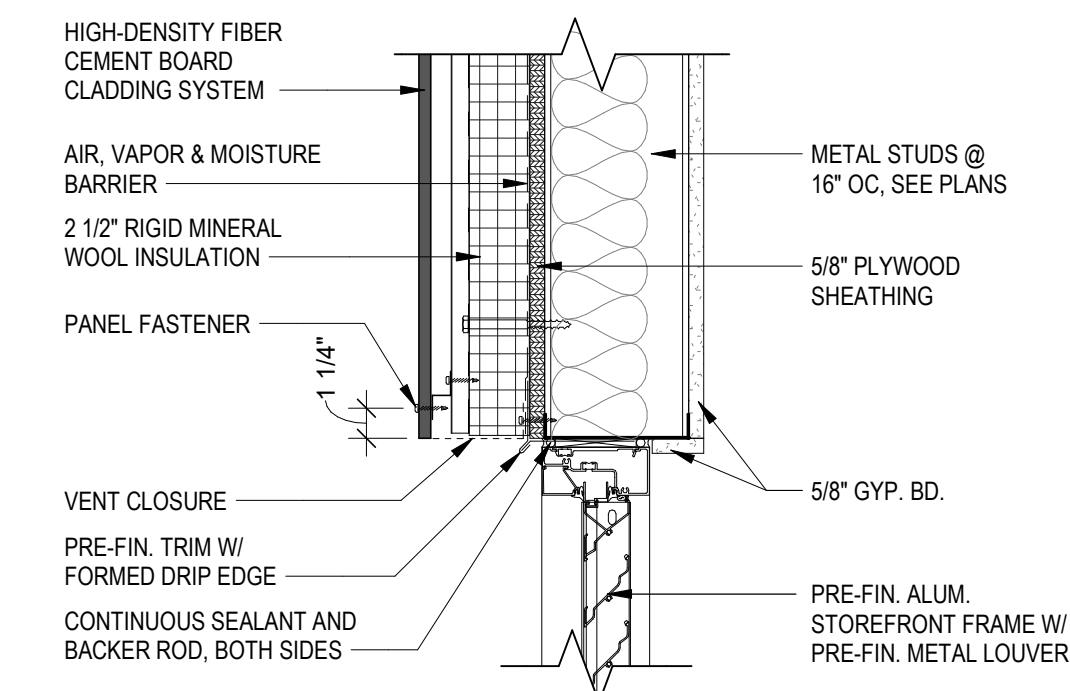
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1 1/2" = 1'-0"



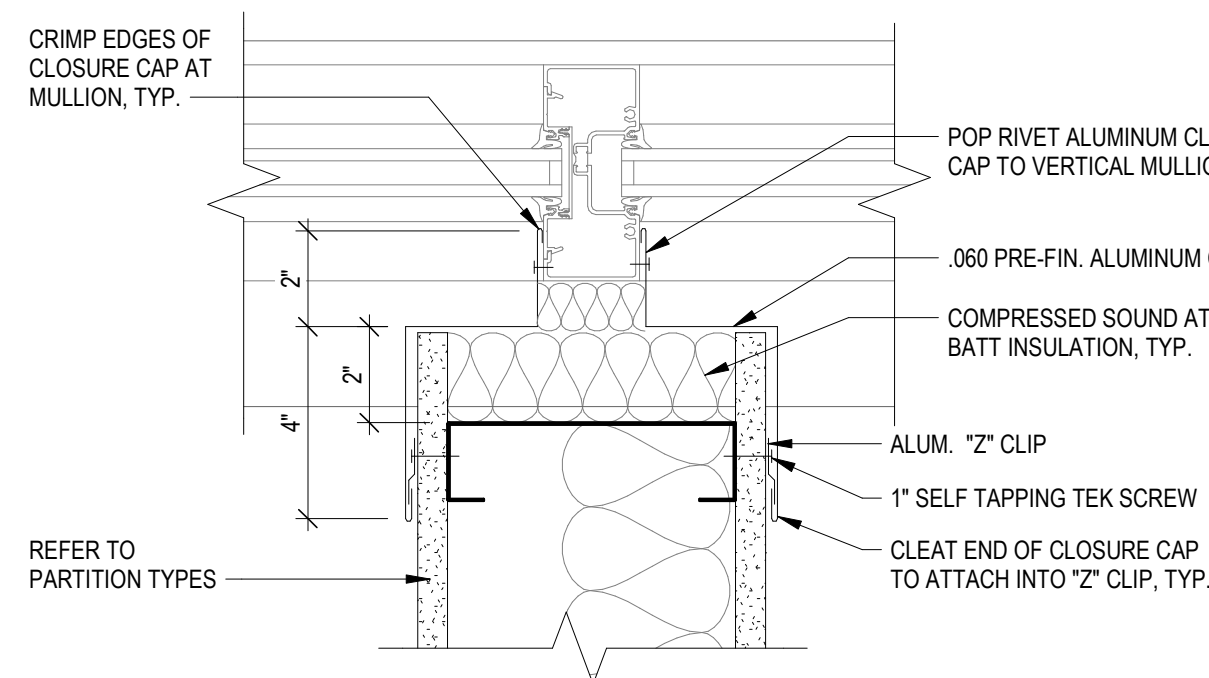
C6 TYP. STOREFRONT DETAIL - MULLION
1 1/2" = 1'-0"



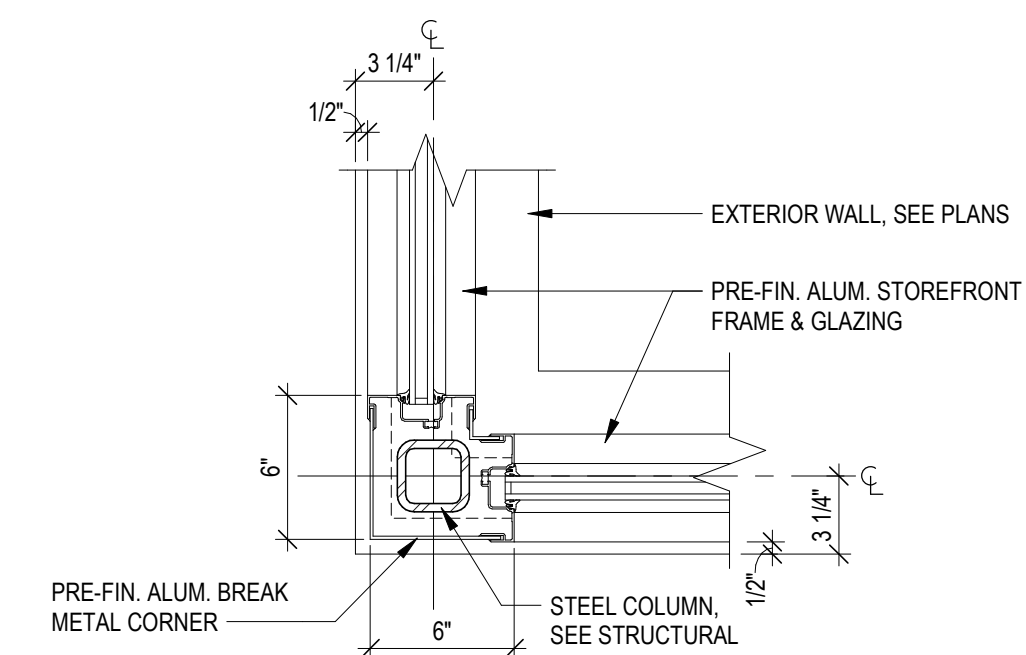
B1 TYP. STOREFRONT DETAIL - HEAD
1 1/2" = 1'-0"



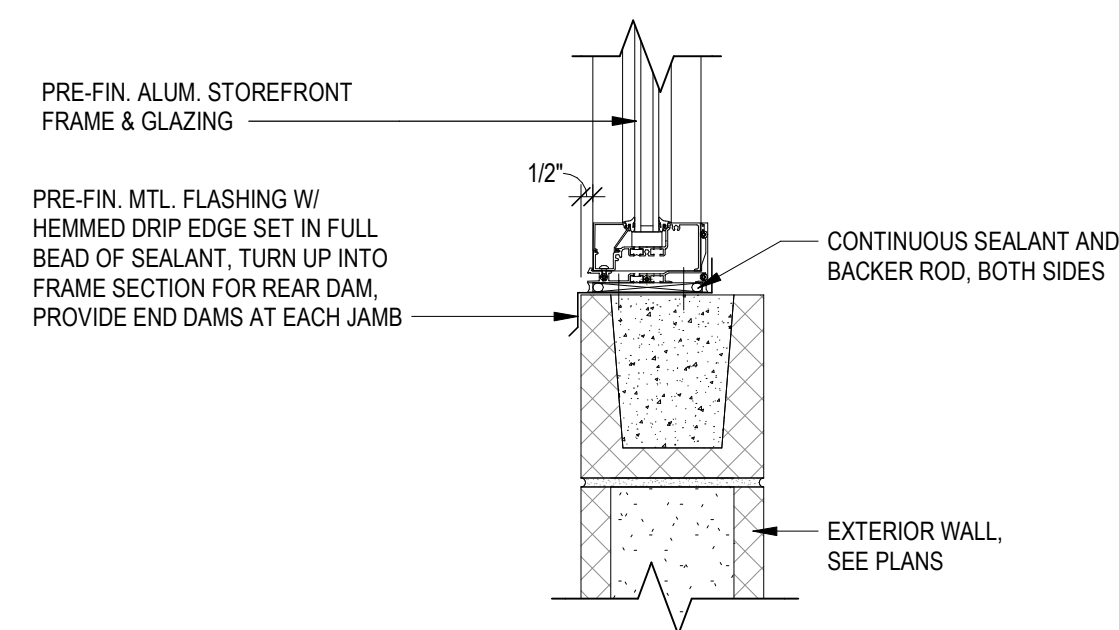
B3 TYP. LOUVER DETAIL - HEAD
1 1/2" = 1'-0"



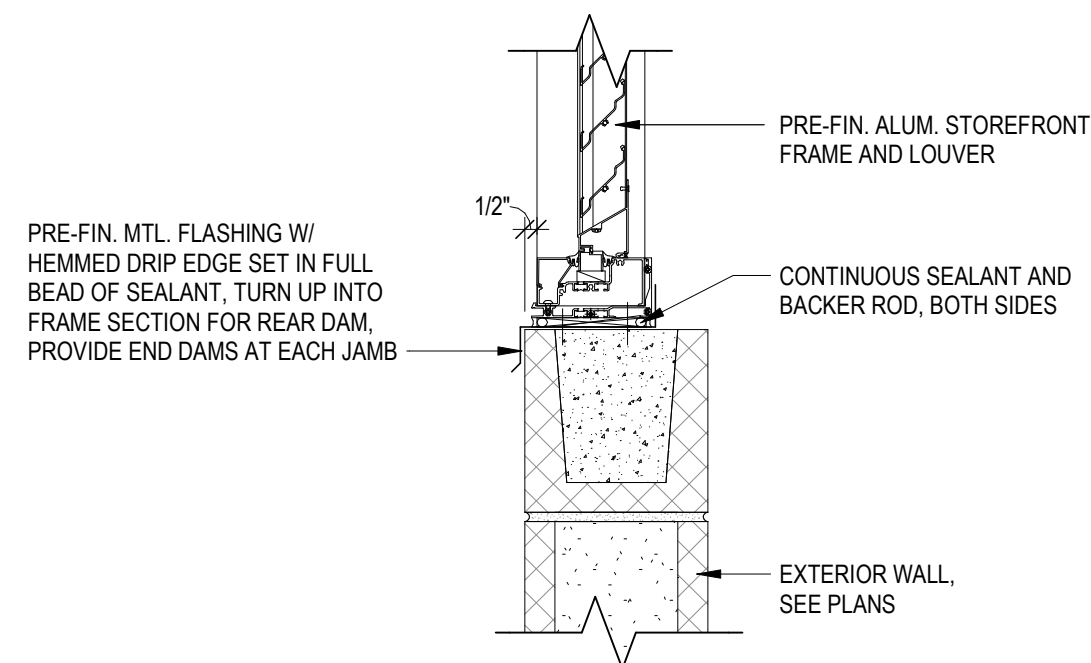
B4 TYP. MULLION CLOSURE CAP DETAIL
3" = 1'-0"



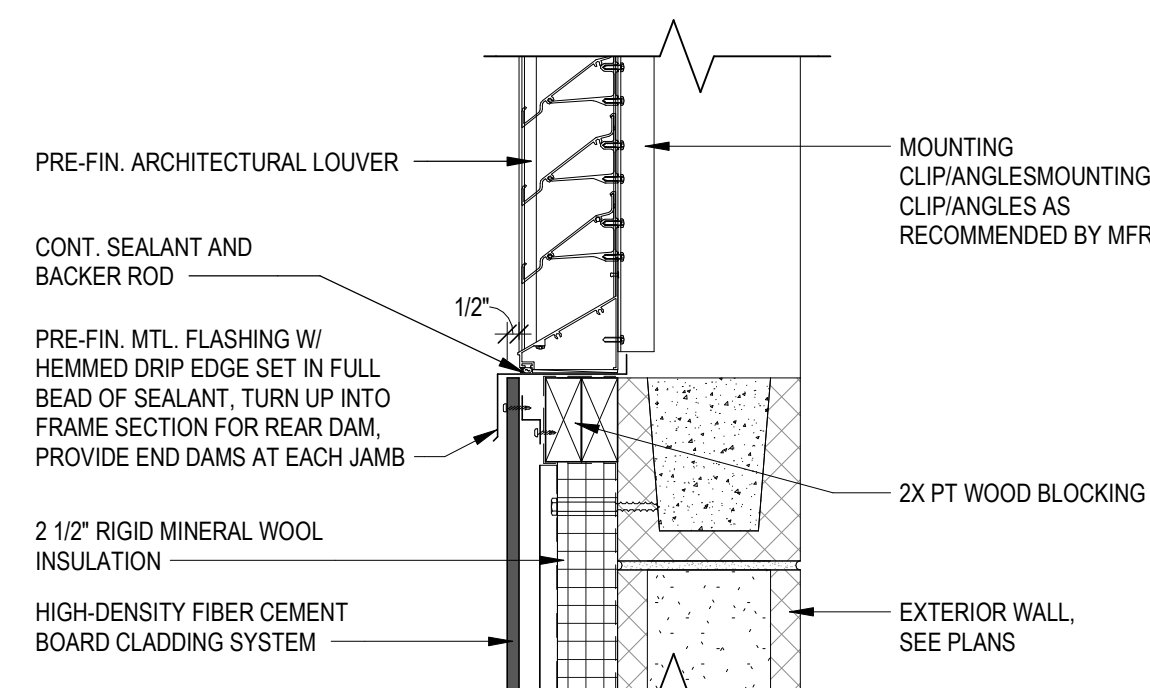
B6 TYP. STOREFRONT DETAIL - CORNER
1 1/2" = 1'-0"



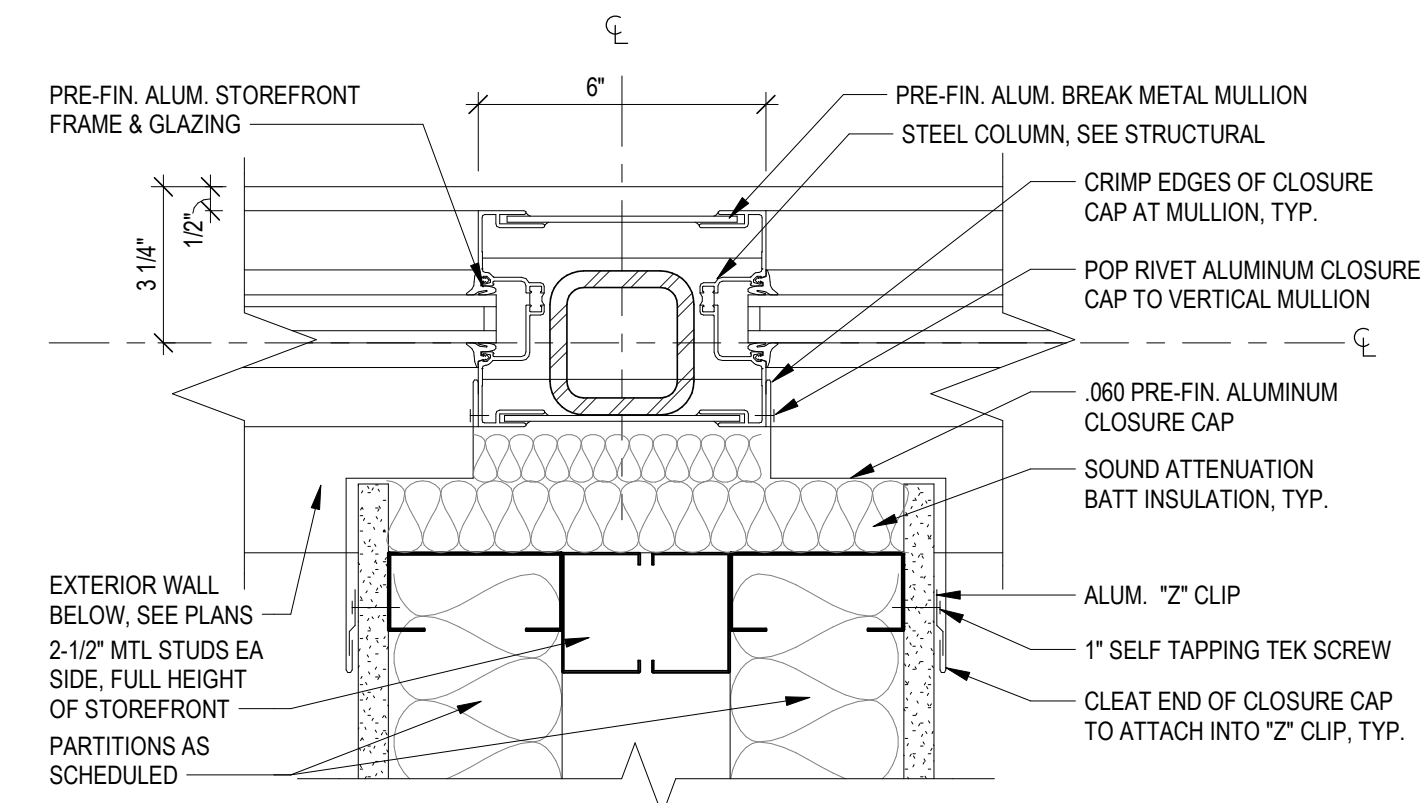
A1 TYP. STOREFRONT DETAIL - SILL
1 1/2" = 1'-0"



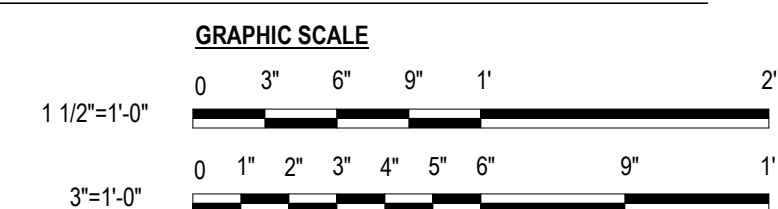
A3 TYP. LOUVER DETAIL - SILL
1 1/2" = 1'-0"

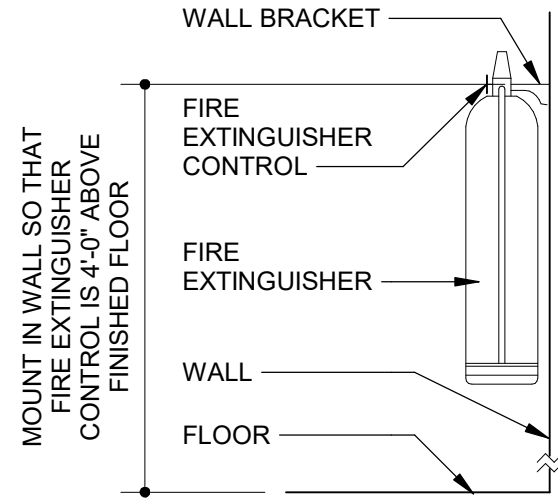


A5 TYP. LOUVER DETAIL - SILL
1 1/2" = 1'-0"



A6 TYP. MULLION CLOSURE CAP DETAIL
3" = 1'-0"



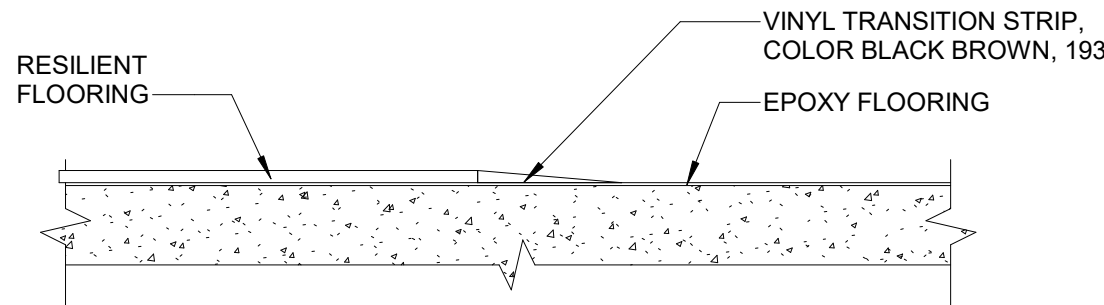


WALL BRACKET SECTION

FIRE EXTINGUISHER NOTES:

- A. WALL BRACKETS & FIRE EXTINGUISHERS PER SPECIFICATIONS
B. PROVIDE APPROPRIATELY RATED FIRE EXTINGUISHER CABINET IN RATED WALL/ASSEMBLIES

D1 FIRE EXTINGUISHER BRACKET MOUNT
3/4" = 1'-0"



C1 FLOORING / TRANSITION DETAIL
6" = 1'-0"

FINISH SCHEDULE

ROOM NUMBER	ROOM NAME	FLOOR FINISH	BASE FINISH	WALL FINISH	CEILING MATERIAL	CEILING HEIGHT	NOTES
PICKLEBALL RESTROOM							
PB101	MEN	RESINOUS FLOORING	6" COVED RESINOUS FLOORING	CMU, PT	CLT WOOD DECK	VARIES	
PB102	FAMILY RESTROOM	RESINOUS FLOORING	6" COVED RESINOUS FLOORING	CMU, PT	CLT WOOD DECK	VARIES	
PB103	WOMEN	RESINOUS FLOORING	6" COVED RESINOUS FLOORING	CMU, PT	CLT WOOD DECK	VARIES	
PB104	IT	SEALED CONCRETE	--	CMU, PT	CLT WOOD DECK	VARIES	
PB105	JANITOR	SEALED CONCRETE	--	EXPOSED CMU	CLT WOOD DECK	VARIES	
PB106	STORAGE	SEALED CONCRETE	--	EXPOSED CMU	CLT WOOD DECK	VARIES	
SPLASHPAD PAVILION							
SP101	PARK STORAGE	SEALED CONCRETE	--	CMU/GYP BD, PT	CLT WOOD DECK	VARIES	
SP102	PUMP ROOM	SEALED CONCRETE	--	CMU/GYP BD, PT	CLT WOOD DECK	VARIES	
SP103	CHEMICAL STO	SEALED CONCRETE	--	CMU/GYP BD, PT	GYP BD	8' - 11"	
SP104	ALL GENDER RR	RESINOUS FLOORING	6" COVED RESINOUS FLOORING	CMU/GYP BD, PT	CLT WOOD DECK	VARIES	
SP105	ALL GENDER RR	RESINOUS FLOORING	6" COVED RESINOUS FLOORING	CMU/GYP BD, PT	CLT WOOD DECK	VARIES	
SP106	ALL GENDER RR	RESINOUS FLOORING	6" COVED RESINOUS FLOORING	CMU/GYP BD, PT	CLT WOOD DECK	VARIES	
SP107	ALL GENDER RR	RESINOUS FLOORING	6" COVED RESINOUS FLOORING	CMU/GYP BD, PT	CLT WOOD DECK	VARIES	
BASKETBALL RESTROOM							
BB101	ALL GENDER RR	RESINOUS FLOORING	6" COVED RESINOUS FLOORING	CMU, PT	CLTWOOD DECK	VARIES	
BB102	ALL GENDER RR	RESINOUS FLOORING	6" COVED RESINOUS FLOORING	CMU, PT	CLTWOOD DECK	VARIES	
BB103	JANITOR / STORAGE	SEALED CONCRETE	--	EXPOSED CMU	CLTWOOD DECK	VARIES	
BB104	ALL GENDER RR	RESINOUS FLOORING	6" COVED RESINOUS FLOORING	CMU, PT	CLTWOOD DECK	VARIES	
MAINTENANCE BUILDING							
MB100	SHOP	EPOXY FLOORING	--	CMU/GYP BD, PT	CLT WOOD DECK	VARIES	
MB101	RR	VCT	RB	CMU/GYP BD, PT	ACT	9' - 0"	
MB102	OFFICE/ BREAKROOM	VCT	RB	CMU/GYP BD, PT	ACT	9' - 0"	
MB103	IT	VCT	RB	CMU/GYP BD, PT	CLT WOOD DECK	VARIES	

FINISH LEGEND

PAINT			STANDING SEAM METAL ROOF		WINDOW/STOREFRONT METAL	
PT-1	MFR: SHERWIN WILLIAMS COLOR: TBD LOCATION: INTERIOR MASONRY, GYP BD, INTERIOR WOOD TRIM		SSM-1	MFR: PAC-CLAD PRODUCT: PAC-150 180 DOUBLE LOCK COLOR: GRAPHITE FINISH: PC, KYNAR 500	SF-1	MFR: YKK PRODUCT: PC, 70% KYNAR COLOR: UC 99477 CHARCOAL
PT-2	MFR: SHERWIN WILLIAMS COLOR: TO MATCH ROOFING METALS LOCATION: STRUCTURAL STEEL, HM DOORS AND FRAMES, EXPOSED FERROUS METAL UON		ROOFING METALS		GLAZING	
PT-3	MFR: SHERWIN WILLIAMS COLOR: TO MATCH FIBER CEMENT PANELS LOCATION: LOUVERS			MFR: PAC-CLAD COLOR: GRAPHITE FINISH: PC, KYNAR 500 LOCATION: FASCIA, TRIM, RAKES, GUTTERS, DOWNSPOUTS NOTES: COLOR/FINISH TO MATCH SSM-1	GL-1	MFR: GUARDIAN PRODUCT: SNR-50 COLOR: CRYSTAL GRAY
FINISH NOTES			CROSS-LAMINATED TIMBER DECKING		COILING DOORS	
1. FINISHES AND PRODUCTS LISTED HERE ARE TO ESTABLISH BASIS-OF-DESIGN ONLY. SEE SPECS.	2. ABBREVIATIONS LISTED ON INTERIOR FINISH SHEETS ARE FOR FINISH SCHEDULE & FINISH INFORMATION ONLY.	3. FINISHES AND PRODUCTS SHALL BE INSTALLED PER MANUFACTURER RECOMMENDATIONS WITH ASSOCIATED PRODUCTS CONSISTENT WITH MFR WARRANTY REQUIREMENTS.	CLT-1	MFR: SANSIN PRODUCT: SDF/SDF TOPCOAT FINISH: TWO-COAT SYSTEM COLOR: NATURAL/CLEAR LOCATION: EXTERIOR EXPOSED FACES AND ENDS	CD-1	MFR: COOKSON FINISH: SPECTRASHIELD PC COLOR: TBD FROM STANDARD RAL COLOR OPTIONS
4. ALL EXPOSED FERROUS METAL TO BE PAINTED, SEE SPECS.	5. COLORS SHALL BE SELECTED BY ARCHITECT FROM FULL LINE OF MANUFACTURER STANDARD OPTIONS.		CLT-2	MFR: SANSIN PRODUCT: PURITY CLEAR FINISH: TWO-COAT SYSTEM COLOR: NATURAL/CLEAR LOCATION: INTERIOR EXPOSED FACES AND ENDS	TOILET PARTITIONS	
FINISH ABBREVIATIONS			HIGH-DENSITY FIBER CEMENT PANELS		TP-1	MFR: SCRANTON PRODUCT: HINY HIDERS FINISH: ORANGE PEEL COLOR: STAINLESS
ACT	ACOUSTICAL CEILING TILE		FC-1	MFR: EQUITONE PRODUCT: TECTIVA COLOR: T85	PLASTIC LAMINATE	
CD	COILING DOOR		ARCHITECTURAL CMU		PL-1	MFR: WILSONART PRODUCT: STANDARD LAMINATE COLOR: D96 SHADOW FINISH: MATTE FINISH
CLT	CROSS-LAMINATED TIMBER		CMU-1	MFR: JOHNSON CONCRETE PRODUCTS PRODUCT: PRESTIGE MASONRY COLOR: JCL-3522 CAVE OF CRYSTALS FINISH: SMOOTH FACE	SOLID SURFACE	
CMU	CONCRETE MASONRY UNIT		CMU MORTAR		SS-1	MFR: WILSONART PRODUCT: SOLID SURFACE COLOR: 9135MG CASHMERE MIRAGE
CS	CAST STONE		M-1	MFR: LONGLEAF PRODUCT: PALMETTO COLOR: TBD BASED ON FINAL CMU SELECTION	6" COVED RESINOUS FLOORING	
FC	HIGH-DENSITY FIBER CEMENT PANELS		CONCRETE PILASTERS		RF-1	MFR: SHERWIN WILLIAMS PRODUCT: RESUFLO DECO QUARTZ BC23 FINISH: DECORATIVE BROADCAST, 1/8" COLOR: FALLEN FOG LOCATION: PER SCHEDULE NOTES: PROVIDE INTEGRAL COVE BASE AS SCHEDULED
GL	GLAZING			MFR: READY-MIX PRODUCT: INTEGRAL COLOR COLOR: TBD FROM MFR FULL COLOR LINE TO MATCH SITE WALLS FINISH: RUBBED FINISH	VCT	
GYP BD	GYPSUM BOARD		CAST STONE		VCT-1	MFR: ARMSTRONG FLOORING PRODUCT: EXCELON IMPERIAL COLOR: 59237 TRACERY
M	MORTAR		CS-1	MFR: HARTSTONE PRODUCT: CUSTOM CONCRETE ELEMENTS COLOR: SOFT WHITE	RUBBER BASE	
MFR	MANUFACTURER				RB-1	MFR: JOHNSONITE PRODUCT: 4" COVE BASE COLOR: 32 PEBBLE
PC	POWDER COAT					
PL	PLASTIC LAMINATE					
PT	PAINT					
RB	RUBBER BASE					
RF	RESINOUS FLOORING					
SF	STOREFRONT					
SS	SOLID SURFACE					
SSM	STANDING SEAM METAL					
TP	TOILET PARTITIONS					
VCT	VINYL COMPOSITION TILE					

GRAPHIC SCALE



3/4"=1'-0"



ISSUANCE SCHEDULE
DESCRIPTION

DATE

NUMBER

C

B

A

CITY OF CONCORD
J.E. "JIM" RAMSEUR PARK
PARKS & RECREATION DEPARTMENT

1252 Cox Mill Rd
Concord, NC 28027

PROJECT NO: 081197
DATE ISSUED: 06/15/2023
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SHEET NAME:
FINISH SCHEDULE

SHEET NO:

A-701

PLUMBING MATERIALS AND NOTES

DOMESTIC WATER PIPING:

1. DOMESTIC WATER PIPING AND JOINTS BELOW GRADE: PROVIDE TYPE 'K' SOFT ANNEALED SEAMLESS COPPER TUBING (ASTM B 88) WITH NO JOINTS FOR PIPING 1" AND SMALLER. PROVIDE TYPE 'K' HARD DRAWN SEAMLESS COPPER TUBING (ASTM B 88) AND CAST COPPER ALLOY FITTINGS (ASME B16.18) WITH BCUF SILVER/PHOSPHORUS/COPPER BRAZED JOINTS (AWS A5.8) FOR PIPING 1½" TO 3" IN SIZE. PROVIDE DUCTILE IRON PIPE AND FITTINGS (AWWA C151, AWWA C110) WITH RUBBER GASKET JOINTS AND RODS (AWWA C111) PIPING 4" AND LARGER.
2. DOMESTIC WATER PIPING AND JOINTS ABOVE GRADE: PROVIDE TYPE 'L' HARD DRAWN SEAMLESS COPPER TUBING (ASTM B 88) AND CAST COPPER ALLOY FITTINGS (ASME B16.18). JOINTS 2" AND SMALLER SHALL BE LEAD FREE 95-5 TIN/SILVER SOLDER JOINTS (ASTM B 32), JOINTS 2½" AND LARGER SHALL BE BCUF SILVER/PHOSPHORUS/COPPER BRAZED JOINTS (AWS A5.8). ALTERNATELY, PRESS FITTINGS MAY BE USED FOR JOINTS. SEALING ELEMENTS FOR PRESS FITTINGS SHALL BE EPDM. SEALING ELEMENTS SHALL BE FACTORY INSTALLED. PRESS FITTINGS SHALL ALLOW IDENTIFICATION OF AN UNPRESS FITTING DURING PRESSURE TESTING.
3. STERILIZE THE DOMESTIC WATER SYSTEM IN ACCORDANCE WITH THE AMERICAN WATER WORKS ASSOCIATION'S SPECIFICATIONS AND LOCAL HEALTH DEPARTMENT REGULATIONS.
4. INSULATE DOMESTIC WATER PIPING ABOVE GRADE (EXCEPT EXPOSED CONNECTIONS TO PLUMBING FIXTURES) WITH GLASS FIBER INSULATION HAVING A VAPOR BARRIER AND JACKET. PIPE INSULATION SHALL HAVE A CONDUCTIVITY NOT EXCEEDING 0.27 BTU H X SQ. FT. FOLLOW SCHEDULE BELOW:

SERVICE TYPE	PIPE SIZE	INSULATION THICKNESS
DOMESTIC HOT WATER & CIRCULATION	½" - 1¼"	1"
DOMESTIC HOT WATER & CIRCULATION	1½" - 4"	1½"
DOMESTIC COLD WATER	½" - 1¼"	½"
DOMESTIC COLD WATER	1½" - 4"	1"
5. DOMESTIC WATER PIPING INSULATION, JACKETS, COVERINGS, SEALERS, MASTICS AND ADHESIVES ARE REQUIRED TO MEET A FLAME-SPREAD RATING OF 25 OR LESS AND A SMOKE-DEVELOPED RATING OF 50 OR LESS, AS TESTED BY ASTM E84 (NFA 255) METHOD AND SHALL BE PLENUM RATED. PROVIDE PVC JACKET FOR EXPOSED PIPING IN MECHANICAL ROOMS. INSULATION SHALL BE CONTINUOUS THROUGH ALL WALLS AND AT ALL HANGERS. PROVIDE GALVANIZED STEEL SHEILD BETWEEN PIPE HANGER AND INSULATION.
6. PROVIDE TWO-PIECE, BRONZE OR BRASS BODY, FULL PORT, 600 PSI WOG, BALL TYPE SHUT-OFF VALVES WITH BLOW-OUT PROOF STEMS AND ADJUSTABLE PACKING GLANDS. VALVES SHALL BE LEAD FREE PER NSF 61, ANNEX G REQUIREMENTS. INSTALL VALVES IN LOCATION THAT PERMITS ACCESS FOR SERVICE WITHOUT DAMAGE TO THE BUILDING OR FINISHED MATERIALS.
7. PROTECT COPPER PIPING AGAINST CONTACT WITH DISSIMILAR METALS. ALL HANGERS, SUPPORTS, ANCHORS AND CLIPS SHALL BE COPPER OR COPPER PLATED. WHERE COPPER PIPING IS EXPOSED TO TRAPEZE HANGERS WITH OTHER PIPING, PROVIDE A PERMANENT ELECTROLYTIC ISOLATION MATERIAL TO PREVENT CONTACT WITH DISSIMILAR OTHER METALS.
8. PROTECT COPPER PIPING AGAINST CONTACT WITH ALL MASONRY. WHERE COPPER IS SLEEVED THROUGH MASONRY, PROVIDE COPPER OR RED BRASS SLEEVES. WHERE COPPER MUST BE CONVEYED OVER AGGREGATE MASONRY PARTITIONS, PROVIDE A HEAVY COATING OF ELECTROLYTIC ENAMEL ON THE COPPER PIPING AND 15# ASPHALT SATURATED FELT BETWEEN THE PIPING AND THE MASONRY PARTITION.
9. DOMESTIC WATER PIPING SHALL BE SLOPED FOR DRAINAGE WITH DRAIN VALVES INSTALLED AT LOW POINTS.
10. DOMESTIC WATER SUPPLY PIPING SHALL BE TESTED AND PROVED WATER TIGHT UNDER A WATER PRESSURE OF NO LESS THAN THE WORKING PRESSURE OF THE SYSTEM, OR AN AIR TEST OF NO LESS THAN ONE HUNDRED (100) PSI. THE PRESSURE SHALL BE HELD FOR AT LEAST FIFTEEN (15) MINUTES. WATER USED IN TESTING SHALL BE OBTAINED FROM A POTABLE SOURCE OF SUPPLY.

SANITARY WASTE / VENT PIPING:

1. SANITARY WASTE PIPING BELOW GRADE: PROVIDE SERVICE WEIGHT CAST IRON HUB AND SPIGOT PIPE (ASTM A 74) WITH COMPRESSION JOINTS (CSPI HSN) AND NEOPRENE GASKETS (ASTM C 564) OR NO-HUB PIPE AND FITTINGS (CSPI 301) WITH NEOPRENE GASKET/STAINLESS STEEL CLAMP JOINTS (HEAVY DUTY, ASTM C1540-15).
2. SANITARY WASTE/VENT PIPING ABOVE GRADE: PROVIDE SERVICE WEIGHT CAST IRON NO-HUB PIPE AND FITTINGS (CSPI 301) WITH NEOPRENE GASKET/STAINLESS STEEL CLAMP JOINTS (HEAVY DUTY, ASTM C1540-15).
3. SLOPE SANITARY WASTE PIPING AT 1/4" PER FOOT MINIMUM FOR PIPING 2 1/2" AND SMALLER AND 1/8" PER FOOT MINIMUM FOR PIPING 3" AND LARGER UNLESS NOTED OTHERWISE.
4. PROVIDE CLEAN-OUTS AT THE BASE OF SANITARY WASTE STACKS AND AT EVERY TURN IN PIPING IN EXCESS OF 45° AND NO FURTHER THAN 100'-0" APART IN A LOCATION THAT PERMITS ACCESS FOR SERVICE WITHOUT DAMAGE TO THE BUILDING OR FINISHED MATERIALS.
5. PROVIDE FLOOR CLEANOUTS WITH TOPS DESIGNED TO MATCH SPECIFIC FLOOR FINISHES SUCH AS CARPET, TILE, ETC. YARD CLEANOUTS SHALL BE PROVIDED IN AN 18"x18"x6" CONCRETE PAD.
6. WHERE WASTE PIPING IS EXPOSED IN REST ROOM AREAS, PROVIDE CHROME PLATED BRASS PIPING, REMOVABLE P-TRAPS, MATCHING TOPS AND ESCUTCHEONS FOR ALL LAVATORIES.
7. SANITARY WASTE AND VENT SYSTEMS SHALL BE TESTED AND PROVED WATER TIGHT UNDER A HEAD PRESSURE OF NO LESS THAN 10 FT. THIS PRESSURE SHALL BE HELD FOR A PERIOD OF NO LESS THAN 15 MINUTES.

PLUMBING GENERAL NOTES

GENERAL REQUIREMENTS:

1. PLUMBING WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NORTH CAROLINA STATE PLUMBING CODE AND WITH THE REQUIREMENTS OF THE LOCAL AUTHORITY HAVING JURISDICTION.
2. SCOPE: PROVIDE ALL LABOR, MATERIAL AND EQUIPMENT REQUIRED FOR THE COMPLETION AND OPERATION OF ALL PLUMBING SYSTEMS IN ACCORDANCE WITH ALL APPLICABLE CODES.
3. PERMITS: APPLY AND PAY FOR ALL NECESSARY PERMITS, FEES AND INSPECTIONS REQUIRED BY ANY PUBLIC AUTHORITY HAVING JURISDICTION. ACREAGE CHARGES, FACILITIES CHARGES AND BOND PROPERTY ASSESSMENTS ARE NOT TO BE CONSTRUED TO BE A PART OF THIS CONTRACT.
4. WARRANTY: PROVIDE A ONE YEAR WARRANTY, FROM THE DATE OF ACCEPTANCE OF WORK BY THE OWNER, FOR ALL PLUMBING MATERIALS AND EQUIPMENT.
5. COORDINATE ALL PLUMBING PIPING LOCATIONS, ROUGH-IN LOCATIONS AND EQUIPMENT LOCATIONS WITH OTHER TRADES TO AVOID CONFLICTS AND INTERFERENCES. FINAL PIPING AND EQUIPMENT LOCATIONS SHALL BE A CODE COMPLIANT INSTALLATION FOR ALL TRADES.
6. FIELD VERIFY PROPER OPERATION OF EXISTING SYSTEMS BEFORE STARTING CONSTRUCTION. NOTIFY THE ARCHITECT / ENGINEER OF RECORD OF ANY PROBLEMS OR DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND EXISTING CONDITIONS AND/OR ANY POTENTIAL PROBLEMS OBSERVED BEFORE CONTINUING WORK IN THE EFFECTED AREAS.
7. WHERE DISCREPANCIES ARE FOUND IN THE DRAWINGS AND SPECIFICATIONS THE MORE STRINGENT SHALL APPLY. CONTACT ENGINEER FOR CLARIFICATION.
8. ALL PIPING SHALL BE MANUFACTURED IN THE UNITED STATES OF AMERICA.
9. ALL VALVES, BACKFLOW PREVENTERS, BOOSTER PUMPS, ETC. SERVING THE DOMESTIC WATER SYSTEM SHALL MEET LEAD FREE STANDARDS PER ANSI/NSF 372 AND NSF 61, ANNEX G.
10. CUT WALLS, FLOORS AND CEILINGS AS REQUIRED FOR INSTALLATION OF PLUMBING WORK. ALL CUTTING SHALL BE HELD TO A MINIMUM. PATCH AND FINISH SURFACES TO MATCH ADJOINING SURFACES.
11. PLUMBING PLANS SHALL NOT BE SCALED. REFERENCE THE ARCHITECTURAL PLANS FOR ALL LOCATIONS OF PLUMBING FIXTURES, WALLS, DOORS, WINDOWS, ETC.
12. PLUMBING PIPING AND SPECIALTIES SHALL BE LOCATED CONCEALED IN WALLS, PARTITIONS OR ABOVE CEILINGS UNLESS NOTED OTHERWISE. PLUMBING PIPING IN EXPOSED AREAS SHALL BE RUN TIGHT TO UNDERSIDE OF STRUCTURE. PROVIDE ACCESS DOORS FOR CONCEALED SPECIALTIES.
13. PLUMBING PIPING, VENTS, ETC. EXTENDING THROUGH EXTERIOR WALLS AND/OR THE ROOF SHALL BE FLASHED AND COUNTER FLASHED IN A WATERPROOF MANNER. COORDINATE FLASHING WITH THE GENERAL CONTRACTOR.
14. DO NOT INSTALL PLUMBING PIPING IN AREAS SUBJECT TO FREEZING TEMPERATURES. INSTALL PLUMBING PIPING SHOWN IN EXTERIOR WALLS ON THE CONDITIONED SIDE OF THE WALL INSULATION.
15. PROVIDE NON-CONDUCTING DIELECTRIC UNIONS WHENEVER CONNECTING DISSIMILAR METALS.
16. ATTACH HANGERS TO STRUCTURE, HANGERS SHALL NOT ATTACH TO THE DECK.
17. PROVIDE ACCESS DOORS FOR VALVES, WATER HAMMER ARRESTORS, TRAP PRIMERS, ETC. CONCEALED IN MASONRY WALLS, GYPBOARD WALLS AND/OR CEILINGS THAT WILL REQUIRE MAINTENANCE ACCESS.
18. CORE DRILL THROUGH MASONRY (CMU BLOCK) WALLS FOR ALL PIPE PENETRATIONS, WHEN DRILLING OPENINGS FOR INSULATED PIPES THE OPENING'S DIAMETER SHALL BE LARGE ENOUGH FOR PIPE INSULATION TO REMAIN CONTINUOUS PASSING THROUGH THE OPENING. SEAL WATER TIGHT. PROVIDE ESCUTCHEONS IN EXPOSED FINISHED AREAS.

PLUMBING LEGEND

NEW PIPING	ABBR.	DESCRIPTION
	CW	COLD WATER PIPING
	HW	HOT WATER PIPING
	W	SANITARY WASTE PIPING
	V	SANITARY VENT PIPING
	GW	GREASE LADEN WASTE PIPING
	D	DRAIN
	-	ELBOW DOWN
	-	ELBOW UP
	-	PIPE CONTINUES
	-	PIPE CAP
	-	BALL VALVE
	CV	CHECK VALVE
	BV	BALANCING VALVE / CIRCUIT SETTER
	-	GAS COCK
	PRV	PRESSURE REDUCING/REGULATING VALVE
	-	SOLENOID VALVE
	RPZ	REDUCED PRESSURE ZONE BACKFLOW PREVENTER
	-	DIRECTION OF FLOW
	-	PIPE REDUCER
	FCO	FLOOR CLEAN OUT
	WCO	WALL CLEAN OUT
	CO	END OF LINE CLEAN OUT
	YCO	YARD CLEAN OUT
	FD	FLOOR DRAIN
	FS	FLOOR SINK
	RD	ROOF DRAIN
	HB	HOSE BIBB/WALL HYDRANT
	SA	SHOCK ARRESTOR - SUFFIX INDICATES PDI SIZE
	-	THERMOMETER
	-	PRESSURE GAUGE
	TP	TRAP PRIMER
	CTE	CONNECT TO EXISTING

ADDITIONAL ABBREVIATIONS

ABV	ABOVE	IW	INDIRECT WASTE
AFF	ABOVE FINISHED FLOOR	KW	KILOWATT
AFG	ABOVE FINISHED GRADE	LAV	LAVATORY
AS	BUILDING AUTOMATION SYSTEM	MBH	1,000 BTU/H
BEL	BELOW	MFG	MANUFACTURER
BFF	BELOW FINISHED FLOOR	MH	MOUNTING HEIGHT
BTUH	BRITISH THERMAL UNIT / HOUR	PH	PHASE
CFH	CUBIC FEET PER HOUR	PSI	POUNDS PER SQUARE INCH
CEL	CEILING	SF	SQUARE FEET
CONT	CONTINUATION	SFU	SUPPLY FIXTURE UNITS
DFU	DRAINAGE FIXTURE UNIT (WASTE)	T&P	TEMPERATURE AND PRESSURE
DN	DOWN	TW	TEMPERED WATER
EX	EXISTING	TYP	TYPICAL
FFE	FINISHED FLOOR ELEVATION	UR	URINAL
FIN	FINISH	VB	VACUUM BREAKER
FL	FLOOR	VLV	VALVE
FR	FROM	VTR	VENT THRU ROOF
FU	FIXTURE UNITS	WC	WATER COLUMN
GPC	GALLONS PER CUPH (METERING)	EC	ELECTRICAL CONTRACTOR
GP	GALLONS PER FLYSH	GC	GENERAL CONTRACTOR
GM	GALLONS PER MINUTE	MC	MECHANICAL CONTRACTOR
HP	HORSE POWER	PC	PLUMBING CONTRACTOR
INV	INVERT ELEVATION		

PLUMBING LOAD SUMMARY

BUILDING	LOAD	FIXTURE UNITS	FLOW
SPLASHPAD RR	SANITARY WASTE	37 DFU	–
	DOMESTIC WATER	49 WSFU	28.8 GPM
BASKETBALL RR	SANITARY WASTE	29 DFU	–
	DOMESTIC WATER	39 WSFU	26 GPM
PICKLEBALL RR	SANITARY WASTE	53 DFU	–
	DOMESTIC WATER	83 WSFU	38.8 GPM
MAINTENANCE BLDG	SANITARY WASTE	20 DFU	–
	DOMESTIC WATER	21 WSFU	20 GPM

PLUMBING DRAWING INDEX

SHT. NO.	SHEET NAME	SCALE
P-001	PLUMBING LEGENDS, NOTES, AND SCHEDULES	--
P-002	PLUMBING SCHEDULES & NOTES	--
P-101-SP	SANITARY WASTE FLOOR PLANS	1/4" = 1'-0"
P-101-BB	SANITARY WASTE FLOOR PLANS	1/4" = 1'-0"
P-101-PB	SANITARY WASTE FLOOR PLANS	1/4" = 1'-0"
P-101-MB	SANITARY WASTE FLOOR PLANS	1/4" = 1'-0"
P-201-SP	SUPPLY PIPING FLOOR PLANS	1/4" = 1'-0"
P-201-BB	SUPPLY PIPING FLOOR PLANS	1/4" = 1'-0"
P-201-PB	SUPPLY PIPING FLOOR PLANS	1/4" = 1'-0"
P-201-MB	SUPPLY PIPING FLOOR PLANS	1/4" = 1'-0"
P-501	PLUMBING DETAILS	--

PLUMBING SPECIALTIES SCHEDULE									
SYM.	DESCRIPTION	CONNECTIONS (IN.)				SPECIFICATION	REMARKS		
		W	V	CW	HW				
IMB1	ICE MAKER BOX	–	–	½"	=	EQUIPMENT: GUY GRAY BIM-875 MATERIAL: 16 GAUGE STEEL WITH EPOXY FINISH			
SA–	SHOCK ARRESTOR SIZES A THRU F SEE FLOOR PLAN FOR SIZE	–	–	SEE DWG	–	EQUIPMENT: SIOUX CHIEF 650 SERIES SEE SHOCK ARRESTOR TABLE THIS SHEET	PROVIDE ACCESS DOOR FOR CONCEALED INSTALLATIONS		
CS–	CIRCUIT SETTER, SIZES ½" THRU 2" SEE FLOOR PLAN FOR SIZE	–	–	SEE DWG	–	EQUIPMENT: CIRCUIT SOLVER CS SERIES 110 DEGREE MODEL, NSF 61 CERTIFIED	PROVIDE ACCESS DOOR FOR CONCEALED INSTALLATIONS		
HB1	HOSE BIBB, INTERIOR, EXPOSED, AUTOMATIC DRAINING, ANTI-SIPHON VACUUM BREAKER	–	–	¾"	–	EQUIPMENT: WOODFORD 24 WHEEL HANDLE	MOUNT 24" AFF.		
HB2	WALL HYDRANT, EXTERIOR, EXPOSED NON-FREEZE, AUTOMATIC DRAINING, VACUUM BREAKER	–	–	¾"	–	EQUIPMENT: ZURN Z1310–34EL, PROVIDE LOOSE KEY FOR EACH HOSE BIBB	MOUNT 18" AFF.		
EQO	FLOOR CLEANOUT CAST IRON BODY, ADJUSTABLE, NICKEL BRONZE TOP	SEE DWG	–	–	–	CLEANOUT: ZURN ZN-1400	GAS / WATER TIGHT ABS PLUG		
WCO	WALL CLEANOUT STAINLESS STEEL WALL PLATE	SEE DWG	–	–	–	CLEANOUT: ZURN ZS-1468	GAS / WATER TIGHT ABS PLUG		
YCO	YARD CLEANOUT ADJUSTABLE, CAST IRON BODY, COATED CAST IRON TOP	SEE DWG	–	–	–	CLEANOUT: ZURN ZN-1474 IN AN 18"L x 18"W x 6"D CONCRETE PAD.	GAS / WATER TIGHT ABS PLUG		
CQ	END OF LINE PLUG CLEANOUT CAST BRONZE	–	–	–	–	CLEANOUT: ZURN Z-1470	GAS / WATER TIGHT PLUG		
FD1	FLOOR DRAIN CAST IRON BODY, ROUND ADJUSTABLE NICKEL BRONZE TOP	SEE DWG	–	–	–	DRAIN: ZURN ZN-415 STRAINER: 6" DIAMETER, TYPE B, NICKEL BRONZE P-TRAP: DEEP SEAL (MATCH DRAIN SIZE)	PROVIDE TRAP PRIMER CONNECTION. SEE NOTE 1 BELOW.		
FD2	FLOOR DRAIN CAST IRON BODY, SQUARE 12-1/2", CAST IRON GRATED TOP	SEE DWG	–	–	–	DRAIN: ZURN ZN-610 STRAINER: 12-1/2" SQUARE TOP, HEAVY DUTY CAST IRON, WITH SEDIMENT BUCKET P-TRAP: DEEP SEAL (MATCH DRAIN SIZE)	SEE NOTE 1 BELOW.		
TD1	TRENCH DRAIN, CAST IRON BODY, 8"-0" LONG, SLOTTED GALVANIZED STEEL GRATE	SEE DWG	–	–	–	DRAIN: ZURN ZN-664-G P-TRAP: CAST IRON, DEEP SEAL (MATCH DRAIN SIZE)	INSTALL DRAIN LIP FLUSH WITH FLOOR. SEE NOTE 1 AND 2 BELOW		
HD1	HUB DRAIN	SEE DWG	–	–	–	DRAIN: ZURN Z-211-S P-TRAP: DEEP SEAL (MATCH DRAIN SIZE)	PROVIDE WITH 4" P-TRAP TERMINATE 12" A.F.F. SEE DETAILS 5 & 7/P-501.		
NOTES:									
1. PROVIDE WATERLESS INLINE TRAP GUARD FOR EACH FLOOR DRAIN CONFORMING TO ASSE 1072 AND EQUAL TO RECTORSEAL "SURESEAL" MODEL SS3009V. INSTALL TRAP GUARDS IN THE OUTLET OF THE FLOOR DRAIN BODY (NOT IN THE STRAINER). 2. PROVIDE TRAP-PRIMER PPP MODEL P-1 AND ½" COPPER LINE TO DRAIN TRAP.									
APPROVED MANUFACTURERS:									
THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE MODEL WHICH MOST CLOSELY MATCHES THE SPECIFIED PRODUCT. PROVIDE PRODUCTS MADE BY ANY OF THE MANUFACTURER'S LISTED. NO PRIVATE LABELED MATERIALS WILL BE ACCEPTED AS EQUALS TO PRODUCTS SPECIFIED HEREIN. ALL FIXTURES OF THE SAME TYPE AND/OR MATERIAL SHALL BE PROVIDED BY A SINGLE MANUFACTURER.									
INLINE FLOOR DRAIN TRAP SEALER DRAINS, CLEANOUTS WATER SPECIALTIES WASTE SPECIALTIES (WASHER BOX) WALL HYDRANTS/HOSE BIBBS BACKFLOW PREVENTERS, PRVS, ETC		SURESEAL, MIFAB, PROVENT ZURN, J.R. SMITH, WADE, JOSAM, WATTS PPP, SIOUX CHIEF, ZURN, WATTS GUY GRAY, SIOUX CHIEF, OATEY WOODFORD, ZURN, WATTS WATTS, ZURN-WILKINS, APOLLO							

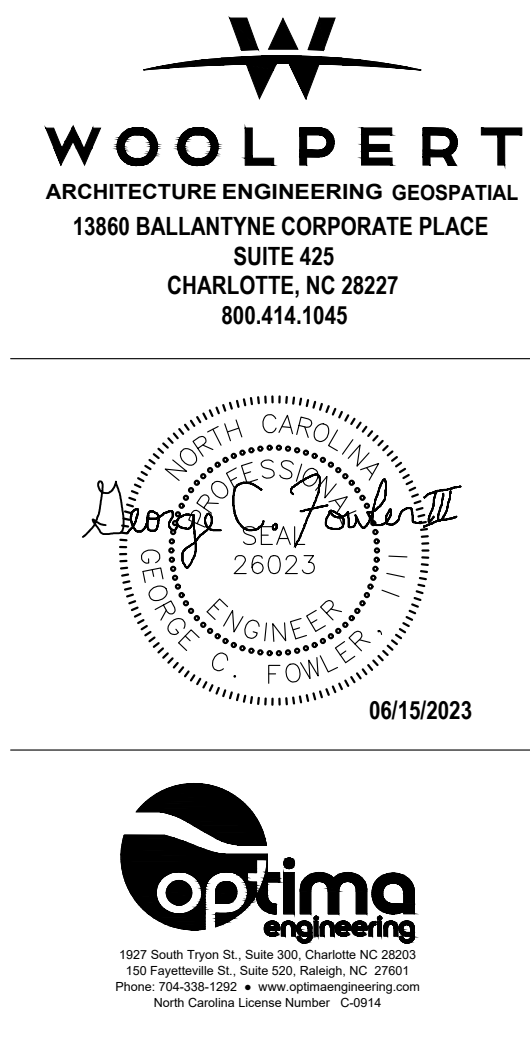
WATER HEATER SCHEDULE										
SYM.	DESCRIPTION	STORAGE (GALLONS)	GPH RECOVERY @ 90°F RISE	ELECTRICAL DATA				SELECTION BASED ON		REMARKS
				KW	VOLTS	PHASE	HERTZ	MANUFACTURER	MODEL	
WH1	ELECTRIC INSTANTANEOUS WATER HEATER	–	–	4.1	208	1	60	EEMAX	SPEX4208	1,2
WH2	ELECTRIC INSTANTANEOUS WATER HEATER	–	–	8.3	208	1	60	EEMAX	SPEX8208	1,2
WH3	ELECTRIC WATER HEATER	30	21	4.5	208	1	60	BRADFORD WHITE	RE230LN6	1,2
REMARKS:										
1. APPROVED MANUFACTURERS: A.O. SMITH, LOCHINVAR, BRADFORD WHITE, EEMAX. 2. WATER HEATER SHALL MEET OR EXCEED THE REQUIREMENTS OF ASHRAE 90.1.										

EXPANSION TANK SCHEDULE							
SYM.	DESCRIPTION	VOLUME (GALLONS)	DIAMETER (INCHES)	HEIGHT (INCHES)	SELECTION BASED ON		REMARKS
					MANUFACTURER	MODEL	
ET1	BLADDER TYPE EXPANSION TANK	6.4	12"	15½"	AMTROL	ST-12	1
REMARKS:							
1. EQUIVALENT MANUFACTURERS: BELL & GOSSETT, WESSELS COMPANY.							

OIL/WATER SEPARATOR - OWS1	
150 GALLON OIL INTERCEPTOR EQUAL TO ZURN PROCEPTOR OMC-150 OR EQUAL BY STRIEM, ENDURA OR MI-FAB. 150 GALLON CAPACITY, 150 GPM MAX FLOW RATE, FIBERGLASS CONSTRUCTION, 4" INLETS AND OUTLETS, 3" VENTS PROVIDING MANWAYS TO MEET INVERT DEPTH AND H-20 TRAFFIC RATED MANHOLE COVERS AND FRAMES, INSTALLED FLUSH WITH FINISHED GRADE, PROVIDE REINFORCED CONCRETE RELIEVING SLAB, INSTALL PER THE MANUFACTURERS INSTRUCTIONS. COORDINATE EXACT LOCATION WITH SITE UTILITY CONTRACTOR. PROVIDE HIGH OIL LEVEL ALARM, INTERLOCKED WITH B.A.S. SYSTEM.	

PLUMBING FIXTURE AND EQUIPMENT SCHEDULE									
SYM.	DESCRIPTION	CONNECTIONS (IN.)				SPECIFICATION	REMARKS		
		W	V	CW	HW				
P1A	WATER CLOSET, HET, ADA COMPLIANT, ELONGATED BOWL, WALL MOUNTED, MANUAL FLUSH VALVE, 1.28 GPF	4"	2"	1¼"	–	FIXTURE: AMERICAN STANDARD AFWALL SEAT: AMERICAN STANDARD 5901.100 FLUSH VALVE: SLOAN 111-1.28 MATERIAL: VITREOUS CHINA COLOR: WHITE			
P1B	WATER CLOSET, HET, ADA COMPLIANT, ELONGATED BOWL, FLOOR MOUNTED, MANUAL FLUSH VALVE, 1.28 GPF	4"	2"	1¼"	–	FIXTURE: AMERICAN STANDARD PRIOLO SEAT: AMERICAN STANDARD 5901.100 FLUSH VALVE: SLOAN 111-1.28 MATERIAL: VITREOUS CHINA COLOR: WHITE			
P2A	URINAL, HEU, ADA COMPLIANT, WALL MOUNTED, MANUAL FLUSH VALVE 0.125 GPF	2"	1½"	¾"	–	FIXTURE: AMERICAN STANDARD WASHBROOK 6590001.020 COLOR: WHITE MATERIAL: VITREOUS CHINA FLUSH VALVE: SLOAN 186CARRIER: ZURN WALL MOUNTED URINAL CARRIER	FIXTURE LIP HEIGHT 17" AFF.		
P3	LAVATORY, ADA COMPLIANT, 21" x 18" RECTANGULAR, WALL MOUNTED, GRID DRAIN, CENTERED FAUCET HOLES, MANUAL FAUCET WITH WRIST BLADE HANDLES (0.5 GPM) FAUCET FLOW RATE.	2"	1½"	½"	½"	FIXTURE: AMERCAN STANDARD 0356.927 'LUCERNE' DRAIN: MCGUIRE 155A GRID STRAINER DELTA 86T113 P–TRAP: MCGUIRE 8902 1¼" x 1½" STOPS: MCGUIRE LF175 COLOR: WHITE MATERIAL: VITREOUS CHINA	SEE NOTE 1 BELOW. PROVIDE ASSE 1070 MIXING VALVE TIGHT TO UNDERSIDE OF LAVATORY.		
P3A	LAVATORY, A.D.A. COMPLIANT, TWO STATION SOLID SURFACE, RECTANGULAR BOWLS, ALPINE WHITE COLOR, WALL MOUNTED, WITH STAINLESS STEEL KNEE PANEL, 4" CENTER FAUCET HOLES, METERING FAUCET PUSH LEVER HANDLES (0.5 GPM) FAUCET FLOW RATE	2"	1½"	½"	½"	FIXTURE: BRADLEY VERGE LVL2 (2 LAVATORIES) WITH BACKSPASH, RIGHT & LEFT SIDE SPLASHES, TRENCH DRAIN W/ STAINLESS STEEL DRAIN CAP. FAUCETS: (2) DELTA 86T1153 P–TRAP: MCGUIRE 8902C (1-1/4"x1-1/2", 17 GA.) SUPPLIES/STOPS: ZURN 8806–XL–LR–LK	SEE NOTE 1 BELOW. BOWL RIM HEIGHT 34" AFF PROVIDE ASSE 1070 MIXING VALVE TIGHT TO UNDERSIDE OF LAVATORY.		
P5	1–COMP. STAINLESS STEEL SINK, ADA COMPLIANT, 25" x 22" x 6", 3 HOLE PUNCH, KITCHEN FAUCET, 1.5 GPM OUTLET, BASKET STRAINER	2"	1½"	½"	½"	FIXTURE: ELKAY DLR252210 DRAIN: JUST J–35, BASKET STRAINER FAUCET: DELTA 470–WE–DST (1.5 GPM) P–TRAP: MCGUIRE 8912 1½" x 1½" STOPS: MCGUIRE LF175–LK DISPOSAL: ISE BADGER 1, 1/3 HP, WITH POWER CORD	SEE NOTE 1 BELOW.		
P5A	1–COMP. SINK, 24" x 24"x 12", 2 HOLE PUNCH CENTERED FAUCET HOLES, MANUAL FAUCET WITH WRIST BLADE HANDLES (0.5 GPM) FAUCET FLOW RATE, BASKET STRAINER	2"	1½"	½"	½"	FIXTURE: ELKAY B1C24X24X DRAIN: JUST J–35, BASKET STRAINER FAUCET: DELTA 2819–AC (1.5 GPM) P–TRAP: MCGUIRE 8912 1½" x 1½" STOPS: MCGUIRE LF175–LK	SEE NOTE 1 BELOW.		
P6	MOP SINK, 24"x 24"x 12" TERRAZZO BASIN, 6" DROP FRONT WITH STAINLESS STEEL THRESHOLD CAP, 36" HIGH STAINLESS STEEL WALL GUARDS, SERVICE FAUCET, HOSE, MOP HANGER BRACKET.	3"	2"	½"	½"	FIXTURE: FIAT TSB100, 830AA, 832AA, (2) MSG3624 FAUCET: AMERICAN STANDARD 8344.012 WITH INTEGRAL VACUUM BREAKER, DRAIN: 3" STAINLESS STEEL SLOTTED P–TRAP: 3" DEEP SEAL, CAST IRON	PROVIDE CHECK VALVES ON HW AND CW SUPPLIES.		
NOTES:									
1. PROVIDE INSULATION KIT FOR EXPOSED TRIM UNDER SINK THAT MEETS OR EXCEEDS ASTM E84–07 (25/450).									
APPROVED MANUFACTURERS:									
THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE MODEL WHICH MOST CLOSELY MATCHES THE SPECIFIED PRODUCT. PROVIDE PRODUCTS MADE BY ANY OF THE MANUFACTURER'S LISTED. NO PRIVATE LABELED MATERIALS WILL BE ACCEPTED AS EQUALS TO PRODUCTS SPECIFIED HEREIN. ALL FIXTURES OF THE SAME TYPE AND/OR MATERIAL SHALL BE PROVIDED BY A SINGLE MANUFACTURER.									
VITREOUS CHINA FIXTURES TOILET SEATS FLUSH VALVES MANUAL FAUCETS SENSOR OPERATED FAUCETS STAINLESS STEEL SINKS ELECTRIC WATER COOLERS/DRINKING FOUNTAINS UTILITY SINKS SHOWER INSERTS MIXING/SHOWER VALVES SUPPLIES, P–TRAPS ADA KIT FOR EXPOSED TRIM INLINE FLOOR DRAIN TRAP SEALER DRAINS, CARRIERS, CLEANOUTS WATER SPECIALTIES WASTE SPECIALTIES (WASHER BOX) WALL HYDRANTS/HOSE BIBBS BACKFLOW PREVENTERS, PRVS, ETC EMERGENCY FIXTURES									
KOHLER, AMERICAN STANDARD, ZURN, TOTO, SLOAN CHURCH, OLSONITE, BEMIS, CENTOCO SLOAN, ZURN, DELANEY T&S BRASS, CHICAGO, ZURN, DELTA COMMERCIAL, MOEN COMMERCIAL SLOAN, T&S BRASS, ZURN ELKAY, JUST, ADVANCE–TABCO ELKAY, OASIS, HAWS, HALSEY–TAYLOR FIAT, FLORESTONE, STERN WILLIAMS COMFORT DESIGNS, LIBERTY LINE, STERLING LEONARD, SYMMONS, LAWLER McGUIRE, BRASSCRAFT, KEENEY TRUEBRO, PLUMBEREX, KEENEY SURESEAL, MIFAB, PROVENT ZURN, J.R. SMITH, WADE, JOSAM, WATTS PPP, SIOUX CHIEF, ZURN, WATTS GUY GRAY, SIOUX CHIEF, OATEY WOODFORD, ZURN, WATTS WATTS, ZURN–WILKINS, APOLLO GUARDIAN, HAWS, BRADLEY									

SHOCK ARRESTOR TABLE				
DRAWING SYMBOL	FIXTURE UNITS	PDI WH201 STANDARD DESIGNATION	ARRESTOR SIZE	APPROVED MANUFACTURERS
SA–A	1–11	A	½"	– SIOUX CHIEF – WATTS – PPP INC.
SA–B	12–32	B	¾"	
SA–C	33–60	C	1"	
SA–D	61–113	D	1¼"	REMARKS
SA–E	114–154	E	1½"	INSTALL SHOCK ARRESTORS PER PDI WH201 GUIDELINES
SA–F	155–330	F	2"	



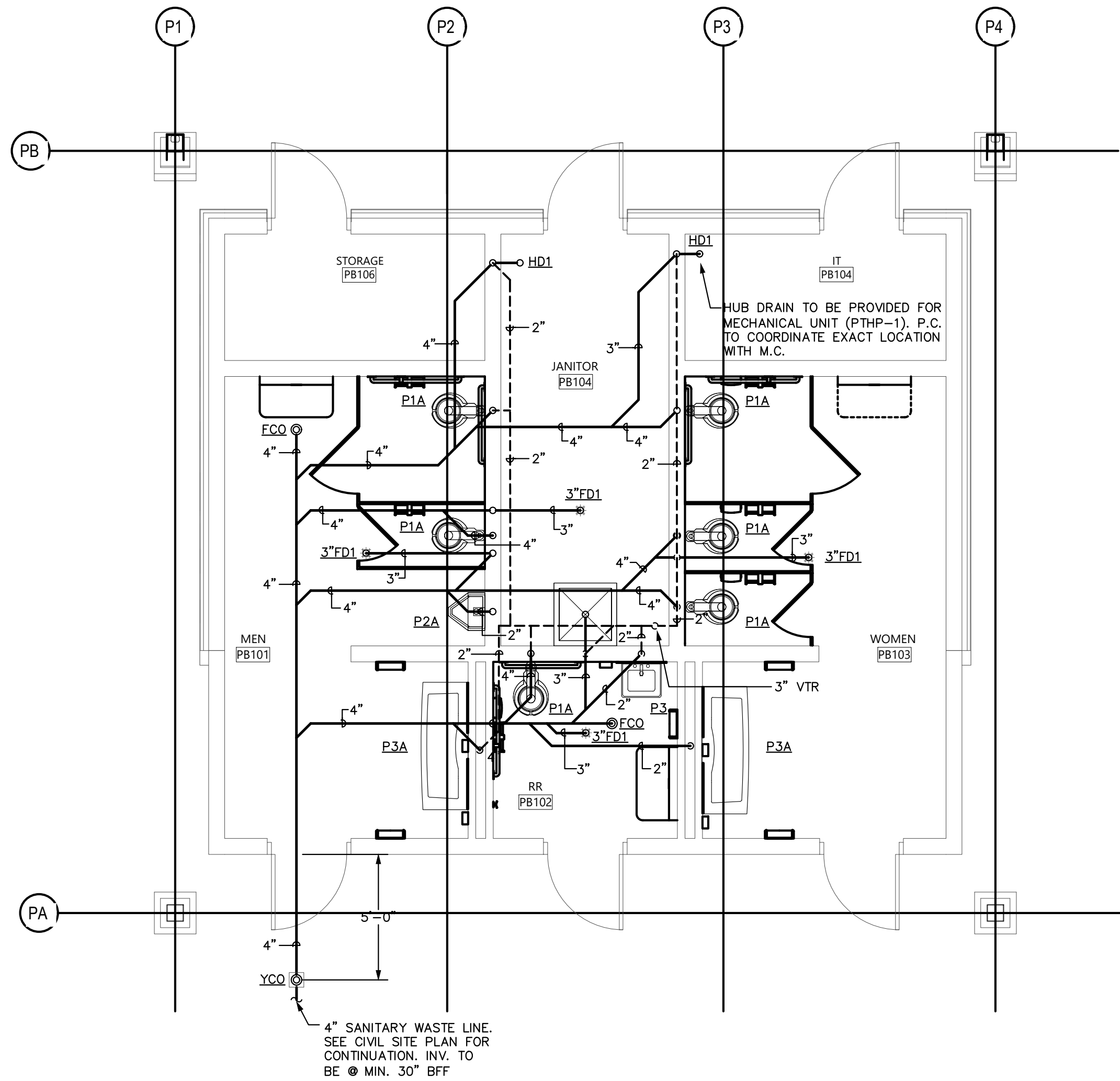
CITY OF CONCORD
B
J.E. "JIM" RAMSEUR PARK
PARKS & RECREATION DEPARTMENT
MAINTENANCE BUILDING
1262 COX MILL ROAD
CONCORD, NC 28027

ISSUANCE SCHEDULE
DESCRIPTION
DATE
NUMBER

PROJECT NO: 081197
DATE ISSUED: 06/15/2023
DESIGNED BY: MCH
DRAWN BY: MCH
CHECKED BY: DL

SHEET NAME:
PLUMBING SCHEDULES
& NOTES

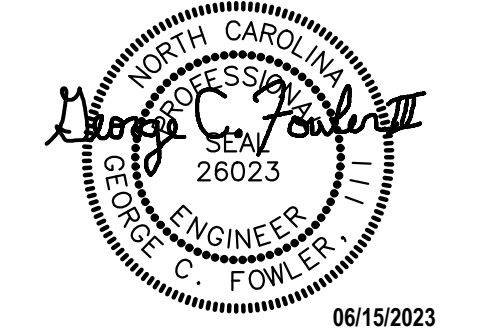
SHEET NO:
P-002



① **PICKLEBALL RR SANITARY WASTE PLAN**
1/4" = 1'-0"



WOOLPERT
ARCHITECTURE ENGINEERING GEOSPATIAL
13860 BALLANTYNE CORPORATE PLACE
SUITE 425
CHARLOTTE, NC 28227
800.414.1045



ISSUANCE SCHEDULE

NUMBER DATE DESCRIPTION

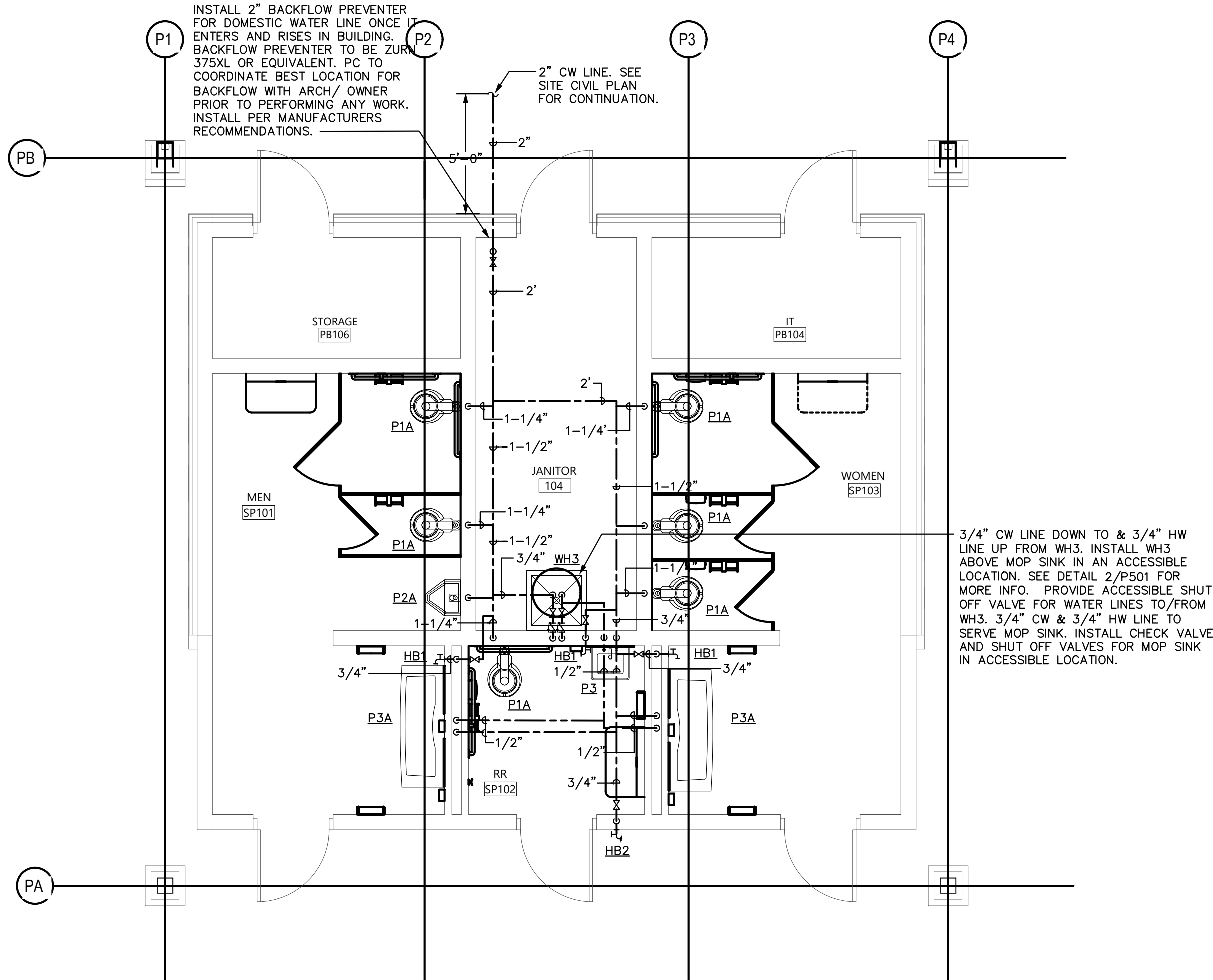
CITY OF CONCORD
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PROJECT NO: 081197
DATE ISSUED: 06/15/2023
DESIGNED BY: MCH
DRAWN BY: MCH
CHECKED BY: DL

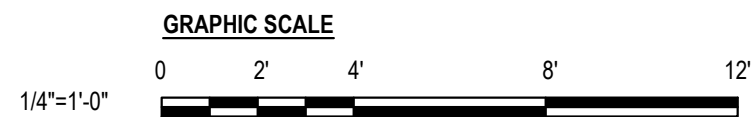
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**SANITARY WASTE
FLOOR PLANS**

SHEET NO:

P-101-PB



1 PICKLEBALL RR SUPPLY PIPING PLAN
1/4" = 1'-0"



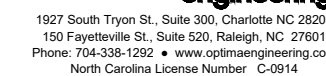
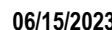
ISSUANCE SCHEDULE	DESCRIPTION	
	DATE	NUMBER

CITY OF CONCORD
J.E. "JIM" RAMSEUR PARK
PARKS & RECREATION DEPARTMENT
MAINTENANCE BUILDING
1252 COX MILL ROAD
CONCORD, NC 28027

PROJECT NO:	081197
DATE ISSUED:	06/15/2023
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CHECKED BY:	DL

SHEET NAME:
SUPPLY PIPING FLOOR PLANS

SHEET NO:
P-201-PB

C

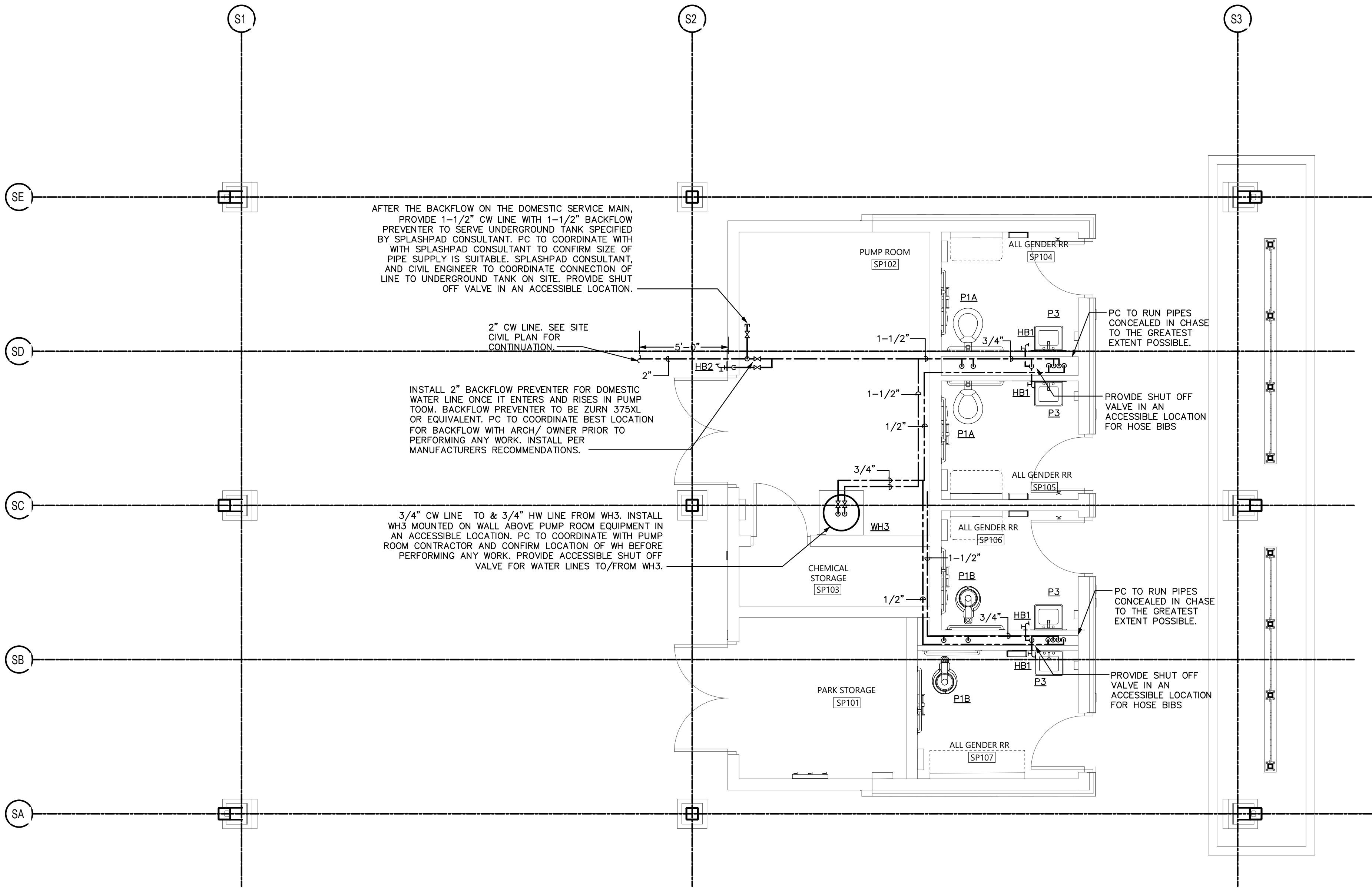
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CONCORD, NC 28027

SHEET NAME:
SANITARY WASTE
FLOOR PLANS

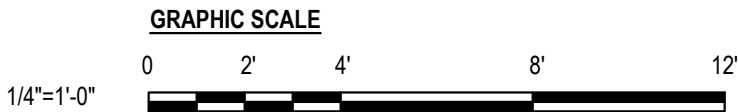
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5 OF 1
OPTIMA #: 22-023

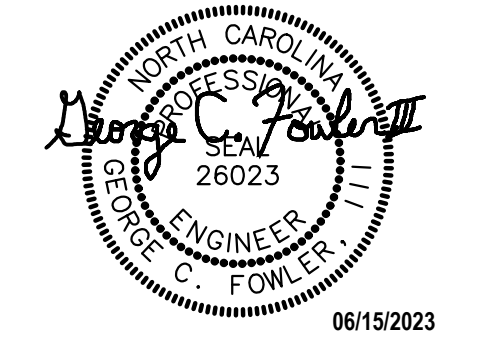
 $1/4'' = 1'-0''$



1 SPLASHPAD RR SUPPLY PIPING PLAN
1/4" = 1'-0"



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150 Fayetteville St., Suite 500, Raleigh, NC 27601
Phone: 704-336-1700 • www.optimaengineering.com
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ISSUANCE SCHEDULE	NUMBER	DATE	DESCRIPTION

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J.E. "JIM" RAMSEUR PARK
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PLANS

SHEET NO:
P-201-SP

1252 COX MILL ROAD
CONCORD, NC 28027

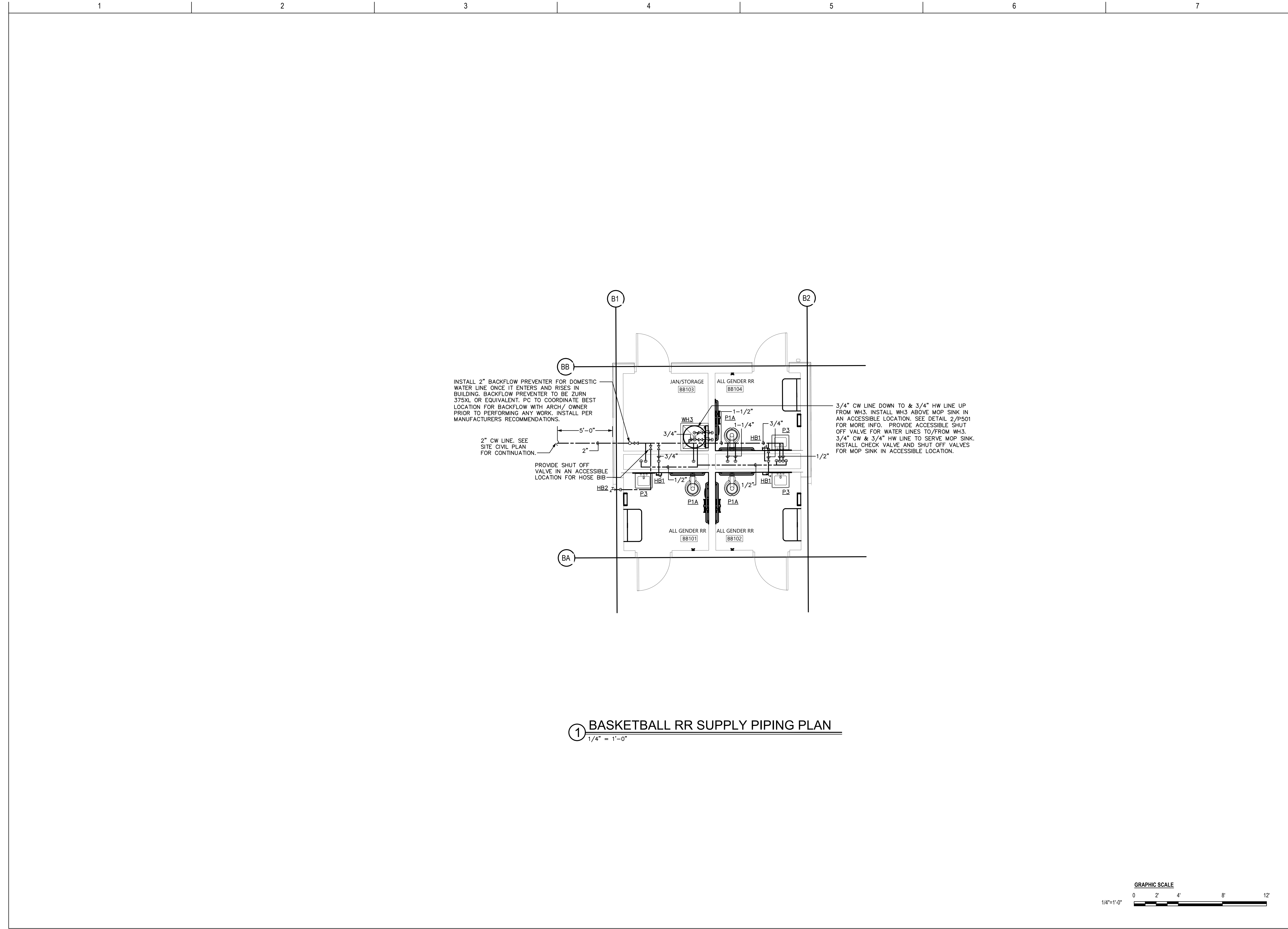
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FLOOR PLANS


P-101-BB

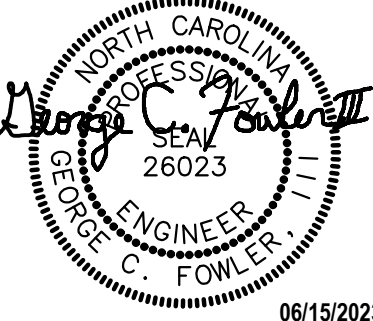


0 2' 4' 8' 12'

1/4"=1'-0"



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NUMBER	DATE DESCRIPTION
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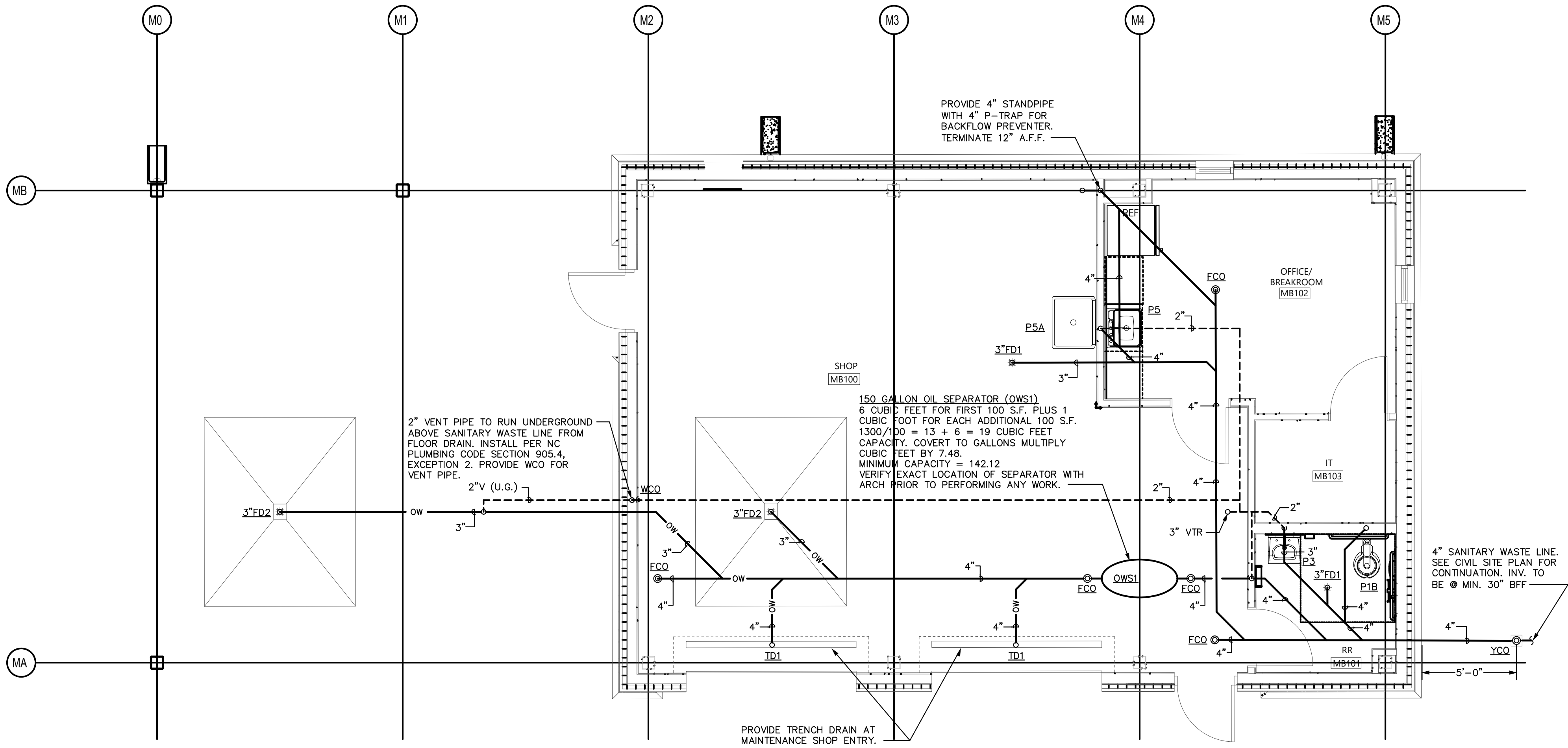
CITY OF CONCORD
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SHEET NO:
P-201-BB



1 MAINTENANCE BLDG SANITARY WASTE PLAN
1/4" = 1'-0"



ISSUANCE SCHEDULE	NUMBER	DATE	DESCRIPTION

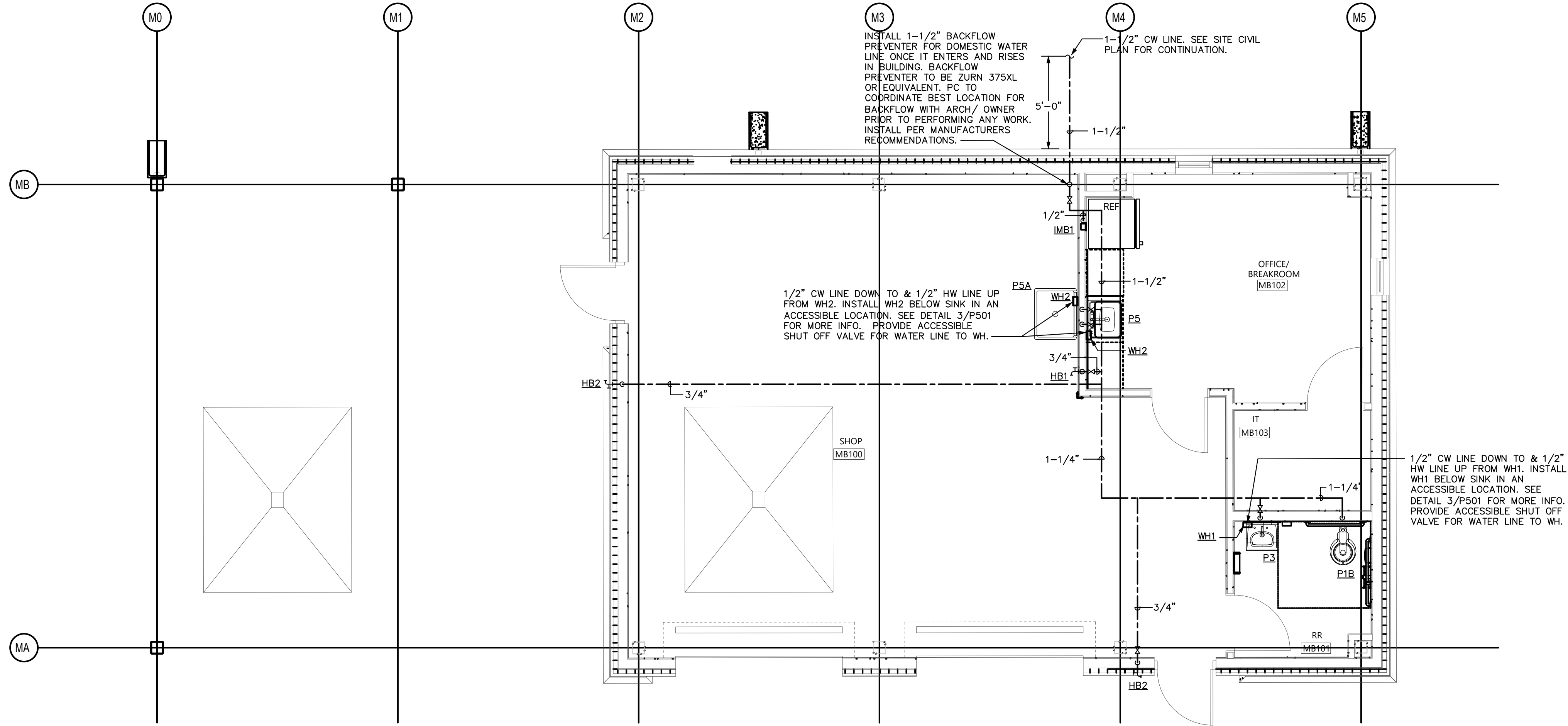
CITY OF CONCORD
J.E. "JIM" RAMSEUR PARK
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CONCORD, NC 28027

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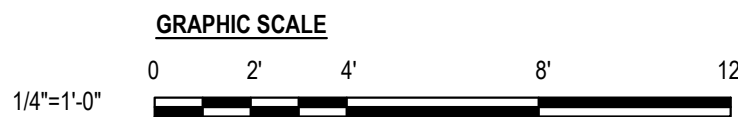
SHEET NAME:
**SANITARY WASTE
FLOOR PLANS**

SHEET NO:
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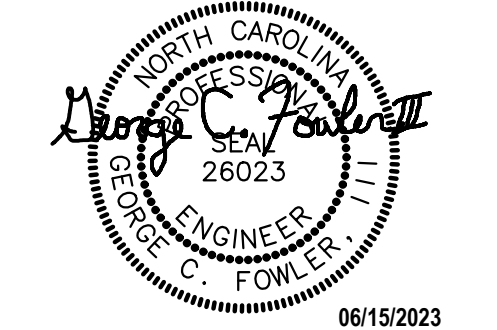
1234567



1 MAINTENANCE BLDG SUPPLY PIPING PLAN
1/4" = 1'-0"



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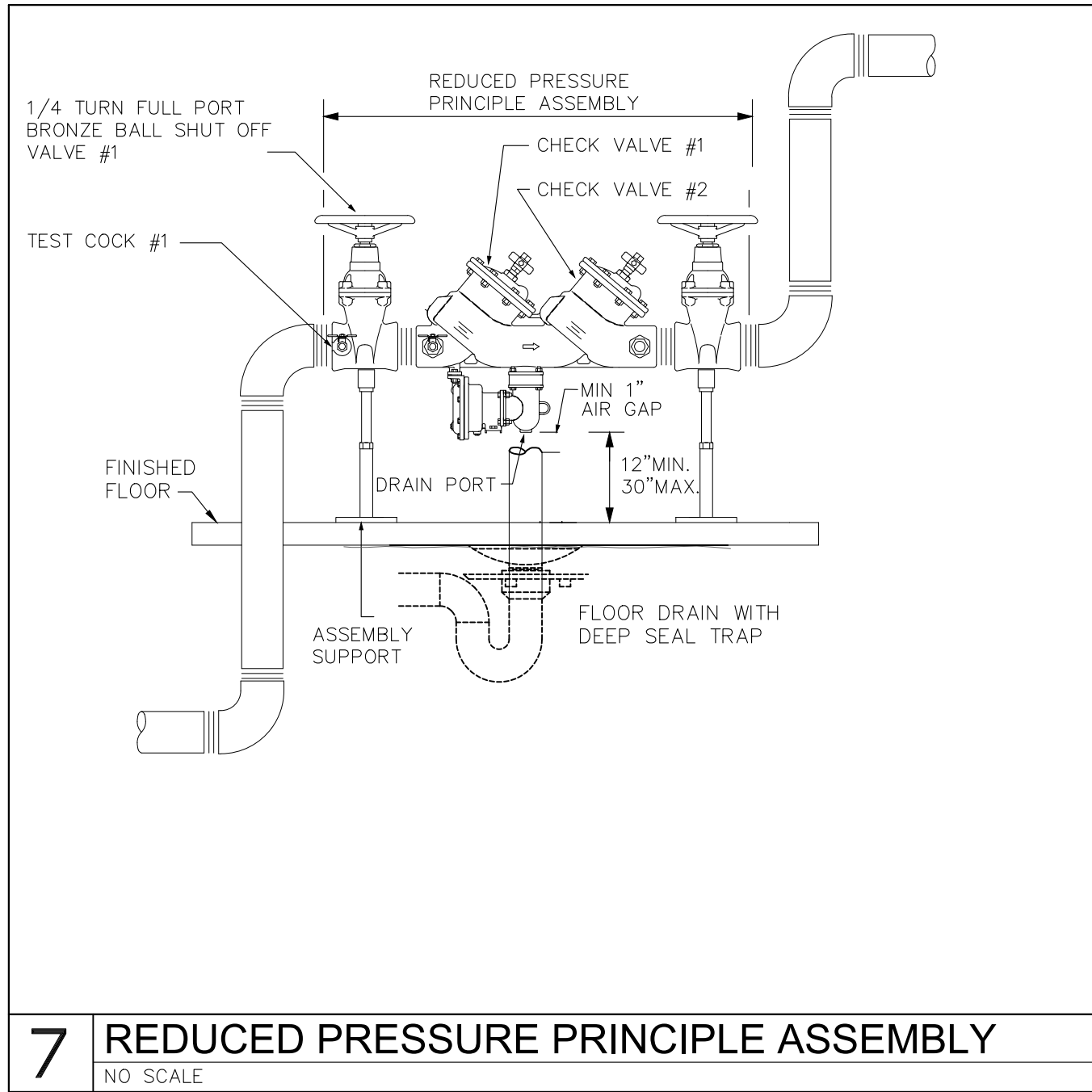
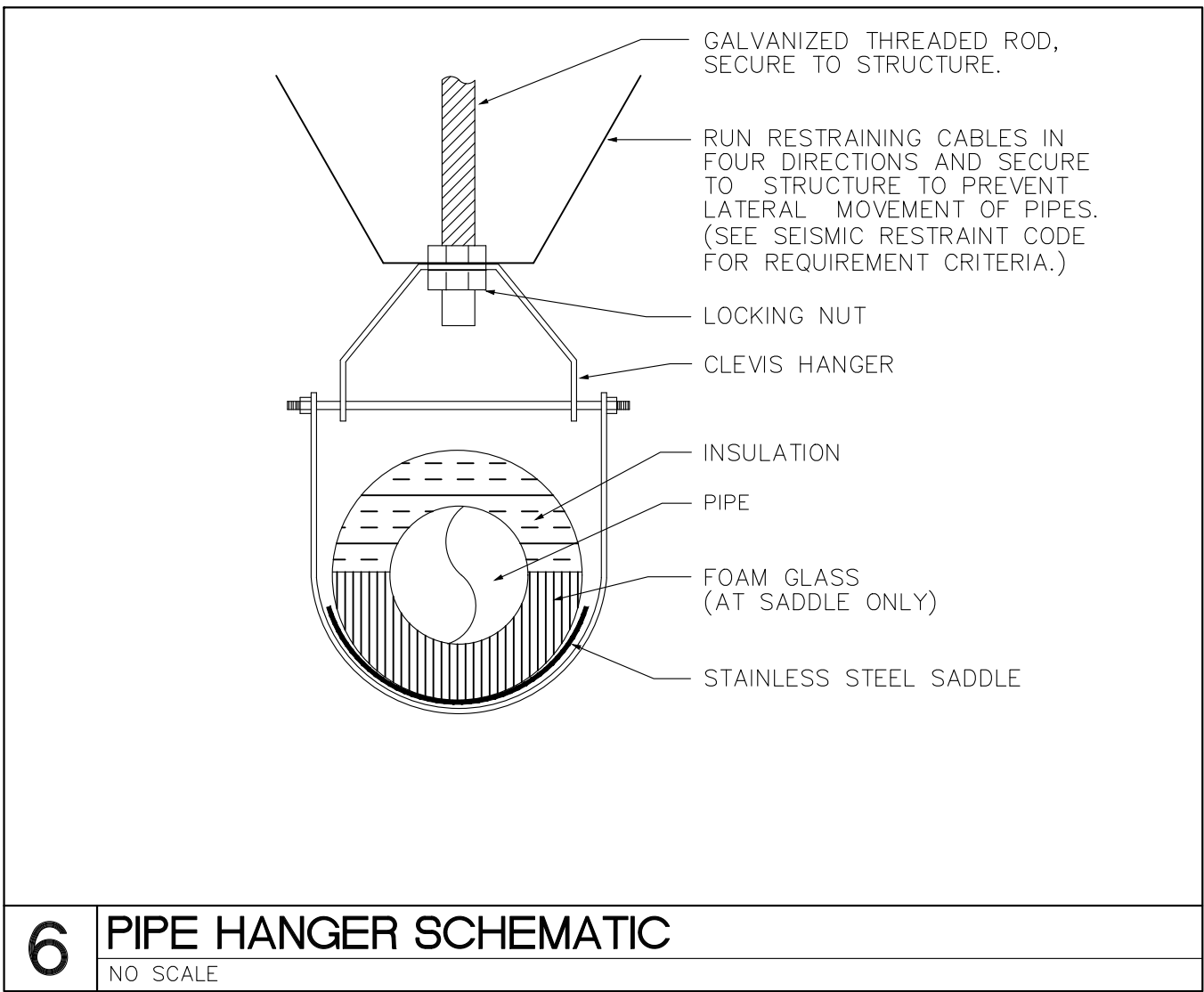
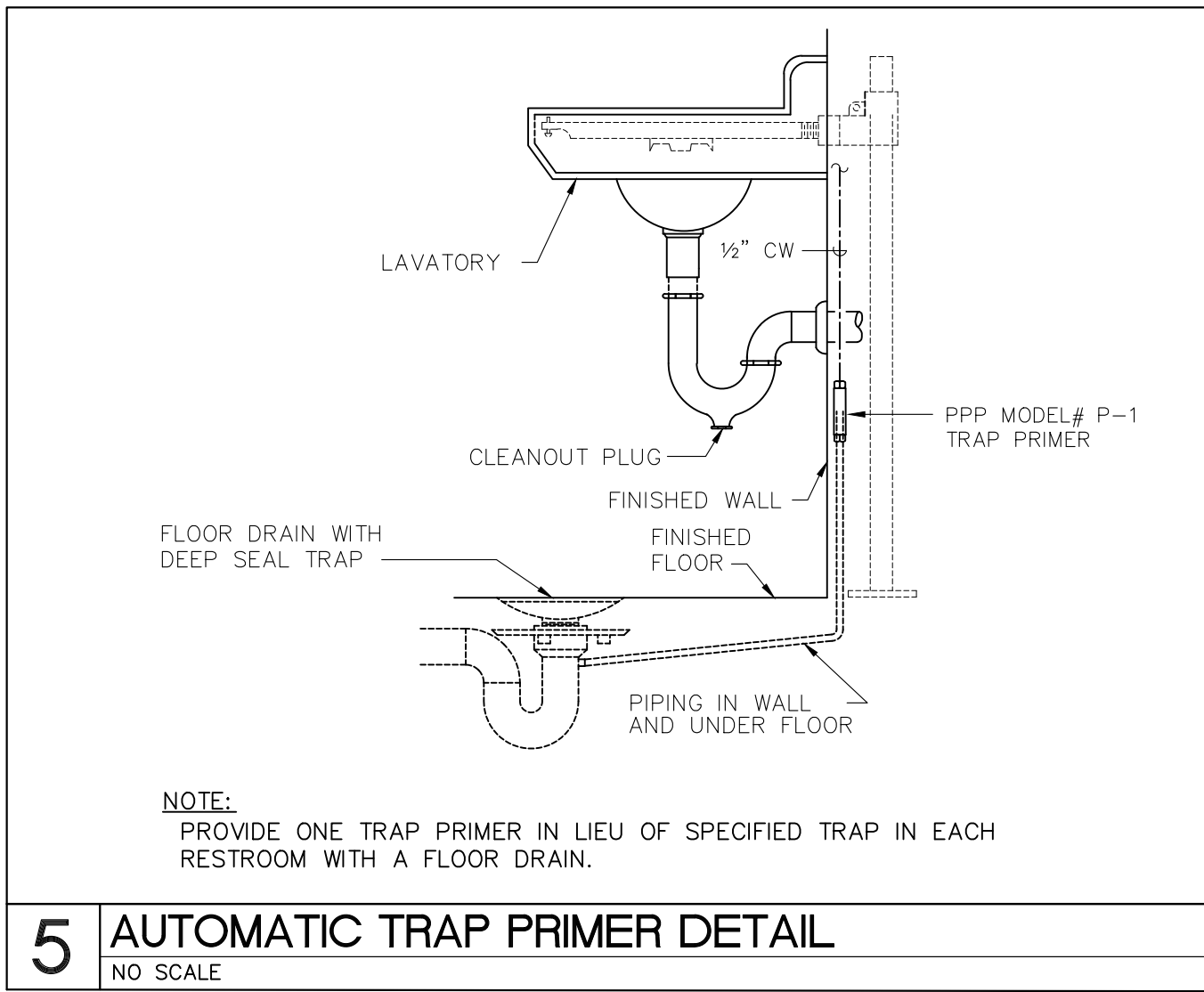
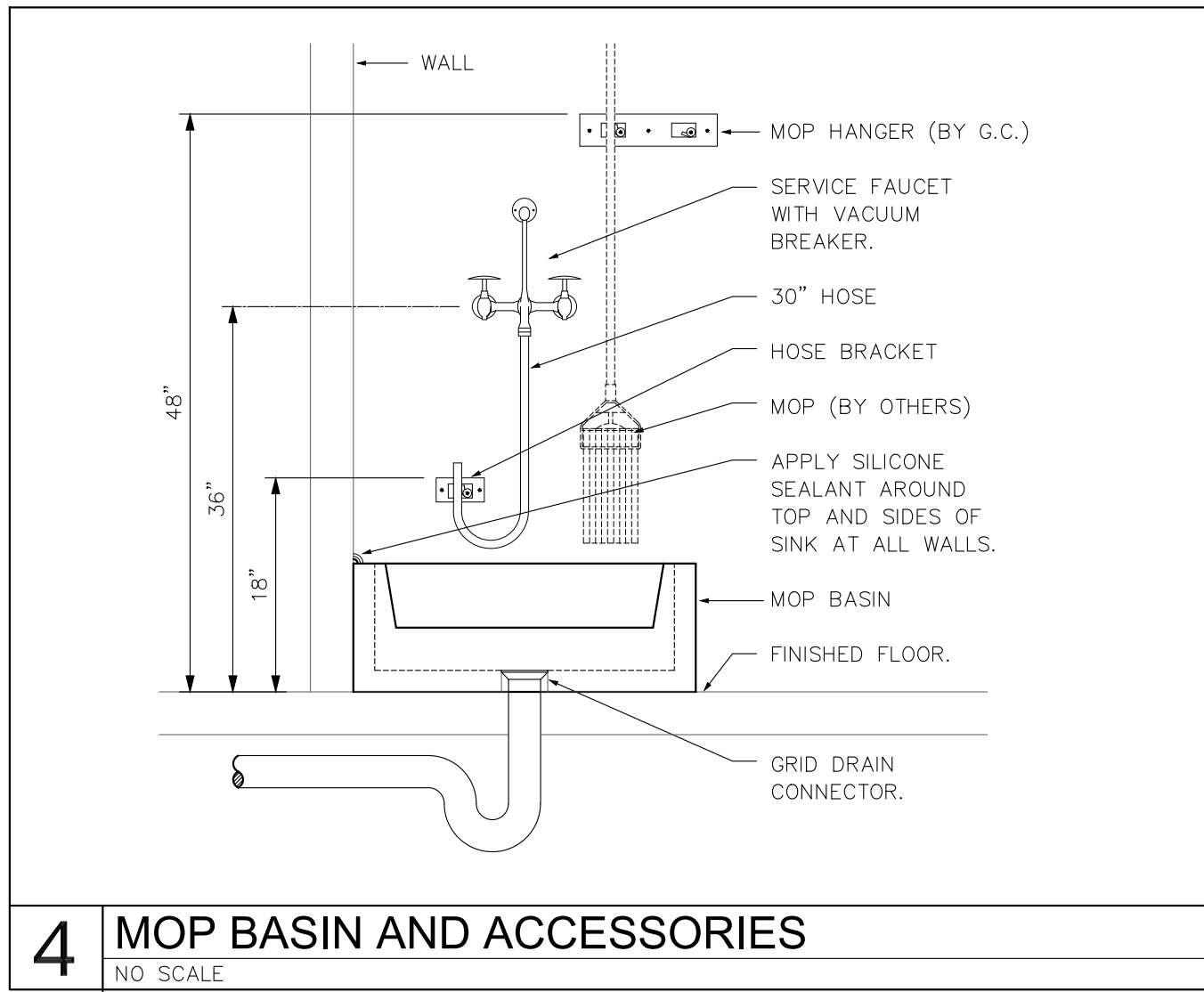
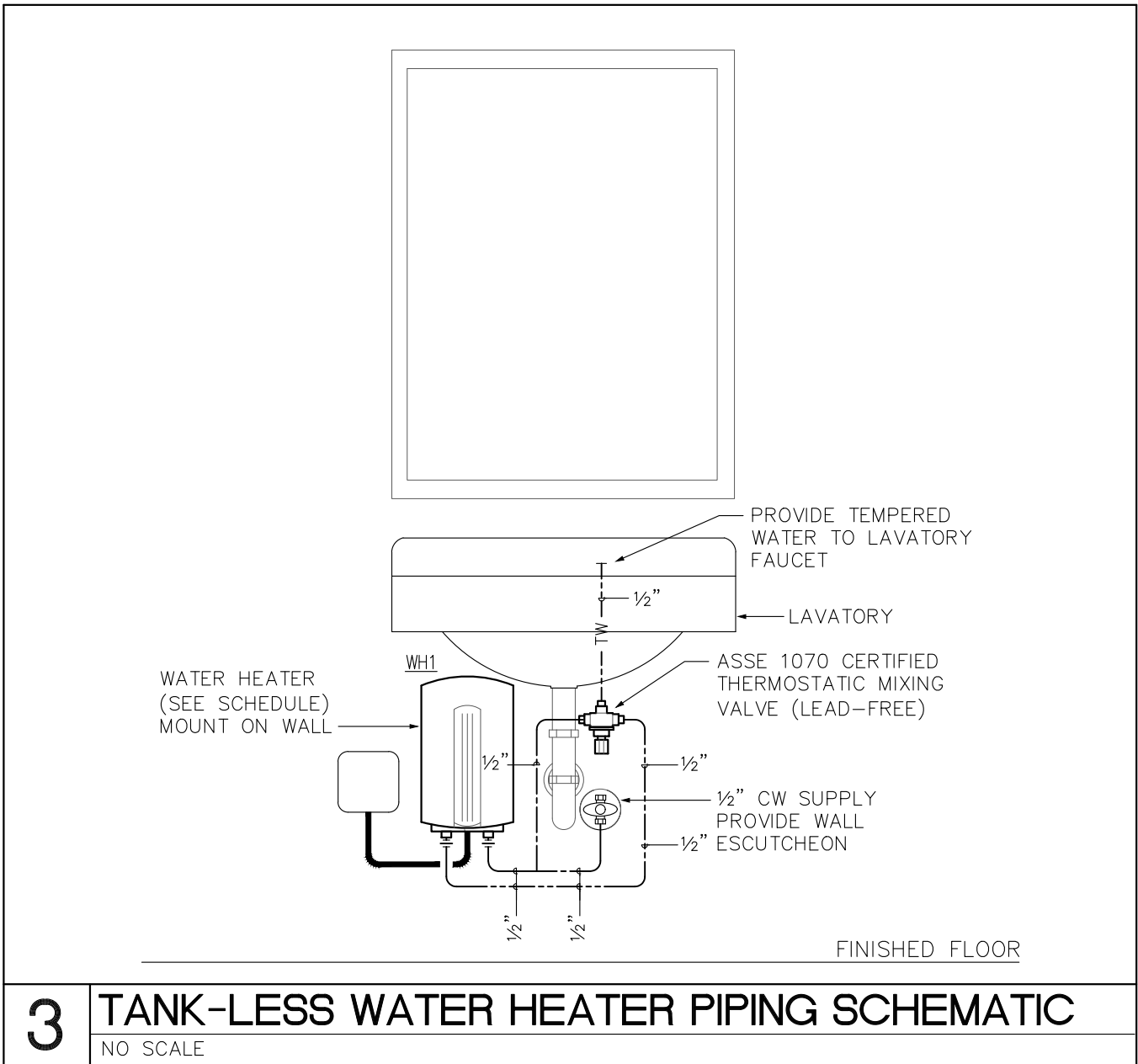
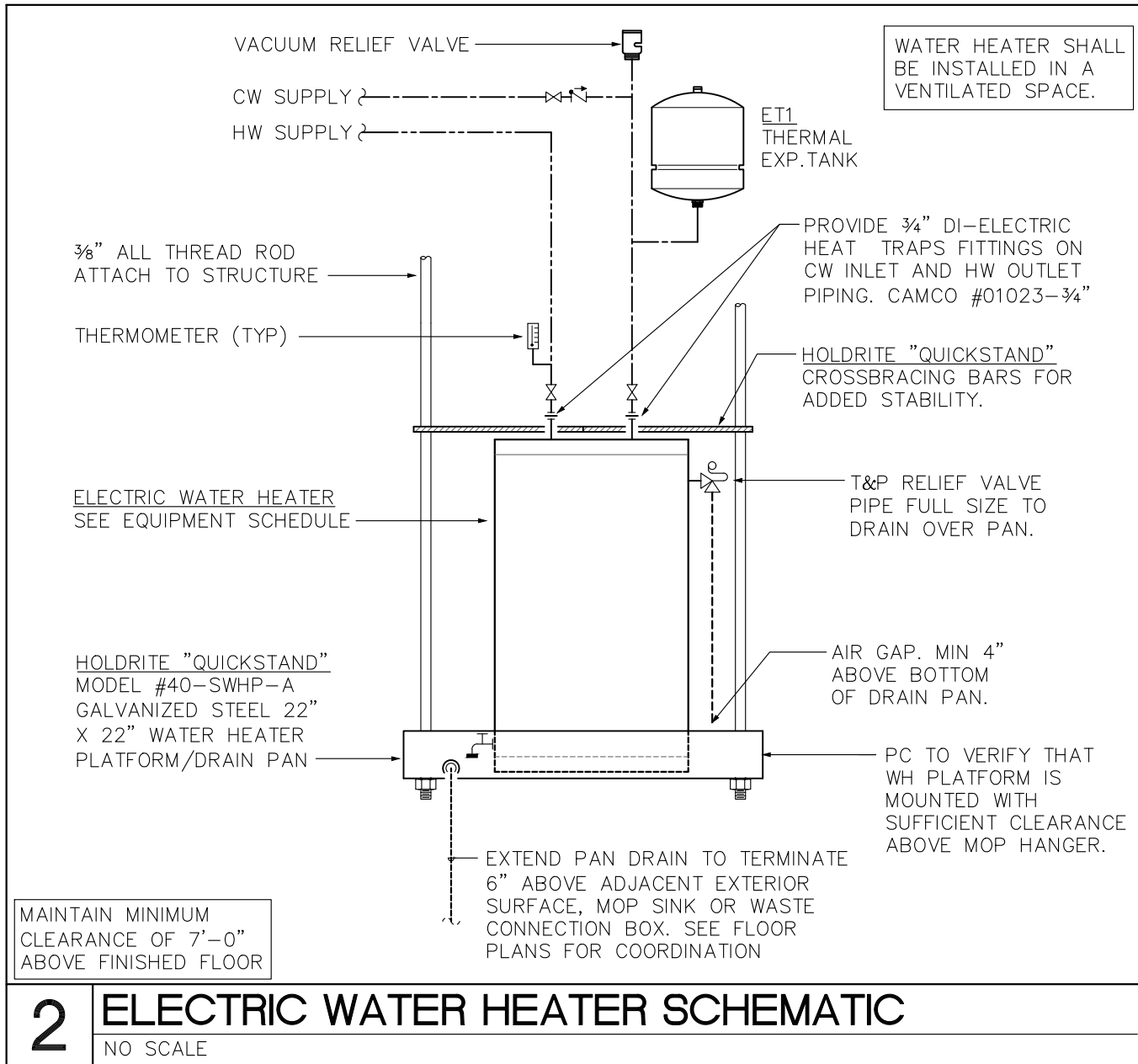
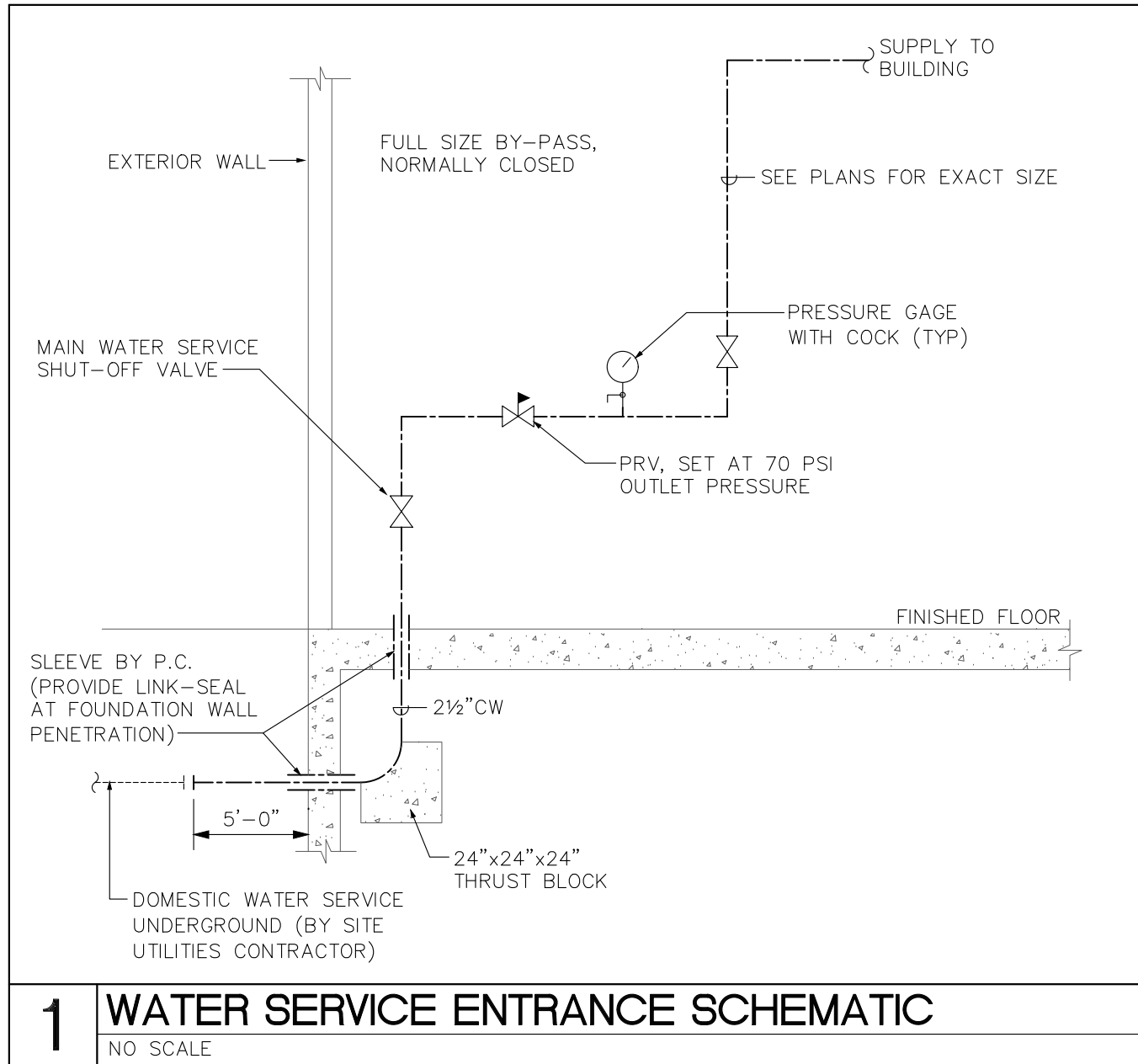
ISSUANCE SCHEDULE	
NUMBER	DATE
△	

CITY OF CONCORD
J.E. "JIM" RAMSEUR PARK
PARKS & RECREATION DEPARTMENT
MAINTENANCE BUILDING
1252 COX MILL ROAD
CONCORD, NC 28027

PROJECT NO:	081197
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CHECKED BY:	DL

SHEET NAME:
A SUPPLY PIPING FLOOR
PLANS

SHEET NO:
P-201-MB



W

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06/15/2023

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ISSUANCE SCHEDULE

DESCRIPTION

DATE

NUMBER

C

B

A

CITY OF CONCORD

J.E. "JIM" RAMSEUR PARK

PARKS & RECREATION DEPARTMENT

MAINTENANCE BUILDING

1262 COX MILL ROAD

CONCORD, NC 28027

PROJECT NO:

081197

DATE ISSUED:

06/15/2023

DESIGNED BY:

MCH

DRAWN BY:

MCH

CHECKED BY:

DL

SHEET NAME:

PLUMBING

DETAILS

SHEET NO:

P-501

11 OF 11

OPTIMA #: 22-0236

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ISSUED FOR BIDDING

EQUIVALENT MANUFACTURERS LISTING

LISTING OF MANUFACTURER'S NAME DOES NOT GUARANTEE APPROVAL. ALL EQUIPMENT MUST MEET OR EXCEED QUALITY AND CAPACITIES OF SPECIFIED EQUIPMENT. FINAL APPROVAL WILL BE BASED ON EQUIPMENT SUBMITTALS. ANY MANUFACTURER NOT LISTED BUT WISHING TO BID THIS PROJECT SHALL SUBMIT A WRITTEN REQUEST A MINIMUM OF 14 DAYS PRIOR TO BID DATE OR AS INDICATED IN THE SPECIFICATIONS. PRIOR APPROVAL IS REQUIRED FOR ALL MANUFACTURERS NOT LISTED. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

FANS: COOK, GREENHECK, PENN, TWIN CITY
AIR DISTRIBUTION: CARNES, METAL-AIRE, NAILOR, PRICE, TITUS
FIRE DAMPERS: NAILOR, RUSKIN, POTTORFF, PREFCO, SAFE-AIRE
DUCTLESS SPLIT SYSTEMS: DAIKIN, MITSUBISHI, PANASONIC, EMI
ELECTRIC WALL HEATER: INDEECO, MARKEL, VULCAN
PTHP: G.E., FRIEDRICH, AMANA, TRANE

NOTE:
ALL COST ASSOCIATED WITH SUBSTITUTED EQUIPMENT TO COMPLY WITH BASIS OF DESIGN, INCLUDING PROVIDING MAINTENANCE ACCESS, CLEARANCE, PIPING, SHEET METAL, ELECTRICAL, REPLACEMENT OF OTHER SYSTEM COMPONENTS, BUILDING ALTERATIONS, ETC., SHALL BE INCLUDED IN THE ORIGINAL BASE BID. NO ADDITIONAL COST ASSOCIATED WITH SUBSTITUTED EQUIPMENT WILL BE APPROVED DURING CONSTRUCTION AND ALL COST WILL BE THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR.

2018 NORTH CAROLINA
ENERGY CONSERVATION CODE
COMMERCIAL ENERGY EFFICIENCY – MECHANICAL SUMMARY

501.1 METHOD OF COMPLIANCE

☒ 2012 NCECC CHAPTER 5

☐ NC SPECIFIC COMCHECK PROVIDED
(EQUAL TO ASHRAE 90.1-2010)

501.2 APPLICATION COMPLIANCE

☐ 506.2.1 EFFICIENT MECH EQUIPMENT

☐ 506.2.4 HI EFFICIENCY DOMESTIC HW

☒ 506.2.2 REDUCED LTG DENSITY

☐ 506.2.5 ONSITE RENEWABLE ENERGY

☐ 506.2.3 ENERGY RECOVERY SYSTEMS

☐ 506.2.6 DAYLIGHTING CONTROLS

301.1 CLIMATE ZONE

3A – CABARRUS COUNTY, NORTH CAROLINA

DESIGN CONDITIONS

EXTERIOR (ASHRAE 90.1-2010 TABLE D-1)

WINTER DRY BULB 18° F.
SUMMER DRY BULB 91° F.
SUMMER WET BULB 74° F.

INTERIOR (2018 NCECC SECTION 302.1)

WINTER DRY BULB 72° F.
SUMMER DRY BULB 75° F.

*PROVIDE 5°F DEADBAND PER 503.2.4.2

503.2 HEATING & COOLING LOADS AND EQUIPMENT & SYSTEM SIZING

BUILDING HEATING LOAD REFER TO SCHEDULES
BUILDING COOLING LOAD REFER TO SCHEDULES
INSTALLED HEATING CAPACITY REFER TO SCHEDULES
INSTALLED COOLING CAPACITY REFER TO SCHEDULES

503.2.3 & 506.2.1 – REQUIRED & INCREASED HVAC EQUIPMENT PERFORMANCE

SYSTEM DESCRIPTION – FANS FOR VENTILATION, ELECT. WALL HEATERS, AND DUCTLESS SPLIT FOR OFFICE HEATING/COOLING

☒ MINIMUM HVAC EQUIPMENT EFFICIENCY COMPLIANCE – TABLE 503.2.3

☐ INCREASED HVAC EQUIPMENT EFFICIENCY COMPLIANCE – TABLE 506.2.1

EQUIP. TYPE	SIZE CATEGORY (BTUH)	SUBCATEGORY	503.2.3 MINIMUM EFFICIENCY (b)	506.2.1 INCREASED EFFICIENCY	DESIGN EFFIC.
TABLE 5.3.2.3(1) – UNITARY AIR CONDITIONERS AND CONDENSING UNITS					
AIR COND, AIR COOLED	< 65,000 (<= 5 TONS)	SPLIT SYSTEM & SINGLE PACKAGE	13.0 SEER	15.0 SEER 12.5 EER	SEE SCHEDULE
TABLE C403.2.3(2) – ELECTRICALLY OPERATED UNITARY AND APPLIED HEAT PUMPS					
AIR COOLED COOL MODE	< 65,000 (<= 5 TONS)	SPLIT SYSTEM & SINGLE PACKAGE	14.0 SEER	15.4 SEER	SEE SCHEDULE

b. IPLVS ARE ONLY APPLICABLE TO EQUIPMENT WITH CAPACITY MODULATION.
c. DEDUCT 0.2 FROM THE REQUIRED EERS AND IPLVS FOR UNITS WITH A HEATING SECTION OTHER THAN ELECTRIC RESISTANCE HEAT.

503.2.4 THRU 503.2.9

☒ HVAC SYSTEMS ARE FULLY COMPLIANT WITH THE REQUIREMENTS FOR HVAC SYSTEM CONTROL, VENTILATION, ENERGY RECOVERY, DUCT AND PLENUM INSULATION AND SEALING, PIPING INSULATION, AND SYSTEM COMPLETION.

503.2.10 – AIR SYSTEM DESIGN AND CONTROL

☒ ALL FANS INSTALLED ON THE PROJECT ARE BELOW 5 HP AND ARE EXEMPT FROM THESE REQUIREMENTS.

503.3 – SIMPLE HVAC SYSTEMS AND EQUIPMENT (PRESCRIPTIVE)

☒ PROJECT CONSISTS OF ONLY DX SINGLE ZONE SYSTEMS FULLY COMPLIANT WITH THE SIMPLE PRESCRIPTIVE REQUIREMENTS OF 503.3.

ELECTRICAL/MECHANICAL DEMARCATION

REFER TO DETAIL 8/M-501 FOR MECHANICAL CONTRACTOR'S RESPONSIBILITIES RELATED TO ELECTRICAL DISCONNECTS, STARTERS AND WIRING OF MECHANICAL EQUIPMENT. ALL DISCONNECTS, STARTERS AND WIRING (LOAD SIDE OF DISCONNECTS) SHALL BE FURNISHED AND INSTALLED BY M.C. UNLESS OTHERWISE NOTED IN DETAIL 8/M-501. COORDINATE ALL ELECTRICAL REQUIREMENTS WITH E.C. PRIOR TO ASSEMBLING SHOP DRAWING SUBMITTALS OR ORDERING EQUIPMENT.

MECHANICAL GENERAL NOTES

1. DO NOT SCALE DRAWINGS. SEE ARCHITECTURAL DRAWINGS AND REFLECTED CEILING PLANS FOR EXACT LOCATION OF DOORS, WINDOWS, CEILING DIFFUSERS, ETC.

2. ALL COST ASSOCIATED WITH SUBSTITUTED EQUIPMENT TO COMPLY WITH BASIS OF DESIGN, INCLUDING PROVIDING MAINTENANCE ACCESS, CLEARANCE, PIPING, SHEET METAL, ELECTRICAL, REPLACEMENT OF OTHER SYSTEM COMPONENTS, BUILDING ALTERATIONS, ETC., SHALL BE INCLUDED IN THE ORIGINAL BASE BID. NO ADDITIONAL COST ASSOCIATED WITH SUBSTITUTED EQUIPMENT WILL BE APPROVED DURING CONSTRUCTION AND ALL COST WILL BE THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR. THIS INCLUDES ANY MODIFICATIONS TO ANY ASSOCIATED MECHANICAL, PLUMBING, OR ELECTRICAL SYSTEMS REQUIRED BY THIS SPECIFIC MANUFACTURER'S INSTALLATION INSTRUCTIONS.

3. ALL DUCTWORK SHALL BE GALVANIZED SHEET METAL CONSTRUCTED IN ACCORDANCE WITH THE LATEST SMACNA STANDARDS. ALL SUPPLY, RETURN AND OUTSIDE AIR DUCTWORK SHALL BE WRAPPED WITH 2" THICK DUCT WRAP WITH VAPOR BARRIER. INSULATION (INCLUDING FLEXIBLE DUCT INSULATION) SHALL HAVE A MINIMUM INSTALLED R-VALUE OF 6.0. ROOFTOP UNIT RETURN DUCTWORK AND TRANSFER DUCTS SHALL BE LINED WITH 1" THICK FIBERGLASS DUCT LINER FOR ACOUSTICAL PURPOSES. DUCT DIMENSIONS ON PLANS ARE FREE AREA SIZE.

4. ALL DUCTWORK SHALL BE SEALED PER THE REQUIREMENTS OF THE NORTH CAROLINA MECHANICAL CODE. SEAL LOW PRESSURE SUPPLY, RETURN, OUTSIDE AIR, AND EXHAUST DUCTWORK FOR POSITIVE/NEGATIVE 2" PRESSURE CLASS, SMACNA SEAL CLASS A, SMACNA LEAKAGE CLASS 4.

5. ALL PIPING, DUCTS, VENTS, ETC., EXTENDING THROUGH WALLS AND ROOF SHALL BE FLASHED AND COUNTERFLASHED IN A WATERPROOF MANNER.

6. ALL PIPING AND DUCTWORK LOCATIONS SHALL BE COORDINATED WITH THE WORK UNDER OTHER DIVISIONS OF THE SPECIFICATIONS, TO AVOID INTERFERENCE.

7. THE MECHANICAL CONTRACTOR SHALL BALANCE ALL MECHANICAL SYSTEMS TO THE PERFORMANCE SPECIFICATIONS INDICATED ON PLANS AND PROVIDE THE ENGINEER WITH AN ELECTRONIC COPY OF A COMPLETE TEST AND BALANCE REPORT. THE REPORT IS TO BE ISSUED A MINIMUM OF TWO WEEKS PRIOR TO PROJECT COMPLETION. THE TEST AND BALANCE REPORT WILL BE SUBJECT TO REVIEW AND APPROVAL BY THE ENGINEER. ANY ADDITIONAL TESTING, ADJUSTING AND BALANCING REQUIRED (AT ENGINEER'S REQUEST) AFTER REVIEW OF THE INITIAL REPORT SHALL BE PROVIDED AT NO ADDITIONAL COST. TESTING AND BALANCING CONTRACTOR TO CONFIRM FILTERS ARE CLEAN, AND FREE OF DEBRIS PRIOR TO BEGINNING WORK. THE MECHANICAL CONTRACTOR SHALL REPLACE ANY DIRTY FILTERS, AS NEEDED. TEST AND BALANCE REPORT TO BE COMPLETED BY AN INDEPENDENT, CERTIFIED TEST AND BALANCE CONTRACTOR.

8. UPON PROJECT COMPLETION, THE MECHANICAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE OWNER INSTALLATION INFORMATION INCLUDING RECORD SUBMITTALS (WITH ANY SUBMITTAL REVIEW COMMENTS ADDRESSED) AND O&M MANUALS FOR EACH PIECE OF EQUIPMENT INCLUDING ALL SELECTED OPTIONS, THE NAME AND ADDRESS OF AT LEAST ONE SERVICE AGENCY, FULL CONTROL SYSTEM O&M AND CALIBRATION INFORMATION INCLUDING WIRING DIAGRAMS, SCHEMATICS, FULL SEQUENCE OF OPERATION, AND PROGRAMMED SETPOINTS.

9. PROVIDE A ONE YEAR WARRANTY FOR ALL WORK PERFORMED BEGINNING ON THE DAY THE SYSTEM IS COMPLETELY OPERATIONAL AND ACCEPTABLE BY THE OWNER.

10. PROVIDE MANUFACTURER'S RECOMMENDED CLEARANCES AROUND ALL EQUIPMENT FOR MAINTENANCE AND FILTER REMOVAL.

11. CONDENSATE DRAIN PIPING SHALL BE TYPE "K" HARD DRAWN COPPER AND SHALL BE INSULATED WITH 1½" THICK FIBERGLASS INSULATION WITH A DENSITY OF 1.5 LB. PER CUBIC FOOT. INSULATION SHALL HAVE A FACTORY APPLIED PRESSURIZED VAPOR BARRIER JACKET WITH PRESSURE SENSITIVE ADHESIVE SELF-SEALING LAP. INSULATION AND JACKET SHALL BE RATED FOR INSULATION IN A RETURN AIR PLENUM.

12. ALL REFRIGERANT PIPE SHALL BE NITROGENIZED ACR COPPER TUBE. SIZE, INSULATE, AND INSTALL REFRIGERANT PIPING PER MANUFACTURER'S RECOMMENDATIONS. REFRIGERANT PIPING INSULATION EXPOSED OUTDOORS SHALL BE COVERED WITH AN OUTER ALUMINUM JACKET.

13. ANY DEVICE REQUIRING A THERMOSTAT FOR CONTROL SHALL BE FURNISHED WITH A THERMOSTAT WHETHER INDICATED ON THE DRAWINGS OR NOT.

14. INSTALL THE TOP OF ALL THERMOSTATS, SENSORS, AND SWITCHES AT 4'-0" (MAXIMUM) ABOVE FINISH FLOOR. COORDINATE EXACT THERMOSTAT LOCATION WITH OWNER PRIOR TO INSTALLATION. ANY DEVICE ON A PERIMETER WALL SHALL BE MOUNTED ON A FOAM-FILLED ELECTRICAL BOX, WITH ALL GAPS BETWEEN BOX AND WALL SEALED TO PREVENT INFILTRATION.

15. CONTRACTOR SHALL LOCATE EXHAUST FANS, OUTLETS, AND GAS FLUES A MINIMUM OF 10'-0" FROM ANY OUTSIDE AIR INTAKE AND 3'-0" AWAY FROM ANY OPERABLE BUILDING OPENING.

16. DUCTWORK AND PIPING PASSING THROUGH/ABOVE ELECTRICAL ROOMS SHALL BE CLOSELY COORDINATED WITH THE ELECTRICAL CONTRACTOR. DUCTWORK OR PIPING SHALL NOT BE LOCATED ABOVE ELECTRICAL PANELS.

17. EQUIPMENT OPERATED DURING CONSTRUCTION SHALL USE FILTERED MEDIA TO PREVENT CONSTRUCTION DEBRIS FROM ENTERING COILS, DUCTWORK SYSTEMS, AIR TERMINALS ETC. AT COMPLETION OF CONSTRUCTION, MECHANICAL CONTRACTOR SHALL CLEAN ALL SYSTEMS WITH ALL CONTROL DEVICES WIDE OPEN AND REMOVE ANY REMAINING DEBRIS PRIOR TO TEST AND BALANCING. MECHANICAL CONTRACTOR SHALL REPLACE ALL FILTRATION WITH NEW FILTERS AT COMPLETION OF CONSTRUCTION. ANY DUCTWORK, AIR TERMINALS, AND/OR OTHER EQUIPMENT UPSTREAM OF FILTRATION SHALL BE CLEANED THOROUGHLY OF CONSTRUCTION DEBRIS BEFORE HANDING OVER TO OWNER.

18. MECHANICAL CONTRACTOR SHALL PROVIDE PRE-PRINTED COLOR-CODED PIPE LABELS WITH 1-1/2" HIGH LETTERING INDICATING SERVICE AND FLOW DIRECTION. PLASTIC PIPE LABELS UTILIZED IN A RETURN AIR PLENUM SHALL BE LISTED/APPROVED FOR USE IN A RETURN AIR PLENUM. ALL PIPING TO MATCH EXISTING FACILITIES STANDARD (IF APPLICABLE). OTHERWISE, PIPE LABELS SHALL MATCH THE FOLLOWING:

REFRIGERANT PIPING: YELLOW BACKGROUND, BLACK LETTERING

19. ALL MECHANICAL EQUIPMENT SHALL BE U.L. LISTED AND LABELED AS A COMPLETE PACKAGE, NOT THROUGH INDIVIDUAL COMPONENTS OR PARTS. PROVIDE REQUIRED 3RD PARTY FIELD UL LISTING SERVICES AS REQUIRED TO COMPLY.

MECHANICAL DRAWING INDEX

SHEET#

SHEET TITLE

M-001
M-002

MECHANICAL LEGEND, NOTES, & SCHEDULES
MECHANICAL SCHEDULES

M-101-PB
M-101-SP
M-101-BB
M-101-MB

MECHANICAL FLOOR PLAN
MECHANICAL FLOOR PLAN
MECHANICAL FLOOR PLAN
MECHANICAL FLOOR PLAN

M-501

MECHANICAL DETAILS

MECHANICAL LEGEND

SYMBOL

DESCRIPTION

ABBR.

— D —

— PD —

CONDENSATE DRAIN
PUMPED CONDENSATE

D
PD

①

⑤

⊗

⊠

THERMOSTAT / TEMP SENSOR (4'-0" AFF TO TOP)
SWITCH (4'-0" AFF TO TOP)
SUPPLY AIR DIFFUSER (4-WAY)
EXHAUST AIR GRILLE

↔

↔

DOUBLE LINE DUCTWORK

↔

↔

SINGLE LINE DUCTWORK

20/14
20x14
20x14L
8ø
ØD
SP
M
BD
C
CO2
↖①→
M.C.
E.C.
P.C.
N.I.C.
AFF
DN
UP

20"x14" FLAT OVAL DUCT
20"x14" RECTANGULAR DUCT
20"x14" RECTANGULAR DUCT LINED
8" DIAMETER ROUND DUCT
DUCT MOUNTED SMOKE DETECTOR W/ ACCESS DOOR
STATIC-PRESSURE SENSOR
MOTORIZED DAMPER
BACKDRAFT DAMPER
CARBON MONOXIDE SENSOR
CARBON DIOXIDE SENSOR
UNDERCUT DOOR
MECHANICAL CONTRACTOR
ELECTRICAL CONTRACTOR
PLUMBING CONTRACTOR
NOT IN CONTRACT
ABOVE FINISHED FLOOR
DOWN
UP

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NORTH CAROLINA
PROFESSIONAL
17228
ENGINEER
RONALD V. ALMOLD

06/15/2023

ISSUANCE SCHEDULE

DESCRIPTION

DATE

NUMBER

CITY OF CONCORD
J.E. "JIM" RAMSEUR PARK
PARKS & RECREATION DEPARTMENT
MAINTENANCE BUILDING
1262 COX MILL ROAD
CONCORD, NC 28027

PROJECT NO: 081197
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DESIGNED BY: CAH
DRAWN BY: CAH
CHECKED BY: RVA

SHEET NAME:
MECHANICAL LEGEND,
NOTES AND
SCHEDULES

SHEET NO:
M-001

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1 OF 7
OPTIMA #: 22-0236

DUCTLESS SPLIT SYSTEMS (DX COOLING + HEATING ONLY)

INDOOR UNIT						OUTDOOR UNIT										
SYMBOL	CFM	ELECTRICAL DATA		OPERATING	MANUFACTURER	SYMBOL	COOLING CAPACITY		HEATING CAPACITY	COMPRESSOR	ELECTRICAL DATA		OPERATING	MANUFACTURER	ALLOWABLE LINE-SET	
		MCA	VOLTAGE	WEIGHT	DAIKIN		TC (BTUH)	SHC (BTUH)	(BTUH)	RLA	MCA	FUSE	VOLTAGE	WEIGHT	DAIKIN	LENGTHS
AC-1	770	0.4	208V-1Ø	38 LBS	FFQ18Q2VJU	CU-1	18,000	16,000	19,000	18.9	19.5	20	208V-1Ø	96 LBS	RKS18LVJU	98' TOTAL, 66' VERT.
AC-2	716	-	208V-1Ø	31 LBS	FTK24AXVJU	CU-2	21,200	15,670	-	13.0	13.4	20	208V-1Ø	106 LBS	RK24AXJU	98' TOTAL, 65' VERT.
NOTES:																
1. ALL UNITS SHALL BE U.L. LISTED AND HAVE A MINIMUM SEER2 OF 14.3.																
2. COOLING CAPACITIES ARE BASED ON 95° AMBIENT, 80° ENTERING AIR DRY BULB, 67° ENTERING AIR WET BULB. AIRFLOWS INDICATED ARE AT 'HIGH' SPEED.																
3. MOUNT GROUND-MOUNTED UNITS ON 4" CONCRETE PAD.																
4. PROVIDE MANUFACTURER'S SUGGESTED CLEARANCES AROUND UNIT.																
5. PROVIDE UNITS WITH MANUFACTURER'S WIND BAFFLES OR LOW AMBIENT CONTROLS FOR OPERATION DOWN TO 0° F, INVERTER COMPRESSOR, 7-DAY PROGRAMMABLE THERMOSTAT (WALL-MOUNTED), NON-LOCKING DISCONNECT FOR INDOOR UNIT, INTEGRAL IN-LINE CONDENSATE PUMP.																
6. PROVIDE OUTDOOR UNITS WITH 6 YEAR EXTENDED COMPRESSOR WARRANTY.																
7. SEE MANUFACTURER'S RECOMMENDATIONS FOR REQUIRED ADDITIONAL REFRIGERANT CHARGE AND RECOMMENDED LINE-SET LENGTHS.																
8. POWER SUPPLY TO CONDENSING UNIT IS A SINGLE POINT ELECTRICAL CONNECTION FOR THE SYSTEM (A/C UNIT AND CONDENSING UNIT). THE ELECTRICAL CONTRACTOR SHALL PROVIDE POWER TO THE CONDENSING UNIT AND FROM THE CONDENSING UNIT TO THE A/C UNIT. MC SHALL PROVIDE ALL CODE REQUIRED DISCONNECT SWITCHES.																
9. REFRIGERANT PIPING AND WIRING FOR WALL-MOUNTED INDOOR UNITS SHALL BE ROUTED IN WALL WHERE POSSIBLE. ANY EXPOSED PIPING SHALL BE PAINTED TO MATCH WALL-FINISH.																

PICKLEBALL RR VENTILATION CALCULATIONS (NCMC 2018, SECT 403):

OCCUPANCY CLASSIFICATION	PEOPLE O/A RATE IN BREATHING ZONE (CFM/PERSON)	AREA O/A RATE IN BREATHING ZONE (CFM/SQ. FT.)	DEFAULT OCCUPANCY DENSITY (PEOPLE/1000 SQ. FT.)	EXHAUST AIRFLOW RATE (CFM/SQ. FT.)	AREA (SQ. FT.)	CALCULATED OCCUPANCY (PEOPLE)	CALCULATED PEOPLE O/A (CFM)	CALCULATED AREA O/A (CFM)	CALCULATED AREA E/A (CFM)		
TOILET ROOMS — PUBLIC	0	0.000000	0	70.000000	7	(FIXTURES)	0	0	490		
* MAKE-UP AIR PROVIDED VIA EXTERIOR LOUVERS. SEE PLANS FOR SIZING AND LOCATIONS							BLDG TOTAL OUTSIDE AIR REQ'D (Ez=0.8, CFM)			0	
							BUILDING TOTAL OUTSIDE AIR PROVIDED (CFM)			0*	
							BUILDING TOTAL EXHAUST AIR REQUIRED (CFM)				490
							BUILDING TOTAL EXHAUST AIR PROVIDED (CFM)				800

MAINTENANCE BLDG VENTILATION CALCULATIONS (NCMC 2018, SECT 403):

OCCUPANCY CLASSIFICATION	PEOPLE O/A RATE IN BREATHING ZONE (CFM/PERSON)	AREA O/A RATE IN BREATHING ZONE (CFM/SQ. FT.)	DEFAULT OCCUPANCY DENSITY (PEOPLE/1000 SQ. FT.)	EXHAUST AIRFLOW RATE (CFM/SQ. FT.)	AREA (SQ. FT.)	CALCULATED OCCUPANCY (PEOPLE)	CALCULATED PEOPLE O/A (CFM)	CALCULATED AREA O/A (CFM)	CALCULATED AREA E/A (CFM)
OFFICE	5	0.060000	5	0.000000	182	1	5	11	0
TOILET ROOMS — PUBLIC	0	0.000000	0	70.000000	1	(FIXTURES)	0	0	70
BLDG TOTAL OUTSIDE AIR REQ'D (Ez=0.8, CFM)							20		
BUILDING TOTAL OUTSIDE AIR PROVIDED (CFM)							20*		
BUILDING TOTAL EXHAUST AIR REQUIRED (CFM)							70		
BUILDING TOTAL EXHAUST AIR PROVIDED (CFM)							850		
* MAKE-UP AIR PROVIDED VIA EXTERIOR LOUVERS. SEE PLANS FOR SIZING AND LOCATIONS									

SPLASH PAD RR VENTILATION CALCULATIONS (NCMC 2018, SECT 403):

OCCUPANCY CLASSIFICATION	PEOPLE O/A RATE IN BREATHING ZONE (CFM/PERSON)	AREA O/A RATE IN BREATHING ZONE (CFM/SQ. FT.)	DEFAULT OCCUPANCY DENSITY (PEOPLE/1000 SQ. FT.)	EXHAUST AIRFLOW RATE (CFM/SQ. FT.)	AREA (SQ. FT.)	CALCULATED OCCUPANCY (PEOPLE)	CALCULATED PEOPLE O/A (CFM)	CALCULATED AREA O/A (CFM)	CALCULATED AREA E/A (CFM)
TOILET ROOMS — PUBLIC	0	0.000000	0	70.000000	4	(FIXTURES)	0	0	280
* MAKE-UP AIR PROVIDED VIA EXTERIOR LOUVERS. SEE PLANS FOR SIZING AND LOCATIONS							BLDG TOTAL OUTSIDE AIR REQ'D (Ez=0.8, CFM)		0
							BUILDING TOTAL OUTSIDE AIR PROVIDED (CFM)		0*
							BUILDING TOTAL EXHAUST AIR REQUIRED (CFM)		280
							BUILDING TOTAL EXHAUST AIR PROVIDED (CFM)		675

BASKETBALL RR VENTILATION CALCULATIONS (NCMC 2018, SECT 403):

OCCUPANCY CLASSIFICATION	PEOPLE O/A RATE IN BREATHING ZONE (CFM/PERSON)	AREA O/A RATE IN BREATHING ZONE (CFM/SQ. FT.)	DEFAULT OCCUPANCY DENSITY (PEOPLE/1000 SQ. FT.)	EXHAUST AIRFLOW RATE (CFM/SQ. FT.)	AREA (SQ. FT.)	CALCULATED OCCUPANCY (PEOPLE)	CALCULATED PEOPLE O/A (CFM)	CALCULATED AREA O/A (CFM)	CALCULATED AREA E/A (CFM)
TOILET ROOMS — PUBLIC	0	0.000000	0	70.000000	3	(FIXTURES)	0	0	210
BLDG TOTAL OUTSIDE AIR REQ'D (Ez=0.8, CFM)						0			
BUILDING TOTAL OUTSIDE AIR PROVIDED (CFM)						0			
						BUILDING TOTAL EXHAUST AIR REQUIRED (CFM)		210	
						BUILDING TOTAL EXHAUST AIR PROVIDED (CFM)		400	

FAN SCHEDULE

SYMBOL	LOCATION	TYPE	CFM	APPROX. S.P.	DRIVE	FAN RPM	ELECTRICAL DATA				MANUFACTURER GREENHECK	ACCESSORIES	CONTROLS
							VFD	WATTS	MOCP	VOLTAGE			
F-1	JAN STORAGE BB103	INLINE	400	0.5	DIRECT	1,175	NO	153	--	120/1/60	CSP-A780	A,B,C,D,E,F	3
F-2	JANITOR PB104	INLINE	800	0.5	DIRECT	1,009	NO	191	--	120/1/60	CSP-A1410	A,B,C,D,E,F	3
F-3	PARK STORAGE SP101	INLINE	400	0.5	DIRECT	1,175	NO	153	--	120/1/60	CSP-A780	A,B,C,D,E,F	3
F-4	CHEMICAL STORAGE SP103	INLINE	100	0.5	DIRECT	824	NO	68	--	120/1/60	CSP-B150	A,B,C,D,E,F	4
F-5	PUMP ROOM SP102	INLINE	175	0.5	DIRECT	941	NO	623	--	120/1/60	CSP-A290	A,B,C,D,E,F	1
F-6	SHOP MB100	INLINE	750	0.5	DIRECT	978	NO	168	--	120/1/60	CSP-A1410	A,B,C,D,E,F	5
F-7	RR MB101	CABINET	100	0.25	DIRECT	1,061	NO	18	--	120/1/60	SP-A125	A,B,D,L	3
ACCESSORIES													
A: DISCONNECT SWITCH D: HANGING BRACKETS G: MAGNETIC STARTER WITH AUXILIARY J: GREASE TRAP													
B: BACKDRAFT DAMPER WITH VIBRATION ISOLATION CONTACTS K: INLET GUARD													
C: ACOUSTICAL LINING E: BELT GUARD H: PREFAB. ROOF CURB L: EXHAUST GRILL													
F: EXTENDED LUBE LINES I: BIRDSCREEN													
CONTROLS													
1: CONTROLLED BY BUILDING AUTOMATION SYSTEM													
2: ROOM THERMOSTAT													
3: ROOM OCCUPANCY SENSOR — INPUT FROM ANY ASSOCIATED ROOM OCC. SENSOR SHALL START FAN.													
4: CONTINUOUS OPERATION													
5: MANUAL WALL MOUNTED 2-HR TIMER SWITCH													
NOTES:													
1. ALL FANS SHALL BE U.L. LISTED AND LABELED AND SHALL BE AMCA CERTIFIED FOR SOUND AND AIR FLOW. ALL FANS INSTALLED INSIDE, ABOVE, OR ADJACENT TO OCCUPIED SPACES SHALL HAVE A MAXIMUM 9.0 INLET SONE LEVEL.													
2. ALL FANS SHALL BE SUPPLIED BY ONE MANUFACTURER UNLESS NOTED OTHERWISE.													
3. MECHANICAL CONTRACTOR SHALL PROVIDE MAGNETIC STARTER WITH AUXILIARY CONTACTS AS REQUIRED.													
4. INSTALL INLINE FANS TIGHT TO BOTTOM OF STRUCTURE													
5. FAN F-4 SHALL BE NON-CORROSIVE MATERIAL DUE TO PROXIMITY TO CHEMICALS.													

ELECTRIC WALL HEATER SCHEDULE

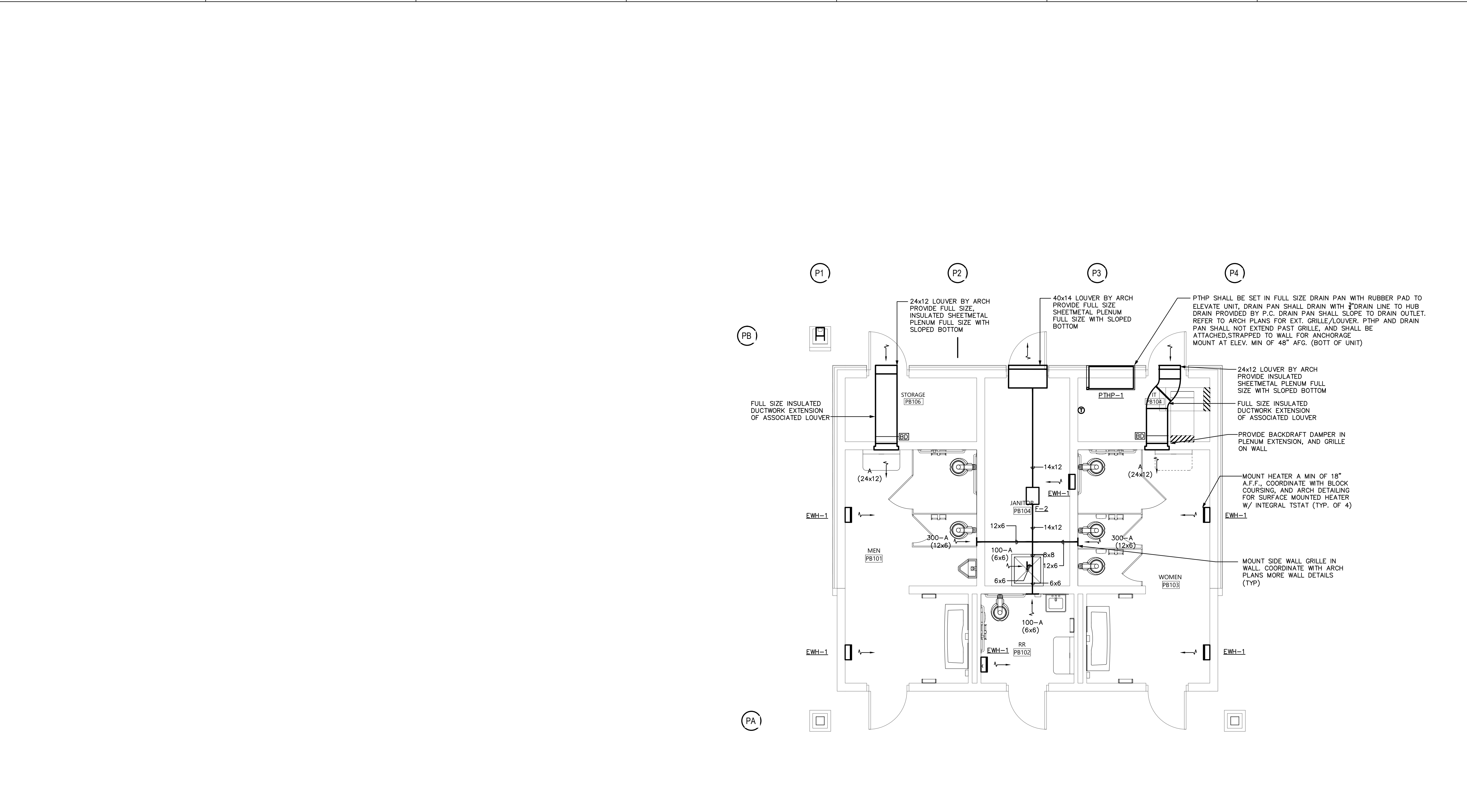
SYMBOL	LOCATION	CFM	KW	MOTOR		VOLTAGE	MANUFACTURER MARKEL	ACCESSORIES
				R.P.M.	H.P.(AMPS)			
FWH-1	RR & JANITOR	175	1.5	600	12.5	120V-1Ø	E3323TD-RP	A,B,C
FWH-2	PUMP, STOR. & SHOP	175	2.25	600	10.8	208V-1Ø	HF3325TD-RP	A,B,C
NOTES:								
1. HEAT CAPACITY BASED ON 65°F E.A.T.								
2. SEE PLANS FOR TYPE OF THERMOSTAT REQUIRED (WALL MOUNTED OR UNIT MOUNTED). UNIT HEATERS SHOWN WITHOUT THERMOSTAT INDICATED SHALL BE PROVIDED WITH A UNIT MOUNTED THERMOSTAT.								
3. SET TO MAINTAIN 45°F.								
ACCESSORIES								
A: DISCONNECT SWITCH								
B: INTEGRAL THERMOSTAT								
C: SURFACE MOUNT OR RECESSED WALL ENCLOSURE PER PLANS								
*ENSURE WALL HEATER IN MECHANICAL STORAGE ROOM IS CORROSION RESISTANT.								

GRILLE AND DIFFUSER SCHEDULE

SYMBOL	SERVICE	CFM RANGE	FACE SIZE	NECK SIZE	TYPE	OBD	PRICE
A	EXHAUST	51-125	8x8	6x6	SINGLE DEFLECTION	YES	630
		126-305	14x8	12x6	SINGLE DEFLECTION	YES	630
B	TRANSFER	--	26x14	24x12	SINGLE DEFLECTION	NO	630

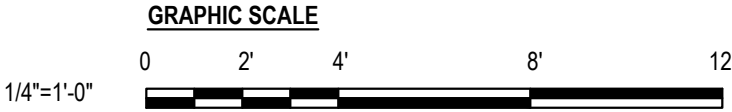
NOTES:

1. ALL DEVICES SHALL BE FURNISHED WITH AN ENAMEL OFF-WHITE FINISH, PROVIDE COLOR SAMPLE SELECTIONS TO ARCH FOR REVIEW.
2. ALL DEVICES SHALL BE FURNISHED WITH FRAMES SUITABLE FOR TYPE OF INSTALLATION REQUIRED.
3. PROVIDE MINIMUM FACE SIZE WITH SPECIFIED NECK SIZE FOR ALL AIR DISTRIBUTION EXPOSED OR LOCATED IN HARD CEILINGS. PROVIDE SHEET-METAL RUN-OUTS (NO FLEX) FOR ALL EXPOSED AIR DISTRIBUTION.
4. PROVIDE OBD FOR ALL AIR DISTRIBUTION WHERE RUNOUT DUCTS ARE LOCATED ABOVE HARD CEILINGS. OBD ADJUSTMENT SCREW SHALL BE CONCEALED BEHIND THE BLADES OF
5. ALL AIR TERMINALS THAT SERVE TOILETS SHALL BE ALUMINUM.



① PICKLEBALL RR FLOOR PLAN - MECHANICAL

1/4" = 1'-0"



W

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ISSUANCE SCHEDULE	
NUMBER	DATE

CITY OF CONCORD

J.E. "JIM" RAMSEUR PARK

PARKS & RECREATION DEPARTMENT

MAINTENANCE BUILDING

1262 COX MILL ROAD

CONCORD, NC 28027

PROJECT NO:	081197
DATE ISSUED:	06/15/2023
DESIGNED BY:	CAH
DRAWN BY:	CAH
CHECKED BY:	RVA
SHEET NAME:	
MECHANICAL FLOOR PLAN	

SHEET NO:

M-101-PB

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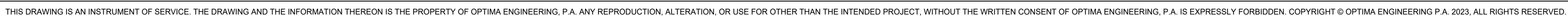
3 OF 7
OPTIMA #: 22-0236

CITY OF CONCORD
J.E. "JIM" RAMSEUR PARK
PARKS & RECREATION DEPARTMENT
MAINTENANCE BUILDING
1252 COX MILL ROAD
CONCORD, NC 28027

SHEET NAME:

A MECHANICAL
FLOOR PLAN

M-101-SP



ISSUANCE SCHEDULE		D
NUMBER	DATE	DESCRIPTION

CITY OF CONCORD
J.E. "JIM" RAMSEUR PARK
PARKS & RECREATION DEPARTMENT
MAINTENANCE BUILDING

1252 COX MILL ROAD
CONCORD, NC 28027

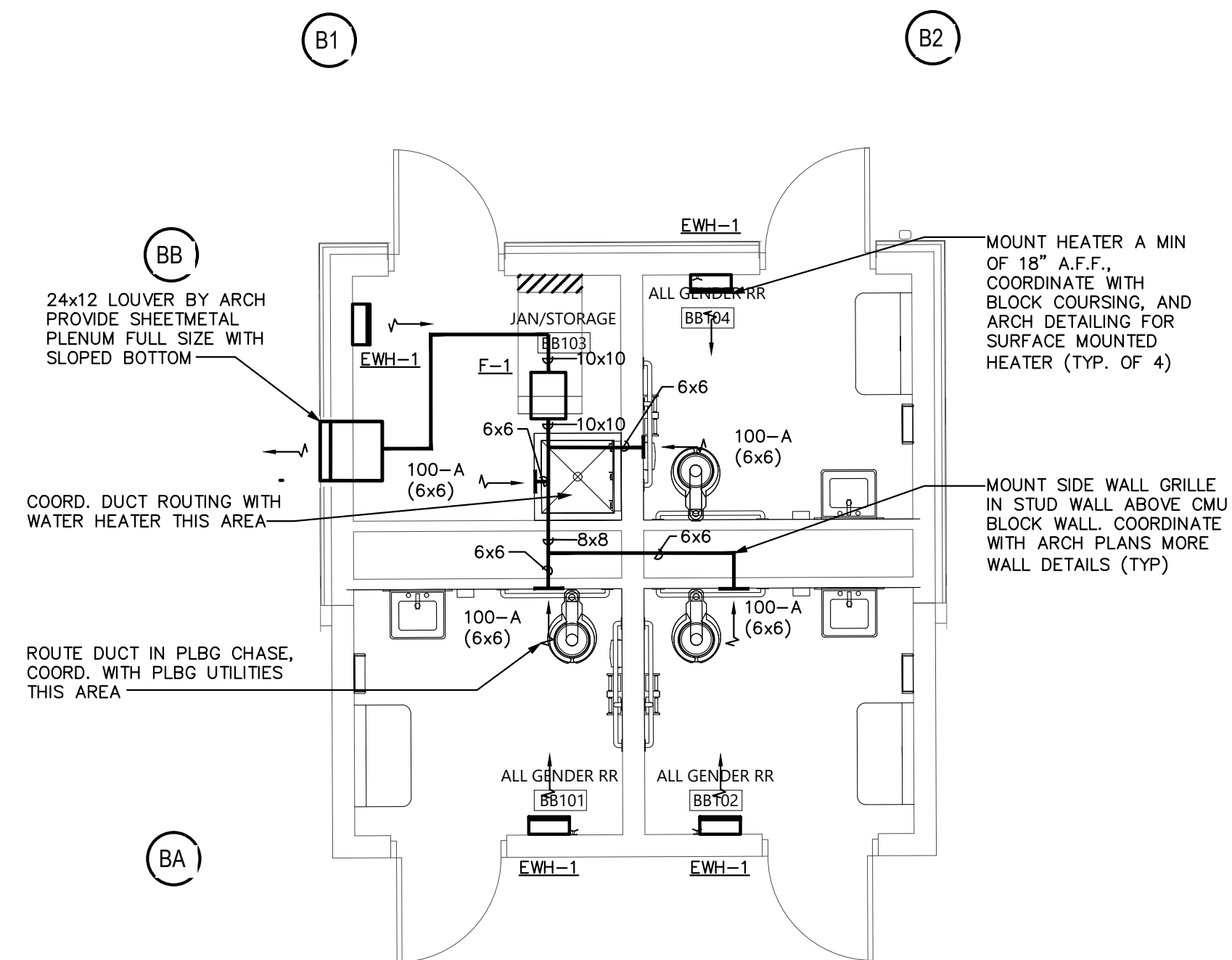
PROJECT NO:	081197
DATE ISSUED:	06/15/2023
<hr/>	
DESIGNED BY:	CAH
DRAWN BY:	CAH
CHECKED BY:	RVA

SHEET NAME:
MECHANICAL
FLOOR PLAN

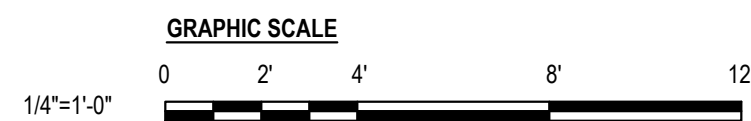
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M-101-BB

5 OF 7
OPTIMA #: 22-0236



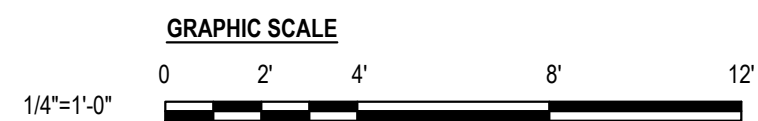
1 BASKETBALL FLOOR PLAN - MECHANICAL

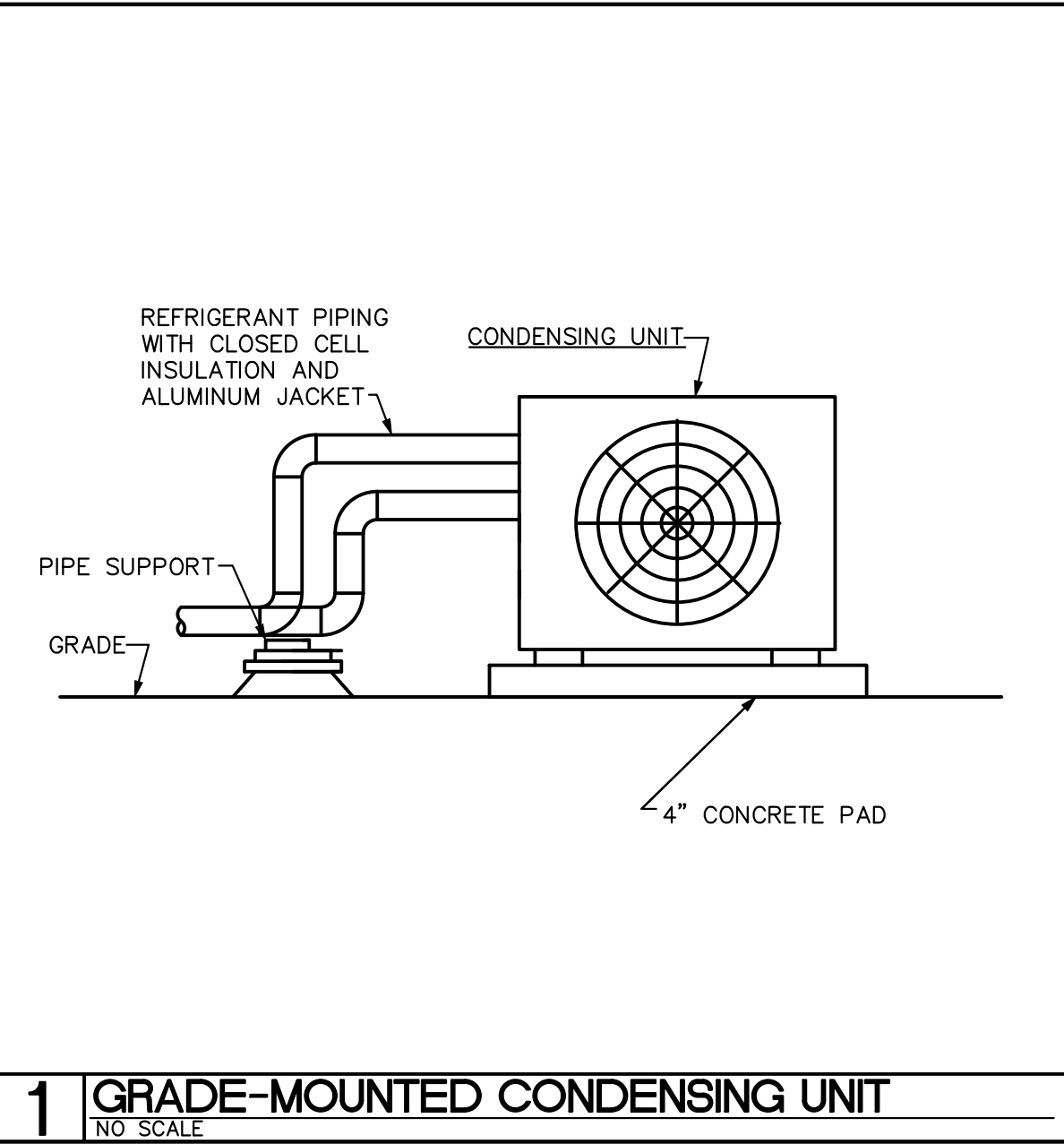


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DATE ISSUED:	06/15/2023
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DESIGNED BY:	CAH
DRAWN BY:	CAH
CHECKED BY:	RVA

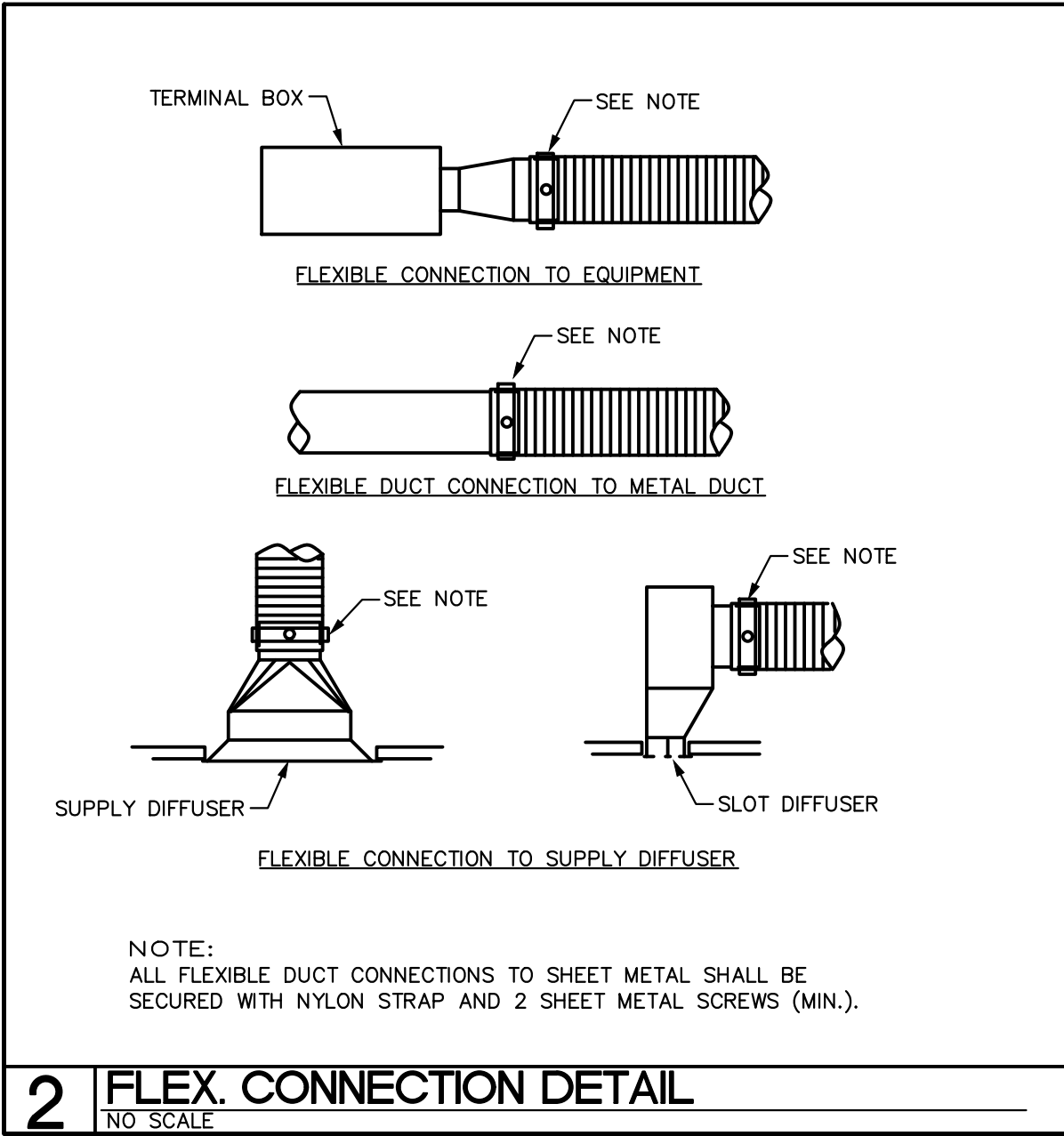
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6 OF 7
OPTIMA #: 22-0236

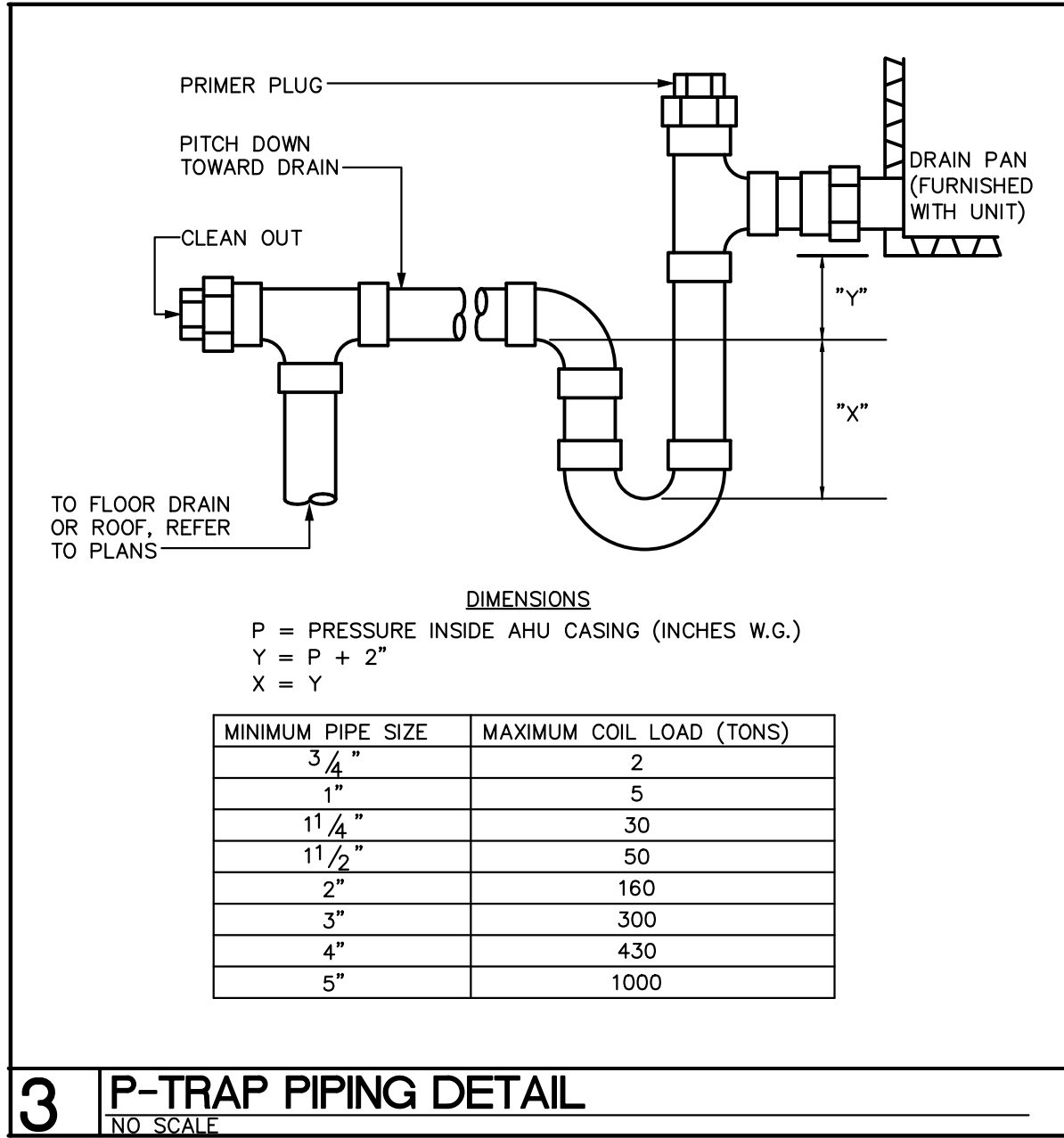




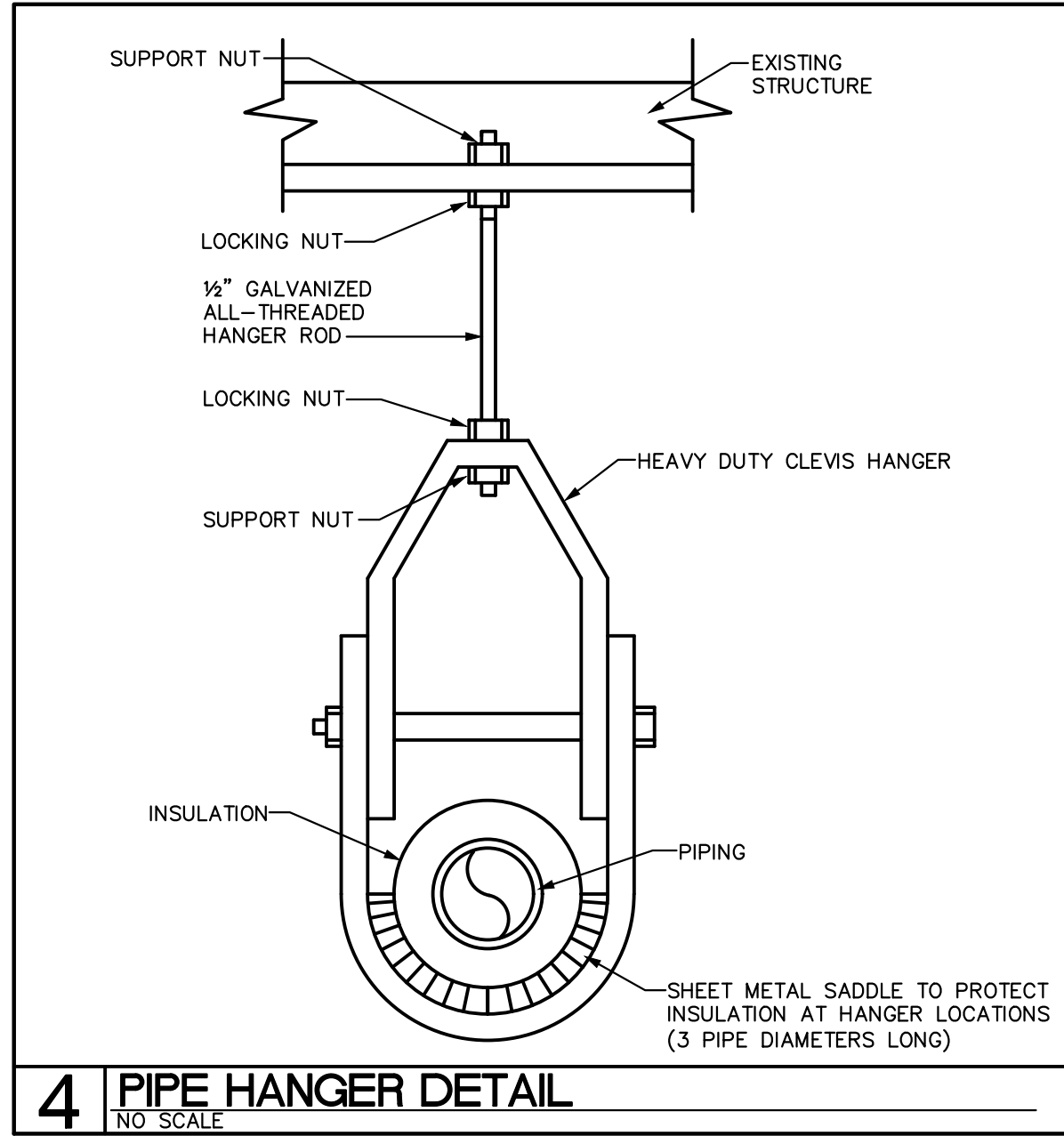
1 GRADE-MOUNTED CONDENSING UNIT
NO SCALE



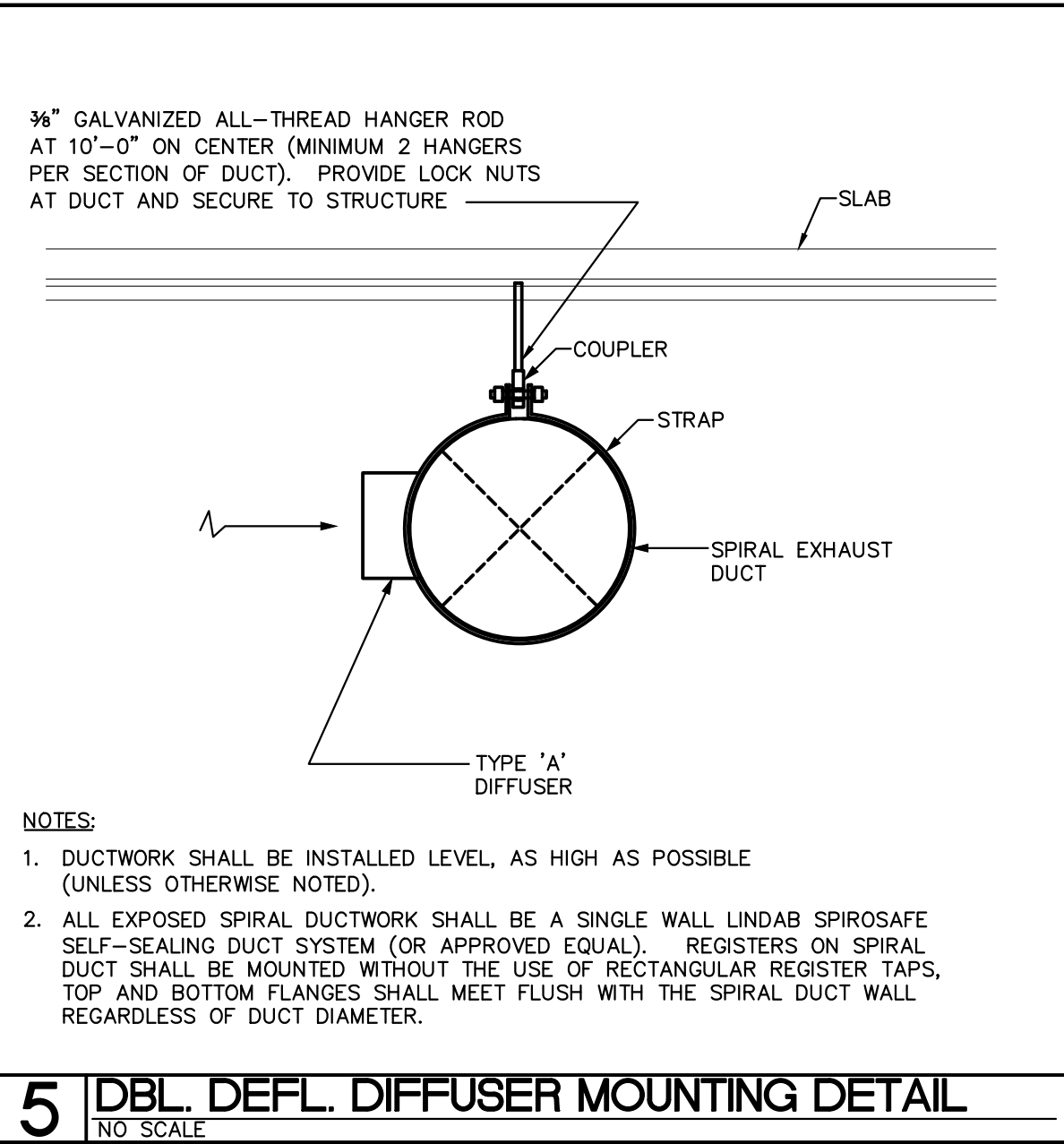
2 FLEX. CONNECTION DETAIL
NO SCALE



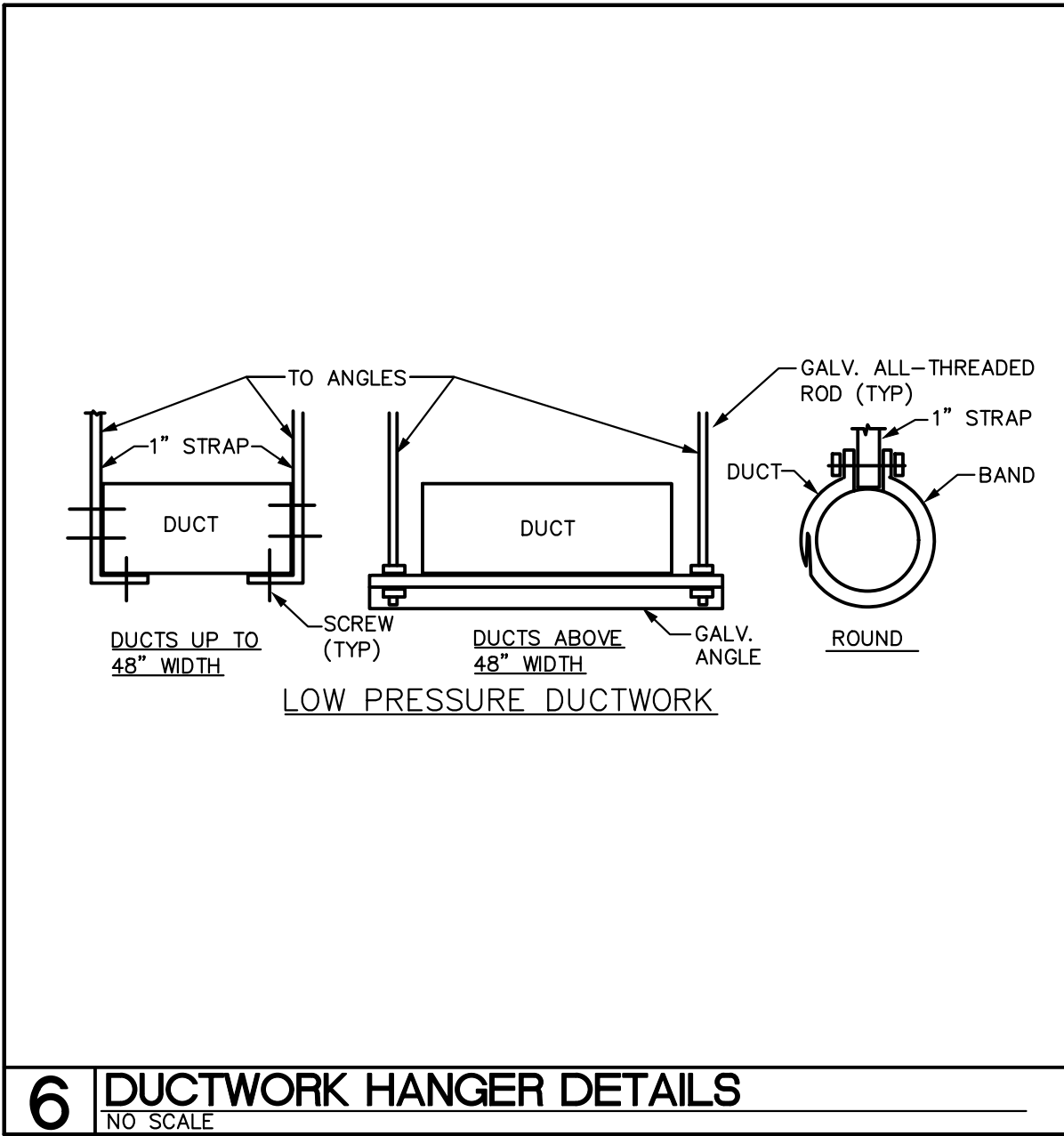
3 P-TRAP PIPING DETAIL
NO SCALE



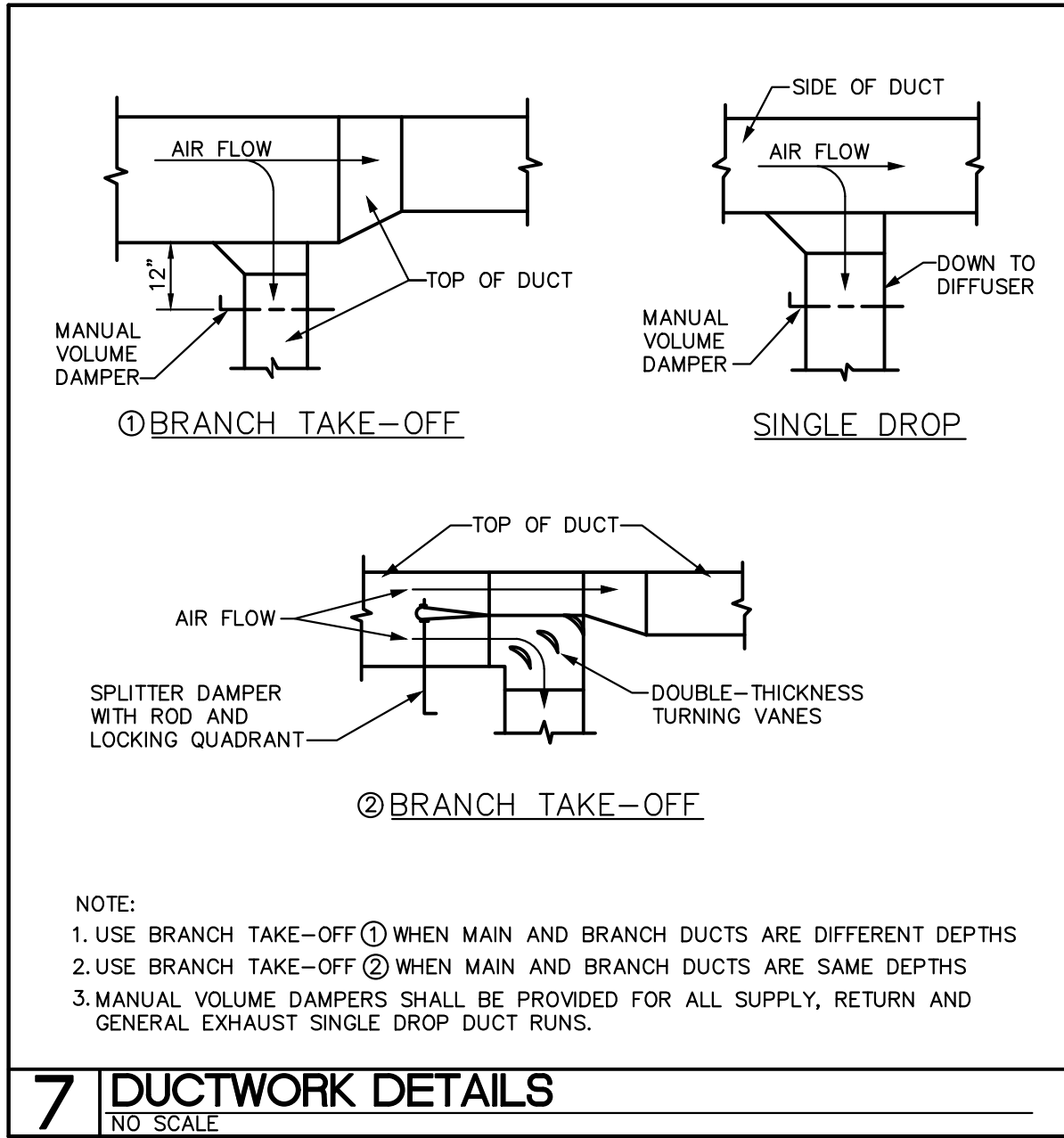
4 PIPE HANGER DETAIL
NO SCALE



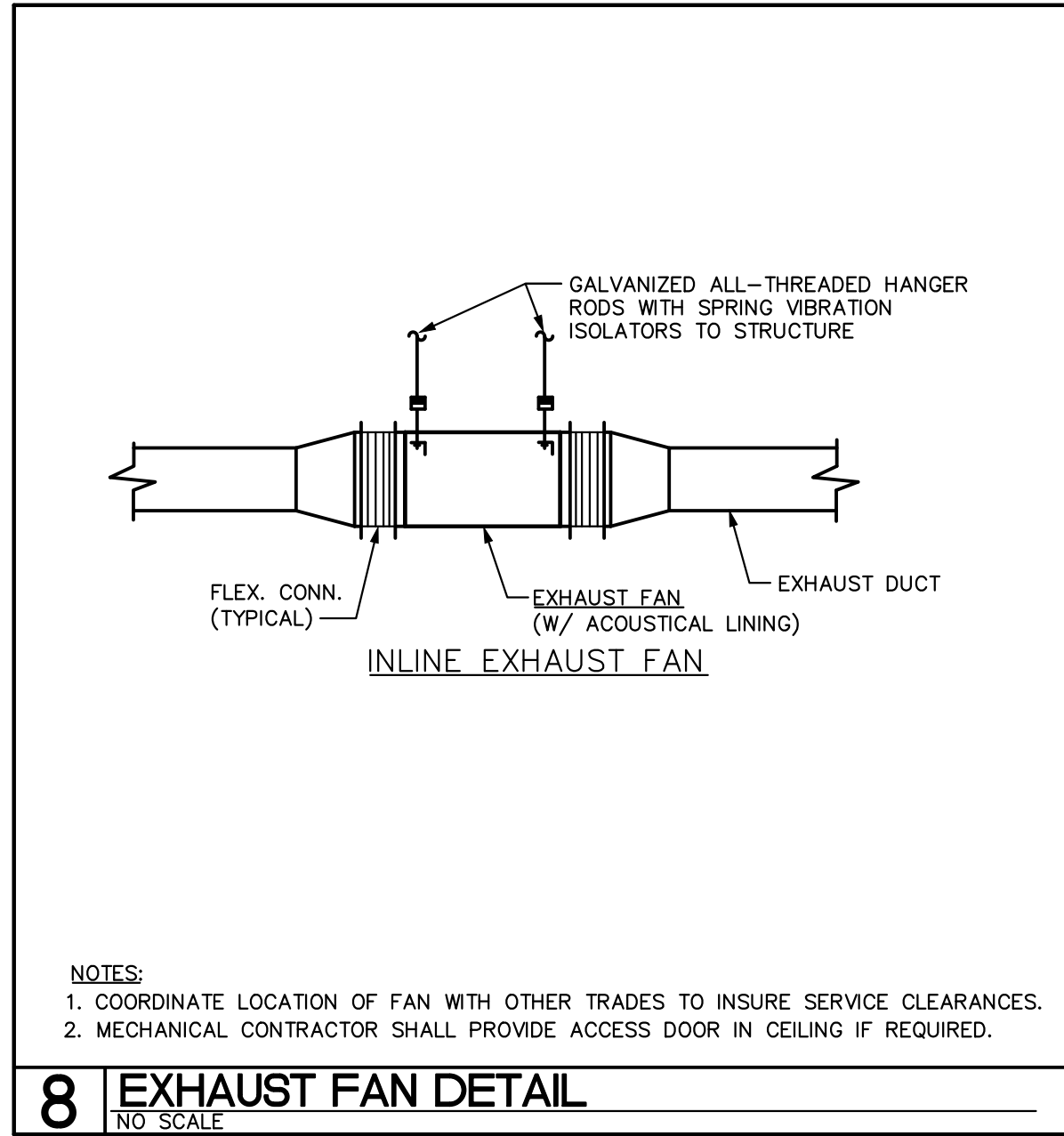
5 DBL. DEFL. DIFFUSER MOUNTING DETAIL
NO SCALE



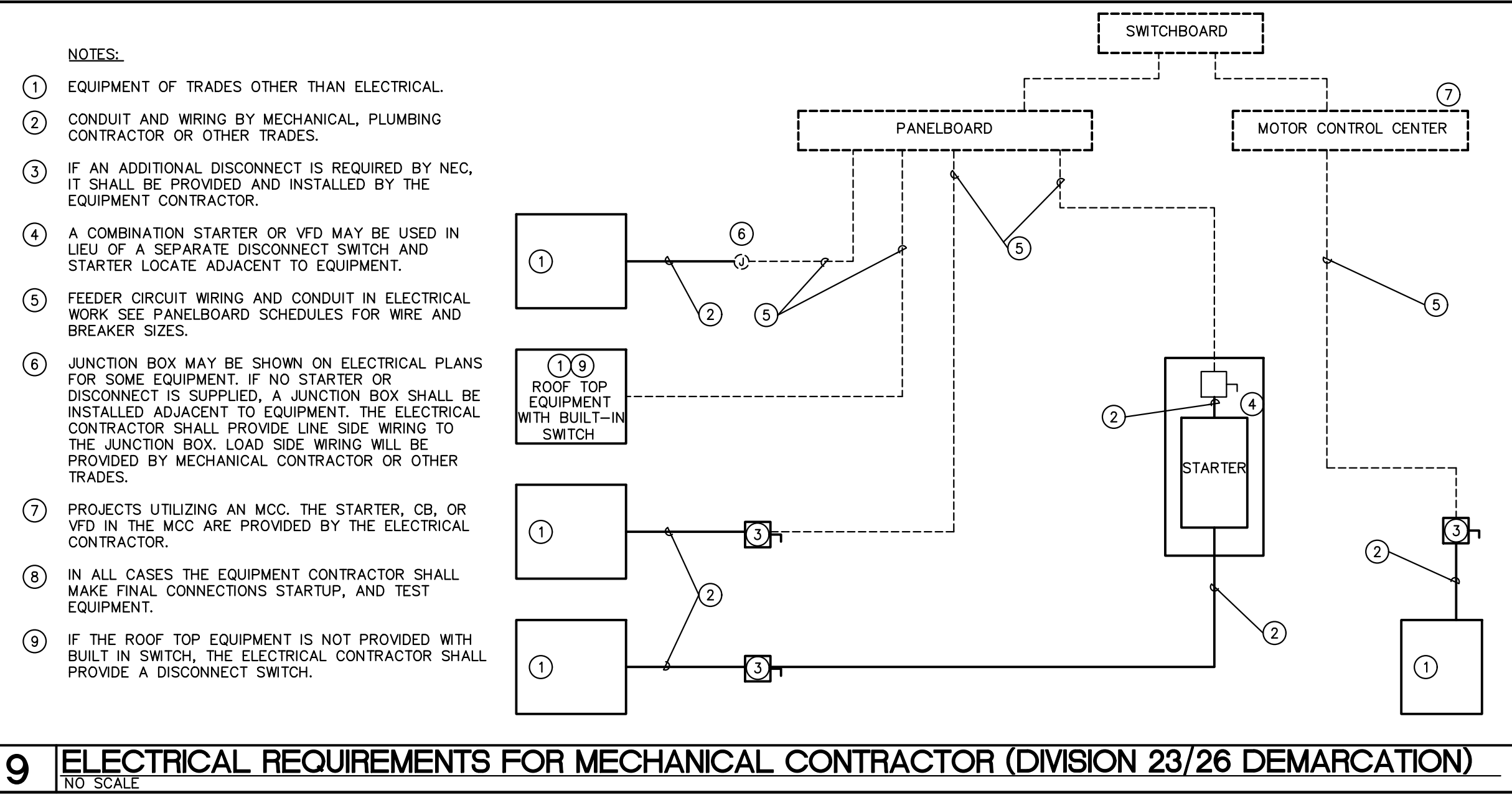
6 DUCTWORK HANGER DETAILS
NO SCALE



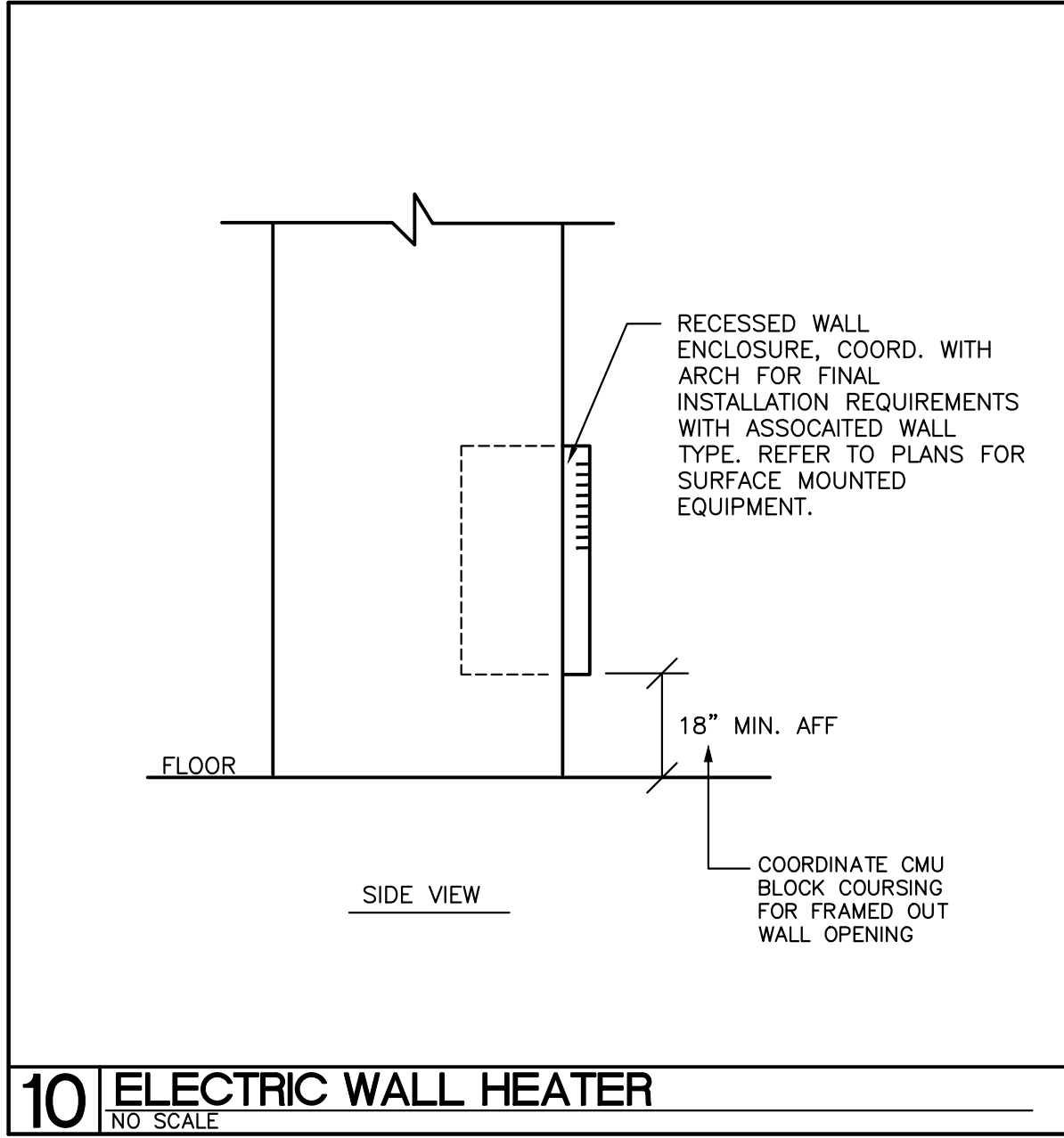
7 DUCTWORK DETAILS
NO SCALE



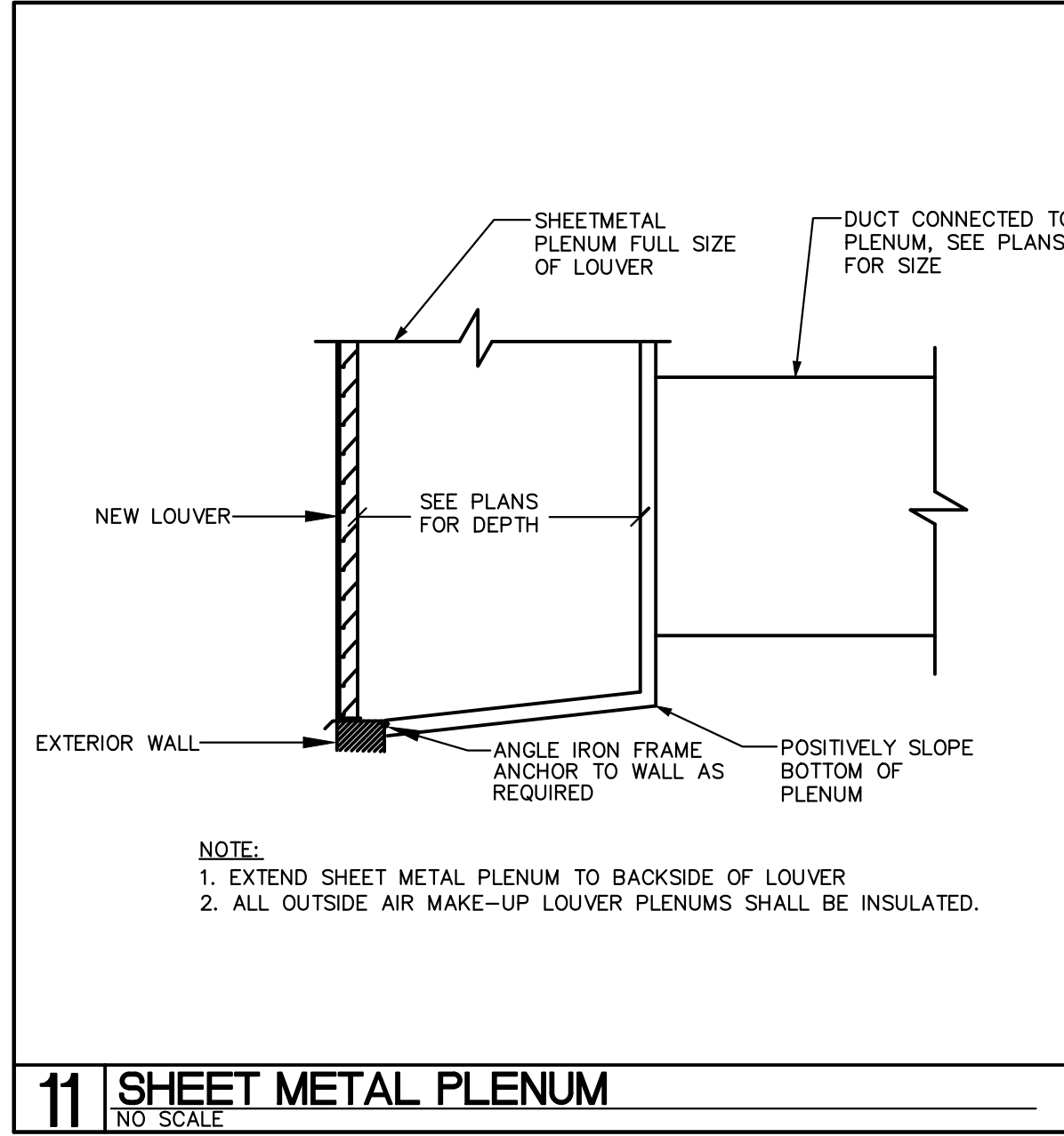
8 EXHAUST FAN DETAIL
NO SCALE



9 ELECTRICAL REQUIREMENTS FOR MECHANICAL CONTRACTOR (DIVISION 23/26 DEMARCATION)
NO SCALE



10 ELECTRIC WALL HEATER
NO SCALE



11 SHEET METAL PLENUM
NO SCALE

1. GENERAL:

A. THE WORK COVERED BY THESE SPECIFICATIONS CONSISTS OF FURNISHING ALL LABOR, EQUIPMENT, MATERIALS, AND SUPPLIES AS NECESSARY FOR THE COMPLETE AND SATISFACTORY OPERATING ELECTRICAL SYSTEMS AS SHOWN ON THE PLANS.

B. ALL WORK SHALL BE IN ACCORDANCE WITH LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE, NFPA, STATE BUILDING CODE, AND ANY OTHER LOCAL REQUIREMENTS THAT MAY APPLY.

C. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL ELECTRICAL PERMITS AND INSPECTION FEES.

D. ALL MATERIALS AND EQUIPMENT SHALL BE NEW AND SHALL BE LISTED BY THE UNDERWRITER'S LABORATORIES, INC. OR BY A STATE APPROVED THIRD PARTY TESTING AGENCY FOR THE USE INTENDED WHERE A STANDARD FOR SUCH MATERIALS AND USE EXISTS. ALL ITEMS OF THE SAME TYPE AND RATING SHALL BE IDENTICAL AND OF THE SAME MANUFACTURER.

E. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND CATALOG DATA IN ELECTRONIC FORMAT (PDF) FOR ALL ELECTRICAL ITEMS IN THE SCOPE OF WORK, INCLUDING, BUT NOT LIMITED TO, RACEWAYS, BOXES, FITTINGS, CONDUCTORS, LUMINAIRES, LAMPS, BALLASTS, WIRING DEVICES, SAFETY SWITCHES, DISCONNECTS, TRANSFORMERS, PANELBOARDS.

FIRE ALARM, TELECOMMUNICATIONS, ETC. FOR APPROVAL AS APPLICABLE FOR THE PROJECT. ONE COMPLETE SET OF APPROVED SUBMITTALS SHALL BE MAINTAINED AT THE JOB SITE.

F. ALL COST ASSOCIATED WITH SUBSTITUTED EQUIPMENT TO COMPLY WITH THE BASIS OF DESIGN, INCLUDING PROVIDING MAINTENANCE ACCESS, CLEARANCE, CONDUIT, WIRING, REPLACEMENT OF OTHER SYSTEM COMPONENTS, BUILDING ALTERATIONS, METHODS, ETC., SHALL BE INCLUDED IN THE ORIGINAL BASE BID. NO ADDITIONAL COSTS ASSOCIATED WITH SUBSTITUTED EQUIPMENT WILL BE APPROVED AFTER BIDS HAVE BEEN ACCEPTED AND ALL COSTS WILL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR. CREDITS SHALL BE GIVEN TO THE OWNER WHERE SUCH EQUIPMENT AND METHODS RESULT IN LESS EXPENSE TO THE CONTRACTOR.

G. ONE COMPLETE SET OF THE LATEST CONSTRUCTION PLANS OF ALL TRADES SHALL BE MAINTAINED AT THE JOB SITE. IN ADDITION, ALL ADDENDUMS, BULLETINS, AND/OR SKETCHES SHALL BE INCORPORATED INTO THE ON-SITE CONSTRUCTION PLANS AS THE JOB PROGRESSES.

H. COMPLETELY ADEQUATE HOUSING SHALL BE PROVIDED FOR ALL MATERIALS STORED ON JOB SITE. ONLY CONDUIT MAY BE STORED OUTSIDE, BUT NOT IN CONTACT WITH THE GROUND.

I. THE CONDUIT AND NEUTRAL SYSTEM SHALL BE GROUNDED AT THE MAIN SERVICE EQUIPMENT. GROUNDING ELECTRODE SYSTEM SHALL BE INSTALLED PER NEC 250.

J. PROVIDE AN INTERSYSTEM BONDING TERMINATION DEVICE AT THE MAIN ELECTRICAL SERVICE PER NEC 250.94.

K. WIRING SHALL BE TESTED FOR CONTINUITY AND GROUNDS BEFORE BEING ENERGIZED. FAULTY WIRING SHALL BE REPLACED AT NO ADDITIONAL EXPENSE TO THE OWNER.

L. PROVIDE ALL CUTTING AND PATCHING FOR INSTALLATION OF WORK AND REPAIR ANY DAMAGE DONE.

M. THE ELECTRICAL CONTRACTOR SHALL CONNECT ALL EQUIPMENT REQUIRING ELECTRICAL CONNECTIONS (UNLESS OTHERWISE NOTED), EXCEPT FOR CONTROL WIRING FOR EQUIPMENT NOT PROVIDED BY THE ELECTRICAL CONTRACTOR. CONTROL WIRING FOR SUCH EQUIPMENT SHALL BE PROVIDED BY THE RESPECTIVE DISCIPLINE.

N. ALL ELECTRICAL JUNCTION BOXES, SWITCHGEAR, CABLING, VOICE/DATA OUTLETS, LOW VOLTAGE CABINETS, EMERGENCY RECEPTACLES, ETC. SHALL BE LABELED ACCORDING TO PANEL/RACK AND CIRCUIT NUMBER.

O. UPON COMPLETION OF WORK, CONTRACTOR SHALL PRESENT ENGINEER WITH CERTIFICATE OF APPROVAL FROM LOCAL INSPECTOR AND/OR AUTHORITY HAVING JURISDICTION BEFORE WORK WILL BE APPROVED FOR FINAL PAYMENT.

P. CONTRACTOR SHALL GUARANTEE ALL WORK AND MATERIALS FOR A PERIOD OF ONE YEAR EFFECTIVE THE DATE THE PROJECT IS ACCEPTED BY THE OWNER. ANY IMPERFECT MATERIALS OR WORKMANSHIP SHALL BE REPLACED WITHOUT ADDED COST TO THE PROJECT.

Q. IT SHALL NOT BE THE INTENT OF ISSUED PLANS AND/OR SPECIFICATIONS TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION. THE ELECTRICAL CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL NECESSARY ITEMS FOR A COMPLETE AND OPERATING SYSTEM.

R. THE WORD "PROVIDE" MEANS THAT THIS CONTRACTOR SHALL FURNISH, FABRICATE, ERECT, CONNECT, AND COMPLETELY INSTALL SYSTEMS IN PROPER OPERATING CONDITION. ALL LABOR, PRODUCT OPTIONS, ACCESSORIES AND INCIDENTAL MATERIALS REQUIRED SHALL BE INCLUDED AS PART OF THIS WORK TO COMPLETE THE INSTALLATION.

S. THE WORD "CONNECT" MEANS THAT THIS CONTRACTOR SHALL PROVIDE (SEE DEFINITION ABOVE) ALL DISCONNECTING MEANS, OVERCURRENT PROTECTION AND WIRING REQUIRED TO PLACE THE EQUIPMENT AND SYSTEMS IN PROPER OPERATING CONDITION AND TO COMPLY WITH CODE REQUIREMENTS.

T. CONTRACTOR SHALL COORDINATE THE ROUGH-IN OF ALL OUTLET LOCATIONS WITH ARCHITECTURAL FLOOR PLANS, ELEVATIONS, AND MILLWORK SHOP DRAWINGS PRIOR TO ROUGH-IN.

U. ELECTRICAL CONTRACTOR SHALL NOT SCALE PLANS. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND ELEVATIONS FOR EXACT LOCATIONS OF ALL EQUIPMENT, UNLESS OTHERWISE NOTED.

V. CONTRACTOR SHALL TEST ALL "LIFE SAFETY" EQUIPMENT AND SYSTEMS FOR PROPER FUNCTION AND OPERATION. UPON SUCCESSFUL COMPLETION OF TESTS, CONFIRMATION SHALL BE SENT TO THE ENGINEER OF RECORD IN THE FORM OF A LETTER STATING THE TESTS PERFORMED, THE RESULTS, AND THE DATE TESTS WERE SUCCESSFULLY COMPLETE. "LIFE SAFETY" EQUIPMENT AND SYSTEMS CONSIST OF THOSE AS SPECIFIED IN THE STATE BUILDING CODE, THE NATIONAL ELECTRICAL CODE (NEC), NFPA 101, AND ANY OTHER LOCAL REQUIREMENTS THAT MAY APPLY.

W. IF DURING THE COURSE OF WORK, THE CONTRACTOR DISCOVERS A PROBLEM WITH THE PERFORMANCE OF THE INSTALLATION RELATIVE TO THE PLANS AND SPECIFICATIONS, THE NEC, OR OTHER CODES OR REQUIREMENTS, THE CONTRACTOR SHALL IMMEDIATELY BRING THE PROBLEM TO THE ATTENTION OF THE ARCHITECT AND/OR ENGINEER FOR RESOLUTION PRIOR TO THE EXECUTION OF THE WORK.

X. WHERE THERE ARE CONFLICTS BETWEEN THE PLANS AND SPECIFICATIONS, THE CONTRACTOR SHALL BRING THE ISSUE TO THE ATTENTION OF THE ENGINEER FOR RESOLUTION PRIOR TO THE EXECUTION OF THE WORK OR ORDERING ANY MATERIALS. NO ADDITIONAL COSTS SHALL BE WARRANTED WITHOUT A CHANGE TO THE PROJECT SCOPE.

Y. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PROVIDING TEMPORARY POWER AND LIGHTING FOR ALL TRADES. AT NO TIME SHALL EXISTING BUILDING POWER SYSTEMS BE UTILIZED WITHOUT WRITTEN PERMISSION FROM THE OWNER.

Z. COORDINATE LOCATION AND REQUIREMENTS FOR ELECTRICAL SERVICE WITH THE POWER COMPANY. WHERE MORE THAN ONE SERVICE IS SUPPLIED TO A BUILDING, PROVIDE IDENTIFICATION AT EACH SERVICE PER NEC 230-2(E).

AA. COORDINATE LOCATION AND REQUIREMENTS FOR TELEPHONE SERVICE WITH THE TELEPHONE COMPANY.

2. RACEWAY:

A. CONDUIT SHALL BE MANUFACTURED BY ALLIED, WHEATLAND, REPUBLIC CONDUIT, WESTERN TUBE, OR APPROVED EQUIVALENT.

B. FOR INTERIOR WORK, CONDUIT SHALL BE ZINC COATED EMT EXCEPT WHERE NOT PERMITTED BY CODE. USE SCHEDULE 40 PVC BELOW CONCRETE SLAB, IN DUCTBANKS, AND FOR EXTERIOR WORK WHERE NOT SUBJECT TO DAMAGE. USE IMC WHERE SUBJECT TO PHYSICAL DAMAGE.

C. EMT FITTINGS SHALL BE COMPRESSION GLAND TYPE, OF MALLEABLE STEEL. CONNECTORS SHALL HAVE INSULATED THROATS. CAST, SET SCREW, OR INDENTER TYPE FITTINGS ARE NOT ACCEPTABLE. ALL FITTINGS FOR EMT SHALL BE MADE OF STEEL.

D. ALL RACEWAY SHALL BE RUN CONCEALED, UNLESS OTHERWISE NOTED. FISH ALL NEW OUTLETS IN EXISTING WALLS, WHERE POSSIBLE. ALL RUNS SHALL BE NEAT AND SQUARE.

E. LOW VOLTAGE CABLING NOT SPECIFIED TO BE INSTALLED IN CONDUIT, SHALL BE INSTALLED IN A CABLE TRAY SYSTEM OR J-HOOK SYSTEM CONSISTING OF MINIMUM 2" DIAMETER HOOKS LOCATED ON 3'-0" CENTERS IN ALL ACCESSIBLE CEILINGS. WHERE THERE ARE INACCESSIBLE CEILINGS, PROVIDE CONDUIT FOR ENTIRE LENGTH OF INACCESSIBILITY.

F. RACEWAYS USED FOR LOW VOLTAGE SYSTEMS SUCH AS TELECOMMUNICATIONS, FIRE ALARM, SECURITY, CCTV, CONTROLS, AND SIMILAR CONDUITS ABOVE THE CEILING AND BACKBOARD(S) SHALL BE PROVIDED WITH INSULATED THROAT BUSHINGS AT EACH CONDUIT TERMINATION. THESE BUSHINGS SHALL BE BE INSTALLED PRIOR TO PULLING LOW-VOLTAGE CABLES.

G. RACEWAY PENETRATIONS THROUGH FLOOR SLABS AND FIRE-RATED WALLS SHALL BE FILLED

WITH IMPERVIOUS, NON-SHRINK GROUT SUFFICIENTLY TIGHT TO PREVENT THE TRANSFER OF SMOKE, WATER, AND DUST. ROOF PENETRATIONS SHALL BE WITHIN THE EQUIPMENT ROOF CURB.

H. SUPPORT ALL CONDUIT WITH STRAPS AND CLAMPS.

I. ALL CONDUIT SHALL BE RUN PARALLEL OR PERPENDICULAR TO BUILDING LINES, WHETHER EXPOSED OR NOT AND SUPPORTED FROM STRUCTURE AND PROPERLY SECURED.

J. WHERE CONDUITS PASS THROUGH A BUILDING EXPANSION JOINT, PROVIDE GALVANIZED EXPANSION FITTINGS WITH BONDING JUMPPERS.

K. MINIMUM CONDUIT SIZE SHALL BE 3/4" FOR INTERIOR WORK, 1" FOR EXTERIOR WORK.

L. PROVIDE MINIMUM 210# TEST NYLON PULL CORD AND NYLON BUSHINGS IN ALL EMPTY RACEWAYS.

M. LIQUID-TIGHT METAL CONDUIT SHALL ONLY BE USED FOR FINAL CONNECTIONS TO EQUIPMENT AND ALL OTHER ROTATING AND VIBRATING EQUIPMENT, MAXIMUM LENGTH OF 3'-0".

N. FLEXIBLE METAL CONDUIT, MINIMUM SIZE 3/8", SHALL ONLY BE USED FOR FINAL CONNECTION TO LIGHTING FIXTURES, MAXIMUM LENGTH OF 6'-0".

O. PROVIDE PULL BOXES, SUCH THAT NO SINGLE CONDUIT RUN HAS BENDS IN EXCESS OF 360°. PULL BOXES SHALL BE SUITABLE AND APPROVED FOR THE INTENDED USE. WHERE CONDUITS PASS UNDER PAVED AREAS, THEY SHALL BE RGS.

P. ALL CONDUIT BENDS/ELBOWS EMERGING FROM UNDERGROUND SHALL BE IMC AND SHALL EXTEND A MINIMUM OF 18" BELOW GRADE.

Q. ALL UNDERGROUND RACEWAYS SHALL BE THOROUGHLY COATED WITH TWO COATS OF ASPHALTUM BITUMASTIC.

R. ALL CONDUITS INSTALLED UNDERGROUND OR IN CONCRETE SHALL HAVE JOINTS MADE WATERIGHT BY USE OF POLYTETRA-FLUOROETHYLENE TAPE.

S. THE USE OF AC OR NM CABLE IS NOT PERMITTED.

T. MC CABLE MAY ONLY BE UTILIZED WHERE PERMITTED BY CODE AND IT SHALL ONLY BE ALLOWED WHERE CONCEALED BEHIND HARD WALLS AND HARD CEILINGS. MC CABLE SHALL NOT BE EXPOSED.

U. APPROVED SEALS SHALL BE PROVIDED IN HAZARDOUS LOCATIONS AS REQUIRED BY THE NEC.

V. ALL CONDUIT IN POOL EQUIPMENT, CHLORINE, AND ACID ROOMS SHALL BE GALVANIZED RIGID CONDUIT OR PVC.

3. OUTLET BOXES:

A. JUNCTION AND PULL BOXES SHALL BE CODE GAUGE GALVANIZED STEEL. ACCEPTED MANUFACTURERS SHALL BE STEEL CITY (THOMAS & BETTS), RACON, CROUSE-HINDS, APPLETON (EMERSON), OR APPROVED EQUIVALENT.

B. OUTLET BOXES SHALL NOT BE MOUNTED BACK TO BACK IN COMMON WALLS.

C. ATTACH EMT WITH CONNECTORS HAVING INSULATED THROAT.

D. ATTACH BOXES TO STUD WORK USING CADDY BAR STRAPS THAT CONNECT TO TWO ADJACENT METAL STUDS TO PREVENT TWISTING OF BOX IN WALL.

E. ALL OUTLET BOXES (INCLUDING TELEPHONE, CABLE TV, AND COMPUTER) SHALL HAVE COVER PLATES, BLANK IF NOT USED.

F. ALL EXTERIOR BOXES SHALL BE WATER-TIGHT.

G. ALL ELECTRICAL EQUIPMENT ENCLOSURES IN POOL EQUIPMENT, CHLORINE, AND ACID ROOMS SHALL BE NEMA-4X STAINLESS STEEL OR NON-METALLIC, WET-LOCATION LISTED AND LISTED TO RESIST CORROSION FROM POOL CHEMICALS.

4. CONDUCTORS:

A. CONDUCTORS SHALL BE MANUFACTURED BY SOUTHWIRE (SIMPULL), ENCORE (SUPERSLICK), UNITED COPPER (SLK), CERRO (SLP), OR APPROVED EQUAL, "PRE-LUBRICATED" BY THE MANUFACTURER.

B. ALL CONDUCTORS SHALL BE COPPER, RATED 75° C WET/DRY EXCEPT WHERE OTHERWISE NOTED OR REQUIRED BY U.L. OR OTHER CODES.

C. ALL CONDUCTORS SHALL BE SINGLE INSULATED CONDUCTOR, THHN/THWN-2. SIZES #10 AWG AND SMALLER SHALL BE SOLID, SIZES #8 AWG AND LARGER SHALL BE STRANDED.

D. BRANCH CIRCUITS SHALL NOT BE SMALLER THAN #12 AWG. CONTROL WIRING MAY BE #14 AWG.

E. CONDUCTORS SHALL BE COLOR CODED BLACK/RED/BLUE FOR 120/208 VOLT SYSTEMS AND BROWN/ORANGE/YELLOW FOR 277/480 VOLT SYSTEMS FOR A, B, AND C PHASES, RESPECTIVELY. NEUTRAL SHALL BE WHITE FOR 120/208 VOLT SYSTEMS AND NATURAL GRAY FOR 277/480 VOLT SYSTEMS. GROUND CONDUCTOR SHALL BE GREEN ON ALL SYSTEMS. ALL CONDUCTOR SIZES SHALL HAVE COLOR-CODED INSULATION. THE USE OF COLORED TAPE ON LARGER WIRE SIZES SHALL NOT BE ALLOWED.

F. INSULATION SHALL BE DUAL RATED TYPE THHN/THWN-2 FOR FEEDERS AND BRANCH CIRCUITS. FIXTURE TAPS SHALL BE #12 THHN/THWN-2 IN FLEX WITH GREEN #12 AWG GROUNDING CONDUCTOR.

G. ALL CONDUCTORS SHALL BE IN CONDUIT.

H. WIRING TO LIGHTING FIXTURES SHALL BE AS REQUIRED BY UL LABEL.

I. MULTI-WIRE BRANCH CIRCUITS SHALL NOT BE ALLOWED, UNLESS EXPLICITLY INDICATED ON THE DRAWINGS. WHEN EXPLICITLY INDICATED ON THE DRAWINGS:

1) ALL 20A MULTI-WIRE RECEPTACLE CIRCUITS SHALL UTILIZE A #10 AWG NEUTRAL CONDUCTOR.

OR

2) ONLY WHERE PERMITTED UNDER "RACEWAYS", MC CABLE ASSEMBLIES CAN BE AFC "SUPER NEUTRAL" OR EQUAL, UNLESS OTHERWISE NOTED ON THE DRAWINGS. WHERE MULTI-WIRE BRANCH CIRCUITS ARE EXPLICITLY INDICATED ON THE DRAWINGS, THEY SHALL BE INSTALLED PER NEC 210.4. MEANS SHALL BE PROVIDED TO SIMULTANEOUSLY DISCONNECT ALL UNGROUNDED CONDUCTORS AT THE POINT WHERE THE BRANCH CIRCUIT ORIGINATES IN ADDITION TO OTHER REQUIREMENTS PER NEC 210.4.

J. JOINTS IN #10 AWG AND SMALLER SHALL BE MADE UP WITH CRIMPED CONNECTORS WITH INSULATING CAPS (NO TAPE) OR WIRENUTS (MAXIMUM OF 3 CONDUCTORS UNDER ANY CONNECTOR OR WIRENUT). LARGER WIRE SHALL USE SPLIT BOLTS OR BOLTED CLAMPS.

K. ALL WIRING LUGS THROUGHOUT THE PROJECT, INCLUDING, BUT NOT LIMITED TO, BREAKERS, PANELBOARD/SWITCHBOARD LUGS, SAFETY SWITCH LUGS, MOTOR STARTER LUGS, TRANSFORMERS LUGS, WIRING DEVICE TERMINALS, AND ALL EQUIPMENT LUGS/TERMINALS SHALL BE RATED FOR USE WITH 75 DEGREE INSULATED CONDUCTORS AT THEIR 75 DEGREE AMPACITY AND SHALL BE SIZED AND SELECTED TO MATCH THE CONDUCTOR SIZE AND MATERIAL.

L. CIRCUIT JOINTS SHALL NOT BE MADE ON DEVICE TERMINALS.

M. WIRE WITHIN PANELBOARDS SHALL BE NEATLY TRAINED, SQUARED, BUNCHED, AND TAGGED.

N. ALL SYSTEM FURNITURE CONNECTIONS SHALL COMPLY WITH NEC 605.

O. GROUND ALL EQUIPMENT PER NEC ARTICLE 250. BOND WHERE CONDUITS ENTER ENCLOSURES THROUGH CONCENTRIC KNOCKOUTS. ALL FLEX, INCLUDING FIXTURE TAPS, SHALL INCLUDE GREEN GROUNDING CONDUCTOR, #12 AWG MINIMUM. PROVIDE GREEN INSULATED EQUIPMENT GROUNDING CONDUCTOR IN EACH CONDUIT AND FOR EACH CIRCUIT, SIZED PER NEC 250-122.

P. ALL CONDUCTORS INSTALLED IN VERTICAL RACEWAYS SHALL BE SUPPORTED AT INTERVALS AS REQUIRED PER NEC 300-19.

Q. THE ELECTRICAL CONTRACTOR SHALL FOLLOW AND APPLY THE TABLE BELOW, REGARDLESS WHAT THE PANEL SCHEDULE INDICATES, FOR SIZING ALL 120V & 277V, 20 AMP BRANCH CIRCUITS (COPPER CONDUCTORS) TO ALLOW A MAXIMUM OF 3% VOLTAGE DROP FROM THE CIRCUIT BREAKER TO THE FIRST DEVICE ON THE BRANCH CIRCUIT AND ACHIEVE A MAXIMUM OF 5% VOLTAGE DROP ACROSS THE ENTIRE BRANCH CIRCUIT:

VOLTAGE	CONDUCTOR LENGTH *	BRANCH CIRCUIT
120	0' - 50'	#12
120	51' - 90'	#10
120	91' - 140'	#8
120	141' - 225'	#6
277	0' - 125'	#12
277	126' - 200'	#10
277	201' - 330'	#8
277	331' - 525'	#6

* - THE LENGTH IS MEASURED FROM THE CIRCUIT BREAKER TO THE FIRST DEVICE WHICH THE BRANCH CIRCUIT SERVES. WHERE THE DISTANCE EXCEEDS ABOVE, CONSULT WITH THE ENGINEER.

5. WIRING DEVICES:

A. WIRING DEVICES SHALL BE SPECIFICATION GRADE, MINIMUM, EQUAL TO COOPER QUALITY INDICATED BELOW OR AS MANUFACTURED BY HUBBELL, LEGRAND-PASS & SEYMOUR, LEVITON, OR APPROVED EQUAL, UNLESS OTHERWISE NOTED:

SWITCHES (120/277V) SHALL BE AS FOLLOWS:

SINGLE-POLE 20 AMP	COOPER AH1221
DOUBLE-POLE 20 AMP	COOPER AH1222
THREE-WAY 20 AMP	COOPER AH1223
FOUR-WAY 20 AMP	COOPER AH1224
SINGLE-POLE-PILOT 20 AMP	COOPER AH1221PL
DOUBLE-POLE-PILOT 20 AMP	COOPER AH1222PL
THREE-WAY-PILOT 20 AMP	COOPER AH1223PL
SINGLE-POLE-KEY 20 AMP	COOPER AH1221L
DOUBLE-POLE-KEY 20 AMP	COOPER AH1222L
THREE-WAY-KEY 20 AMP	COOPER AH1223L
FOUR-WAY-KEY 20 AMP	COOPER AH1224L

DUPLEX RECEPTACLES SHALL HAVE A NYLON FACE AND SHALL BE AS FOLLOWS:

15 AMP DUPLEX	COOPER 5252
20 AMP DUPLEX	COOPER 5352
15 AMP DUPLEX GFCI	COOPER SGF15F
20 AMP DUPLEX GFCI	COOPER SGF20F
15 AMP DUPLEX TAMPER	COOPER TR5262
20 AMP DUPLEX TAMPER	COOPER TR5362
15 AMP DUPLEX GFCI-TAMPER	COOPER TRSGF15F
20 AMP DUPLEX GFCI-TAMPER	COOPER TRSGF20F
15 AMP DUPLEX IG	COOPER IG5262
20 AMP DUPLEX IG	COOPER IG5362
15 AMP DUPLEX SPD	COOPER 5262S
20 AMP DUPLEX SPD	COOPER 5362S
15 AMP DUPLEX IG-SPD	COOPER IG5262S
20 AMP DUPLEX IG-SPD	COOPER IG5362S
15 AMP DUPLEX CORROSION	COOPER 5262CR
20 AMP DUPLEX CORROSION	COOPER 5362CR

THE PART NUMBERS ABOVE ARE FOR WIRING DEVICE TYPE ONLY. SEE BELOW FOR WIRING DEVICE COLOR AND PLATE MATERIAL/COLOR.

B. SEE MOUNTING HEIGHT ELEVATION DETAIL FOR STANDARD MOUNTING HEIGHTS OF ALL DEVICES, UNLESS OTHERWISE NOTED.

C. ALL WIRING DEVICES (SWITCHES AND RECEPTACLES) SHALL BE GRAY, UNLESS OTHERWISE NOTED. ALL COVER PLATES SHALL BE 302 STAINLESS STEEL. COVER PLATES IN MASONRY WALLS SHALL BE OVERSIZE TYPE. ALL COVER PLATES SHALL BE 302 STAINLESS STEEL. COVER PLATES IN MASONRY WALLS SHALL BE JUMBO SIZE.

F. EACH DUPLEX RECEPTACLE INDICATED TO BE ON A DEDICATED CIRCUIT SHALL BE 20 AMP TYPE.

G. ADJACENT DEVICES SHALL HAVE A COMMON WALL PLATE.

H. WEATHERPROOF COVERS SHALL BE "WHILE-IN-USE" SO PLUGS MAY BE INSTALLED WITHOUT COMPROMISING THE WP FUNCTION. COOPER #WU-2 DOUBLE-GANG WITH CLEAR COVER OR APPROVED EQUAL.

I. A MAXIMUM OF 10 GENERAL PURPOSE RECEPTACLES SHALL BE ON EACH BRANCH CIRCUIT.

J. DIMMERS SHALL BE LINEAR SLIDE, PRESENT ON/OFF, SQUARE LAW DIMMING, W/RFI FILTERING AND VOLTAGE COMPENSATION CIRCUITING.

K. ALL WALL MOUNTED OCCUPANCY/VACANCY SENSORS/SWITCHES SHALL BE INSTALLED WITH AN EQUIPMENT GROUNDING CONDUCTOR.

L. GROUND-FAULT CIRCUIT-INTERRUPTER (GFCI) PROTECTION FOR PERSONNEL SHALL BE PROVIDED FOR ALL LOCATIONS PER NEC 210.8, INSTALLED IN A READILY ACCESSIBLE LOCATION. WHERE A DEVICE LOCATION IS NOT ACCESSIBLE, THE GFCI PROTECTION SHALL BE PROVIDED WITH THE BREAKER SERVING THE DEVICE.

M. ALL GFCI RECEPTACLES SHALL HAVE AUTO-MONITORING / SELF-TEST FUNCTION AND REVERSE LINE-LOAD MISFIRE FUNCTION AND MEET ALL REQUIREMENTS OF UL 943 (LATEST EDITION).

6. SUPPORTS:

A. ALL EQUIPMENT SHALL BE ADEQUATELY SUPPORTED FROM STRUCTURE.

B. INSERTS IN MASONRY SHALL BE LEAD OR FIBER IN DRILLED HOLES, OR CAST IN PLACE.

C. NAILS OR POWDER ACTUATED FASTENERS SHALL NOT BE USED.

D. EMT/IMC/RGS SUPPORTS SHALL BE A MAXIMUM OF 8'-0" APART AND A MAXIMUM OF 3'-0" FROM BOXES.

E. LIGHTING FIXTURES MOUNTED IN OR ON CEILING SHALL BE SUPPORTED FROM STRUCTURE VIA 12 GAUGE STEEL WIRE. PROVIDE A MINIMUM OF FOUR WIRES, ONE ATTACHED TO EACH CORNER OF LAY-IN FIXTURES. RECESSED DOWNLIGHT FIXTURES SHALL BE SUPPORTED THE SAME. DO NOT SUPPORT RACEWAY OR FIXTURES FROM CEILING GRID OR DUCT WORK. USE U.L. LISTED GRID CLIPS ON ALL LAY-IN FIXTURES.

7. PAINTING:

A. SUITABLE FINISH COAT SHALL BE PROVIDED FOR ALL EQUIPMENT. PANEL TUBS, COVERS, ETC. SHALL BE PRIMED AND ENAMELED TO BLEND WITH ADJACENT SURFACES, OR SHALL BE MANUFACTURER'S STANDARD COLOR BAKED ENAMEL FINISH, OR AS DIRECTED BY THE ARCHITECT.

8. TELECOMMUNICATIONS:

A. FURNISH A COMPLETE TELEPHONE CONDUIT SYSTEM AS INDICATED ON THE DRAWINGS.

B. TELECOMMUNICATION OUTLETS SHALL CONSIST OF A 4" SQUARE DEEP BOX WITH SINGLE GANG PLASTER RING. PROVIDE BLANK PLATE WITH KNOCKOUTS FOR OUTLETS, AS PERMANENT COVERS WILL BE PROVIDED BY A SEPARATE INSTALLER.

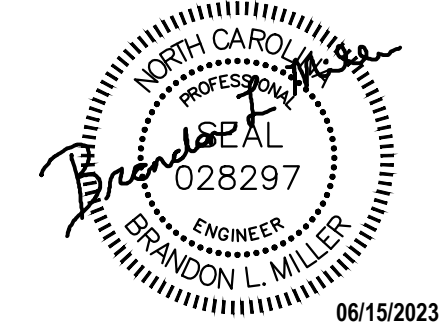
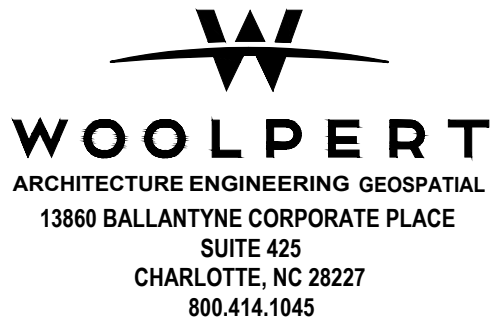
C. PROVIDE MINIMUM 1" RACEWAY, UNLESS OTHERWISE NOTED, FROM EACH BOX TO ABOVE NEAREST ACCESSIBLE CEILING SPACE FOR J-HOOK SYSTEM OR TO CABLE TRAY AS APPLICABLE. PROVIDE MINIMUM 210# TEST NYLON PULL CORD AND NYLON BUSHINGS IN ALL EMPTY RACEWAYS.

D. PROVIDE RACEWAYS FOR ALL EXTERIOR AND/OR EXPOSED LOCATIONS.

E. PROVIDE GROUNDING FOR ALL TELEPHONE/DATA SYSTEMS AND EQUIPMENT PER REQUIREMENTS AND SPECIFICATIONS PROVIDED BY THE OWNERS DESIGNATED VENDOR.

F. ALL LOW-VOLTAGE CABLING SHALL BE PLENUM-RATED.

1. **ELECTRICAL SPECIFICATIONS**
NO SCALE



ISSUANCE SCHEDULE
DESCRIPTION

DATE
NUMBER

CITY OF CONCORD

J.E. "JIM" RAMSEUR PARK
PARKS & RECREATION DEPARTMENT
MAINTENANCE BUILDING

1262 COX MILL ROAD
CONCORD, NC 28027

PROJECT NO: 081197
DATE ISSUED: 06/15/2023
DESIGNED BY: BLM
DRAWN BY: BLM
CHECKED BY: JH

CHECKED NAME:
ELECTRICAL
SPECIFICATIONS

SHEET NO:

E-002

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4

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<div><div>9. LIGHTING FIXTURES:</div><div><div>A. TYPES AND MANUFACTURERS ARE SCHEDULED ON THE PLANS. EQUIVALENT FIXTURES BY OTHERS MAY BE SUBMITTED ONLY AS INDICATED ON THE PLANS AND ARE SUBJECT TO THE APPROVAL OF THE OWNER AND ENGINEER.</div><div>B. ALL FIXTURES SHALL BE U.L. LISTED AND LABELED.</div><div>C. LED DRIVERS AND/OR BALLASTS SHALL BE AS INDICATED IN THE LIGHTING FIXTURE SCHEDULE OR AS OTHERWISE NOTED.</div><div>D. ALL FIXTURES SHALL BE PROVIDED FOR PROPER VOLTAGE BASED ON THE CIRCUIT ASSIGNMENT INDICATED ON THE PLANS.</div><div>E. CATALOG NUMBERS ARE FOR GENERAL IDENTIFICATION OF FIXTURES ONLY. ALL RELATED PARTS, SUCH AS PLASTER RINGS, JUNCTION BOXES, LOUVERS, SHIELDS, MOUNTING STEMS, CANOPIES, CONNECTORS, STRAPS, NIPPLES, HARDWARE, ACCESSORIES, ETC., TO FIT THEM PROPERLY TO THE CONSTRUCTION, SHALL BE FURNISHED AND INSTALLED BY THIS CONTRACTOR. CONTRACTOR SHALL PROVIDE SUITABLE TRIM AND APPURTENANCES TO MOUNT FIXTURES IN TYPE OF CEILING OR WALL AS SPECIFIED IN ARCHITECTURAL FINISH SCHEDULES REGARDLESS OF CATALOG NUMBER GIVEN.</div><div>F. ALL FIXTURES SHALL BE GROUNDED PER THE NEC.</div><div>G. FIXTURES CONNECTED WITH FLEX TO THE RIGID RACEWAY PORTION OF THE WIRING SYSTEM SHALL CARRY A GREEN BONDING JUMPER WITHIN THE FLEX. THE JUMPER SHALL BE FASTENED TO BOTH THE FIXTURE AND THE RACEWAY SYSTEM WITH A STEEL CITY "G" CLIP OR APPROVED EQUIVALENT. PHASE AND GROUND CONDUCTORS RUN IN FLEX SHALL BE #12 AWG MINIMUM. MAXIMUM FLEX LENGTH SHALL BE 6'-0".</div><div>H. MOUNT ALL FIXTURES PLUMB AND SQUARE WITH ROWS ALIGNED.</div><div>I. SEE ARCHITECTURAL REFLECTED CEILING PLANS FOR EXACT LOCATION OF FIXTURES.</div><div>J. CONTRACTOR SHALL COORDINATE FIXTURE TYPE AND TRIM WITH CEILING CONSTRUCTION AND ADJUST ACCORDINGLY WITHOUT ADDITIONAL EXPENSE.</div><div>K. ALL LIGHTING FIXTURES SHALL BE THERMALLY PROTECTED PER THE NEC.</div><div>L. LIGHTING FIXTURES MOUNTED IN OR ON CEILING IN HAZZARDOUS AREAS SHALL BE SUPPORTED FROM STRUCTURE VIA HOT DIPPED GALVANIZED CABLES HUNG FROM GALVANIZED EYEBOLTS AND USING GALVANIZED THIMBLES TO RESIST CORROSION FROM POOL CHEMICALS.</div></div></div> <div><div>10. LIGHTING CONTROLS:</div><div><div>A. FURNISH AND INSTALL WHERE SHOWN AN ELECTRONIC TIME CONTROLLER AS MANUFACTURED BY TORK (NSI), PARAGON, INTERMATIC, OR APPROVED EQUAL. CONTACTS SHALL BE SPST OR AS INDICATED, RATED 120/277V AT 20A BALLAST LOAD, AND MINIMUM 30,000 SWITCHING CYCLES. PROVIDE WITH THE NUMBER OF CHANNELS INDICATED (MINIMUM 2 CHANNELS) OR AS REQUIRED TO MEET THE INTENT OF THE DRAWINGS. EACH CHANNEL SHALL BE INDIVIDUALLY PROGRAMMABLE WITH 128 ON-OFF OPERATIONS PER WEEK PLUS FOUR SEASONAL SCHEDULES TO MODIFY THE BASIC PROGRAM AND A HOLIDAY SCHEDULE THAT OVERRIDES THE WEEKLY OPERATION. THE CONTROLLER SHALL BE PROVIDED WITH A PHOTOELECTRIC SENSOR, ASTRONOMIC DIAL, AND A BATTERY BACKED-UP, NON-VOLATILE MEMORY FOR SCHEDULES AND TIME CLOCK.</div><div>B. LIGHTING CONTACTORS SHALL SWITCH LOADS AT THE VOLTAGE AND AMPERE RATING INDICATED AND SHALL HAVE THE NUMBER OF POLES INDICATED ON THE DRAWINGS OR AS REQUIRED. THE CONTACTOR AND CONTACTS SHALL BE CONTINUOUSLY RATED FOR THE LOAD SERVED, INCLUDING TUNGSTEN FILAMENT, INDUCTIVE, AND HIGH-INRUSH BALLAST LOADS.</div><div>C. ALL LIGHTING CONTACTORS SHALL BE ELECTRICALLY HELD AND BE INSTALLED IN A NEMA 1 ENCLOSURE, UNLESS OTHERWISE NOTED.</div></div></div> <div><div>11. EQUIPMENT IDENTIFICATION:</div><div><div>A. PROVIDE ENGRAVED PHENOLIC NAMEPLATES FOR ALL ELECTRICAL EQUIPMENT SUPPLIED FOR THE PROJECT, INCLUDING BUT NOT LIMITED TO, WIRING TROUGHS, SAFETY SWITCHES, DISCONNECTS, TRANSFORMERS, PANELBOARDS, SWITCHBOARDS, SWITCHGEARS, MOTOR CONTROL CENTERS (MCC), BUSWAYS, GENERATORS, AUTOMATIC TRANSFER SWITCHES (ATS), UNINTERRUPTIBLE POWER SUPPLY (UPS), POWER DISTRIBUTION UNITS (PDU), FLOOR/REMOTE DISTRIBUTION CABINETS (FDC/RDC), STATIC TRANSFER SWITCHES (STS), ETC. NAMEPLATE SHALL INDICATE THE DEVICE NAME, SYSTEM VOLTAGE (VOLTAGE/PHASE/WIRE), AND UPSTREAM DEVICE AND CIRCUIT. PROVIDE NAMEPLATES FOR CIRCUIT BREAKERS IN SWITCHGEARS, SWITCHBOARDS AND DISTRIBUTION PANELS.</div><div>B. NAMEPLATE COLORS SHALL BE AS FOLLOWS:<table><tr><td>120/208V EQUIPMENT</td><td>BLUE SURFACE WITH WHITE CORE</td></tr><tr><td>277/480V EQUIPMENT</td><td>BLACK SURFACE WITH WHITE CORE</td></tr><tr><td>EMERGENCY SYSTEMS</td><td>GREEN SURFACE WITH WHITE CORE</td></tr><tr><td>FIRE ALARM SYSTEM</td><td>BRIGHT RED SURFACE WITH WHITE CORE</td></tr><tr><td>SECURITY SYSTEMS</td><td>BURGUNDY SURFACE WITH WHITE CORE</td></tr><tr><td>TELEPHONE SYSTEMS</td><td>ORANGE SURFACE WITH WHITE CORE</td></tr><tr><td>DATA SYSTEMS</td><td>BROWN SURFACE WITH WHITE CORE</td></tr><tr><td>TV SYSTEMS</td><td>PURPLE SURFACE WITH WHITE CORE</td></tr><tr><td>PAGING SYSTEMS</td><td>WHITE SURFACE WITH BLACK CORE</td></tr></table></div><div>C. NAMEPLATES UP TO 8 SQUARE INCHES SHALL NOT BE LESS THAN 1/16" THICK. NAMEPLATES LARGER THAN 8 SQUARE INCHES SHALL NOT LESS THAN 1/8" THICK.</div><div>D. LETTERING HEIGHT SHALL BE 1/2" MINIMUM.</div><div>E. NAMEPLATES SHALL BE ATTACHED WITH SELF-DRILLING/SELF-TAPPING SCREWS, EXCEPT RIVETS SHALL BE USED WHERE END OF SCREW IS NOT PROTECTED. QUANTITY AS FOLLOWS:<table><tr><td>UP TO 5 SQUARE INCHES:</td><td>2 SCREWS.</td></tr><tr><td>5 TO 12 SQUARE INCHES:</td><td>4 SCREWS.</td></tr><tr><td>ABOVE 12 SQUARE INCHES:</td><td>6 SCREWS.</td></tr></table></div></div></div> <div><div>12. DISCONNECTS:</div><div><div>A. DISCONNECT SWITCHES SHALL BE HEAVY-DUTY TYPE IN NEMA 1 ENCLOSURES, UNLESS OTHERWISE NOTED, FUSED OR NON-FUSED AS INDICATED. SWITCHES SHALL HAVE REJECTION-TYPE FUSE CLIPS. SWITCHES SHALL BE BY EATON, SQUARE-D, GENERAL ELECTRIC, OR APPROVED EQUAL. WHERE FED FROM A LOAD CENTER, GENERAL-DUTY SWITCHES SHALL BE PERMITTED.</div><div>B. FUSES LESS THAN 60A SHALL BE CLASS RK5, DUAL-ELEMENT, TIME-DELAY WITH INDICATION.</div><div>C. FUSES GREATER THAN 60A SHALL BE CLASS J, DUAL-ELEMENT, TIME-DELAY WITH INDICATION.</div><div>D. A SET OF 3 SPARE FUSES OF EACH SIZE AND TYPE SHALL BE FURNISHED TO THE OWNER.</div><div>E. ALL ELECTRICAL EQUIPMENT ENCLOSURES IN POOL EQUIPMENT, CHLORINE, AND ACID ROOMS SHALL BE NEMA-4X STAINLESS STEEL OR NON-METALLIC, WET-LOCATION LISTED AND LISTED TO RESIST CORROSION FROM POOL CHEMICALS.</div></div></div> <div><div>13. PANELBOARDS:</div><div><div>A. PANELBOARDS SHALL BE PROVIDED AS MANUFACTURED BY EATON, SQUARE-D, GENERAL ELECTRIC, OR APPROVED EQUAL. ALL NEW EQUIPMENT FOR THE PROJECT SHALL BE BY THE SAME MANUFACTURER. LOAD CENTER TYPE PANELBOARDS SHALL BE USED WHERE THE PANELBOARD SERVES A DWELLING UNIT.</div><div>B. ALL BUSSING, INCLUDING NEUTRAL AND GROUND, SHALL BE COPPER.</div><div>C. ALL BREAKERS SHALL BE AUTOMATIC THERMAL-MAGNETIC TYPE MOLDED CASE BOLT-ON TYPE, CALIBRATED FOR 40 DEGREE C, OR AMBIENT COMPENSATION, UNLESS OTHERWISE NOTED.</div><div>D. PANELS SHALL BE FULLY RATED (AIC). NO SERIES AIC RATINGS ARE ALLOWED.</div><div>E. PANELS SHALL HAVE FULL SIZE EQUIPMENT GROUNDING BARS AND NEUTRAL BARS, EXCEPT WHERE INDICATED TO BE 200%.</div><div>F. ALL PANELBOARD AND BREAKER LUGS SHALL BE SIZED AND RATED PER THE CONDUCTOR SIZE AND MATERIAL.</div><div>G. LIGHTING AND APPLIANCE PANELS (100A-600A) SHALL HAVE FRONT ACCESSIBLE HINGED</div></div></div>	120/208V EQUIPMENT	BLUE SURFACE WITH WHITE CORE	277/480V EQUIPMENT	BLACK SURFACE WITH WHITE CORE	EMERGENCY SYSTEMS	GREEN SURFACE WITH WHITE CORE	FIRE ALARM SYSTEM	BRIGHT RED SURFACE WITH WHITE CORE	SECURITY SYSTEMS	BURGUNDY SURFACE WITH WHITE CORE	TELEPHONE SYSTEMS	ORANGE SURFACE WITH WHITE CORE	DATA SYSTEMS	BROWN SURFACE WITH WHITE CORE	TV SYSTEMS	PURPLE SURFACE WITH WHITE CORE	PAGING SYSTEMS	WHITE SURFACE WITH BLACK CORE	UP TO 5 SQUARE INCHES:	2 SCREWS.	5 TO 12 SQUARE INCHES:	4 SCREWS.	ABOVE 12 SQUARE INCHES:	6 SCREWS.	<div><div>DOOR-IN-DOOR COVERS WITH DEAD FRONT, SHALL BE 20" WIDE MINIMUM WITH MINIMUM 4" WIDE WIRING GUTTERS.</div><div>H. DISTRIBUTION PANELS (600A-1200A) SHALL HAVE FRONT ACCESSIBLE DEAD FRONT COVERS.</div><div>I. PROVIDE HANDLE LOCK-ON DEVICES FOR ALL CIRCUIT BREAKERS CONNECTED TO EMERGENCY, EXIT, NIGHT LIGHTING, FIRE ALARM, TELEPHONE BOARDS, AND SECURITY SYSTEMS.</div><div>J. BREAKERS USED FOR SWITCHING SHALL BE SWITCHING DUTY (SWD) RATED.</div><div>K. BREAKERS USED FOR HEATING, AIR-CONDITIONING AND/OR REFRIGERATION SHALL BE HACR RATED.</div><div>L. GROUND-FAULT CIRCUIT-INTERRUPTER (GFCI) PROTECTION FOR PERSONNEL SHALL BE PROVIDED FOR ALL LOCATIONS PER NEC 210.8, INSTALLED IN A READILY ACCESSIBLE LOCATION. WHERE A DEVICE LOCATION IS NOT ACCESSIBLE, THE GFCI PROTECTION SHALL BE PROVIDED WITH THE BREAKER SERVING THE DEVICE.</div><div>M. ARC-FAULT CIRCUIT-INTERRUPTER (AFCI) PROTECTION SHALL BE PROVIDED FOR ALL LOCATIONS PER NEC 210.12, INSTALLED IN A READILY ACCESSIBLE LOCATION. THIS INCLUDES ALL 120V, 15A AND 20A BRANCH CIRCUITS IN DWELLING UNITS, DORMITORY/STUDENT HOUSING UNITS AND HOTEL/MOTEL GUEST ROOMS/SUITES AS DEFINED BY THE NEC.</div><div>N. ALL OVERCURRENT DEVICES WHICH COMPRISE THE EMERGENCY SYSTEM OR LEGALLY REQUIRED STANDBY SYSTEM SHALL BE SELECTIVELY COORDINATED. THE ELECTRICAL CONTRACTOR SHALL PROVIDE MANUFACTURER DOCUMENTATION INDICATING COMPLIANCE WITH THE SELECTIVE COORDINATION REQUIREMENTS PER THE NEC.</div><div>O. ALL PANELBOARDS SHALL HAVE METAL DIRECTORY FRAME. FOR EACH PANELBOARD, PROVIDE TYPED CIRCUIT DIRECTORY PER NEC 408.4. SPARE CIRCUIT BREAKERS SHALL BE LABELED SPARE AND IN THE OFF POSITION.</div></div> <div><div>14. FIRE STOPPING:</div><div><div>A. ALL PENETRATIONS OF RATED ASSEMBLIES SHALL BE SEALED WITH RATED MATERIALS MEETING ASTM E-814.</div><div>B. PROVIDE FIRESTOPPING DEVICE(S) OR SYSTEM(S) WHICH HAVE BEEN TESTED AND LISTED AS COMPLYING WITH ASTM E-814. INSTALL THE DEVICE(S) OR SYSTEM(S) IN ACCORDANCE WITH THE CONDITIONS OF THEIR LISTING. PROVIDE THE APPROPRIATE DEVICE(S) OR SYSTEM(S) WITH AN "F" RATING EQUAL TO THE RATING OF THE ASSEMBLY BEING PENETRATED.</div><div>C. DEVICE(S) AND/OR SYSTEM(S) SHALL BE BY HILTI, 3M OR EQUIVALENT.</div></div></div> <div><div>15. SEISMIC:</div><div><div>A. THE ELECTRICAL CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR PROVIDING SEISMIC SUPPORT AND BRACING OF ELECTRICAL COMPONENTS TO RESIST THE EFFECTS OF EARTHQUAKES ON THE ELECTRICAL SYSTEM AS WELL AS ANY REQUIRED SPECIAL INSPECTIONS BASED ON THE SPECIFIC GEOGRAPHIC LOCATION AS REQUIRED. THE SEISMIC RESTRAINTS AND SPECIAL INSPECTIONS SHALL MEET ALL APPLICABLE STATE AND LOCAL BUILDING CODE REQUIREMENTS AS WELL AS ASCE-7 REQUIREMENTS.</div></div></div> <div><div>16. ELECTRICAL COORDINATION WITH OTHER TRADES:</div><div><div>A. THE ELECTRICAL CONTRACTOR SHALL CONNECT AND/OR PROVIDE FINAL CONNECTIONS TO ALL EQUIPMENT SUPPLIED BY OTHERS APPLICABLE TO THE PROJECT, INCLUDING BUT NOT LIMITED TO, MECHANICAL, PLUMBING, FIRE PROTECTION AND SUPPRESSION, OWNER FURNISHED, KITCHEN, LABORATORY, ETC. UNLESS OTHERWISE NOTED.</div><div>B. THE ELECTRICAL CONTRACTOR SHALL COORDINATE ALL CONNECTIONS PRIOR TO ROUGH-IN USING APPROVED CATALOG SHEETS AND SHOP DRAWINGS.</div><div>C. THE ELECTRICAL CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANUAL MOTOR STARTER SWITCHES, DISCONNECT SWITCHES, RECEPTACLES, ETC. TO MECHANICAL AND PLUMBING EQUIPMENT. ALL STARTERS, OTHER THAN MANUAL STARTER SWITCHES, SHALL BE PROVIDED BY OTHERS, BUT INSTALLED BY THE ELECTRICAL CONTRACTOR.</div><div>D. ALL DISCONNECT SWITCHES AND FUSE SIZES SHALL BE COORDINATED WITH SHOP DRAWINGS PRIOR TO ORDERING OR INSTALLING. ANY EQUIPMENT INSTALLED INCORRECTLY BECAUSE OF LACK OF COORDINATION WILL BE REMOVED AND INSTALLED CORRECTLY AT THE EXPENSE OF THE ELECTRICAL CONTRACTOR.</div><div>E. THE ELECTRICAL CONTRACTOR SHALL COORDINATE ALL CONDUIT RUNS AND LIGHT FIXTURE LOCATIONS ABOVE THE CEILING WITH OTHER TRADES PRIOR TO INSTALLATION.</div><div>F. ALL DUCT SMOKE DETECTORS SHALL BE PROVIDED AND CONNECTED BY THE ELECTRICAL CONTRACTOR, BUT INSTALLED BY THE MECHANICAL CONTRACTOR.</div><div>G. THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL NECESSARY OUTLETS FOR HEAT TAPE CONNECTIONS FOR MECHANICAL SYSTEMS. PROVIDE CLASS B (30mA) GFCI PROTECTION ON THE BREAKER SUPPLYING THE HEAT TAPE.</div><div>H. THE ELECTRICAL CONTRACTOR SHALL PROVIDE 120V POWER AT EACH HVAC UNIT HAVING A CONTROLS POWER SUPPLY. CIRCUIT(S) SHALL BE DEDICATED 20A SERVING A MAXIMUM OF 10 HVAC UNITS PER CIRCUIT. COORDINATE ALL LOCATIONS WITH THE MECHANICAL CONTRACTOR.</div></div></div> <div><div>17. COMMISSIONING:</div><div><div>A. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR EQUIPMENT/SYSTEM START-UP AND TESTING. THE ELECTRICAL CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR EQUIPMENT/SYSTEM COMMISSIONING AS DIRECTED BY THE COMMISSIONING AUTHORITY (CxA). THE ELECTRICAL CONTRACTOR SHALL COORDINATE WITH THE COMMISSIONING AUTHORITY AND PROVIDE ALL NECESSARY TIME, EQUIPMENT, MATERIALS, AND PROCEDURES REQUIRED FOR A FULLY COMMISSIONED PROJECT.</div><div>B. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR SYSTEM COMMISSIONING PER 2018 NCECC SECTION C408. WHERE AN INDEPENDENT COMMISSIONING AGENT IS NOT ENGAGED BY THE OWNER, THE EC SHALL HIRE A REGISTERED DESIGN PROFESSIONAL (ENGINEER SEALED IN NC OR CERTIFIED COMMISSIONING PROFESSIONAL) TO PERFORM THE COMMISSIONING DUTIES DESCRIBED IN SECTION C408, AND PROVIDE THE OWNER AND CODE OFFICIAL WITH A SEALED STATEMENT OF COMPLETION (APPENDIX C1). THE ELECTRICAL CONTRACTOR SHALL COORDINATE WITH THE COMMISSIONING AGENT AND PROVIDE ALL NECESSARY TIME, MATERIALS, AND PROCEDURES REQUIRED FOR A FULLY COMMISSIONED PROJECT.</div></div></div>
120/208V EQUIPMENT	BLUE SURFACE WITH WHITE CORE																								
277/480V EQUIPMENT	BLACK SURFACE WITH WHITE CORE																								
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<div>ELECTRICAL SPECIFICATIONS (CONT'D)</div> <div>NO SCALE</div>																									



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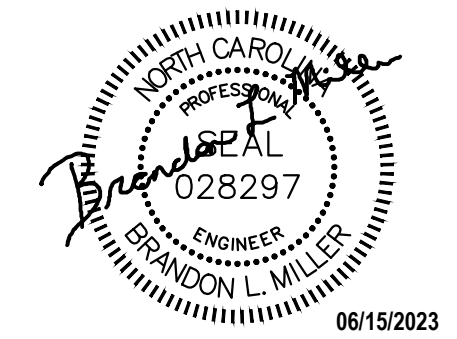
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CITY OF CONCORD

J.E. "JIM" RAMSEUR PARK

PARKS & RECREATION DEPARTMENT

MAINTENANCE BUILDING

1262 COX MILL ROAD

CONCORD, NC 28027

PROJECT NO:

081197

DATE ISSUED:

06/15/2023

DESIGNED BY:

BLM

DRAWN BY:

BLM

CHECKED BY:

JH

SHEET NAME:

ELECTRICAL SPECIFICATIONS

SHEET NO:

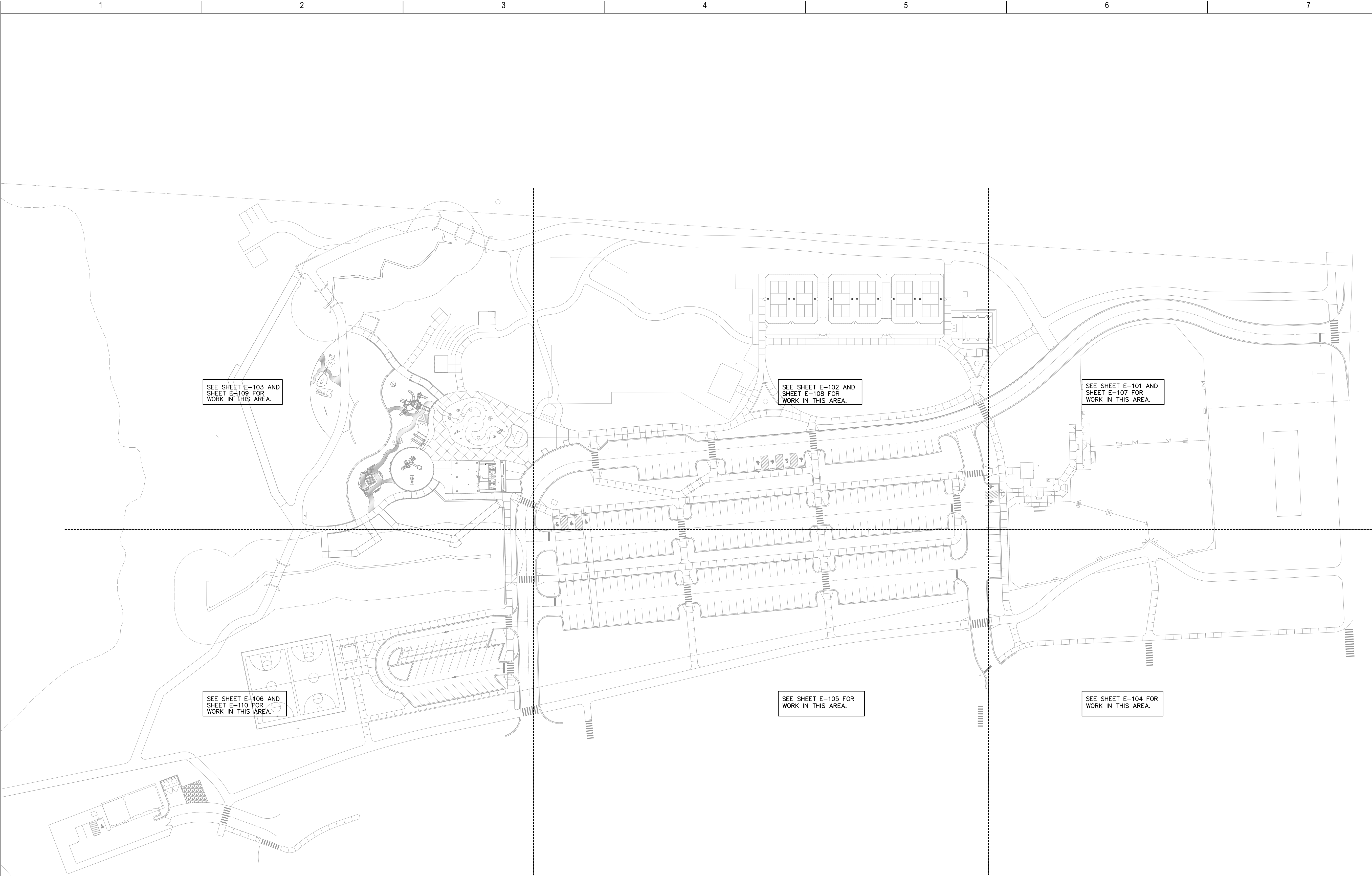
E-003

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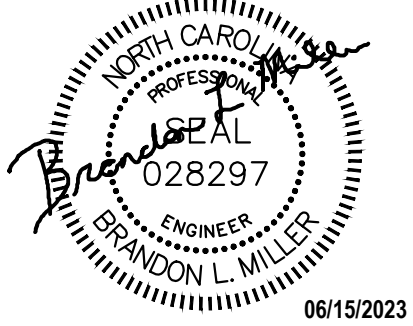
3 OF 30

OPTIMA #: 22-0236



1 OVERALL SITE PLAN - POWER
1" = 60'-0"

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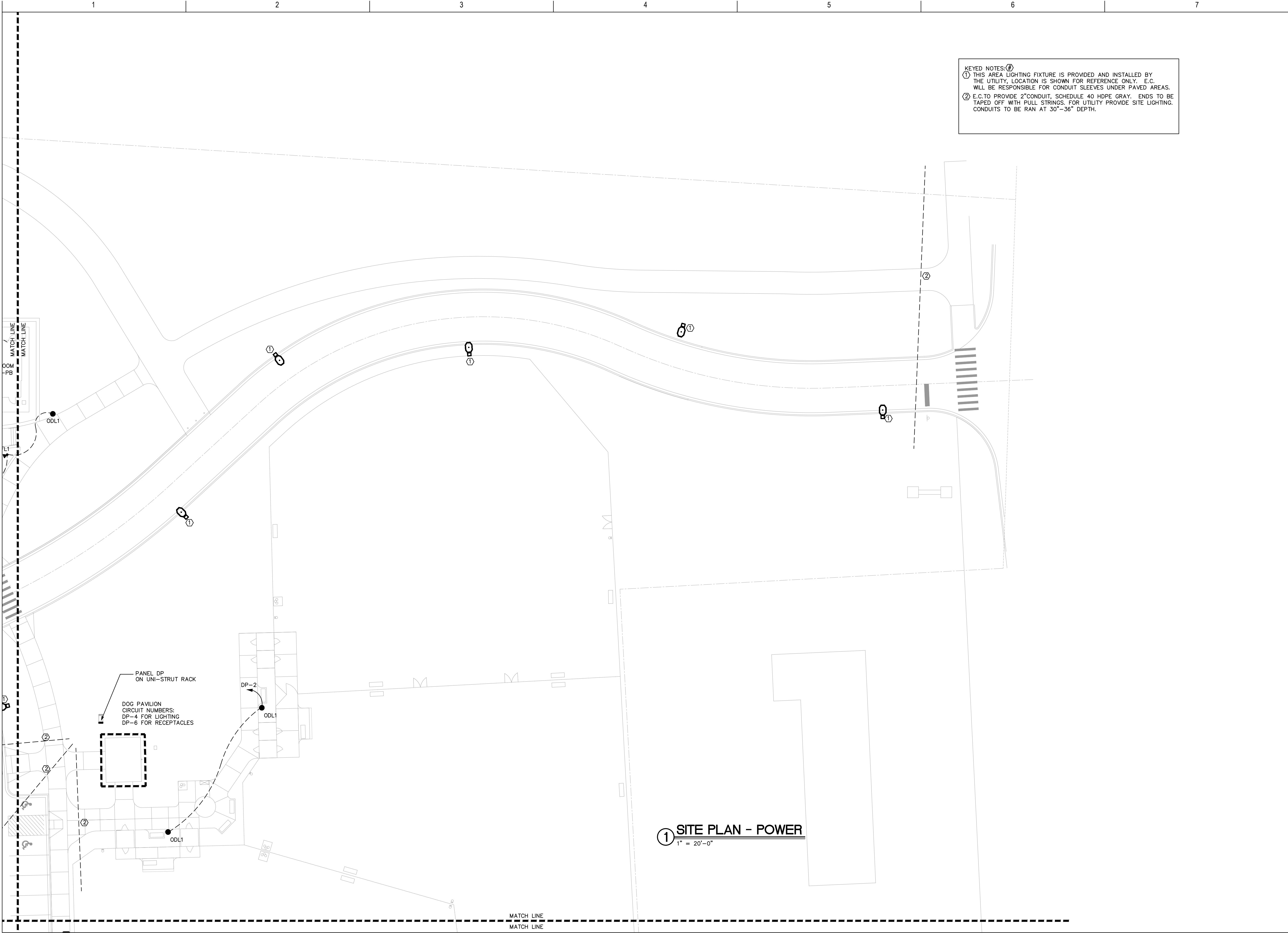
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J.E. "JIM" RAMSEUR PARK
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MAINTENANCE BUILDING
1262 COX MILL ROAD
CONCORD, NC 28027

PROJECT NO: 081197
DATE ISSUED: 06/15/2023
DESIGNED BY: BLM
DRAWN BY: BLM
CHECKED BY: JH

SHEET NAME:
ELECTRICAL
SITE PLAN

SHEET NO:
E-100



KEYED NOTES:
① THIS AREA LIGHTING FIXTURE IS PROVIDED AND INSTALLED BY THE UTILITY. LOCATION IS SHOWN FOR REFERENCE ONLY. E.C. WILL BE RESPONSIBLE FOR CONDUIT SLEEVES UNDER PAVED AREAS.
② E.C. TO PROVIDE, 2" CONDUIT, SCHEDULE 40 HDPE GRAY. ENDS TO BE TAPED OFF WITH PULL STRINGS. FOR UTILITY PROVIDE SITE LIGHTING. CONDUITS TO BE RAN AT 30"-36" DEPTH.

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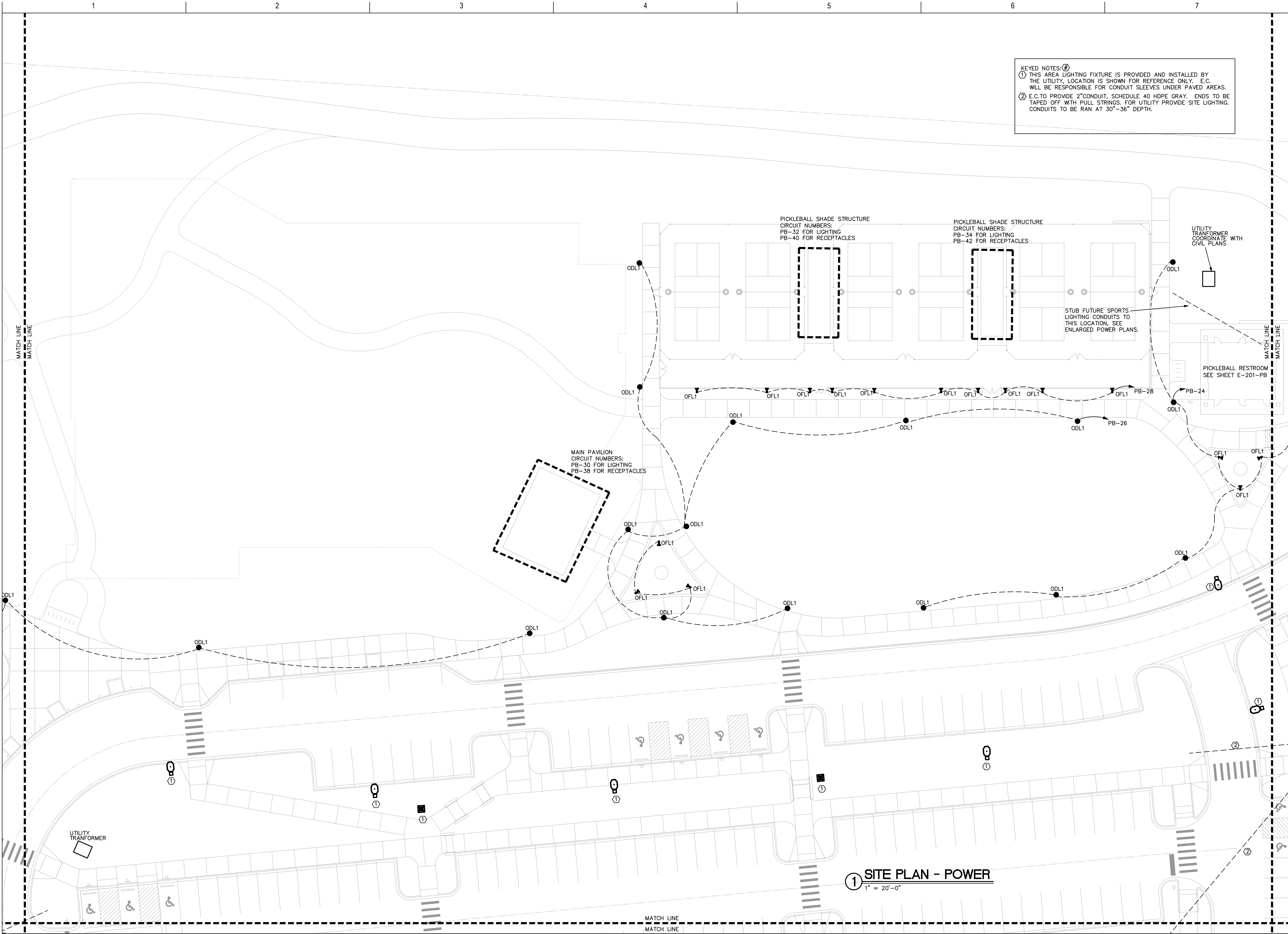
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SITE PLAN**

SHEET NO:
E-101



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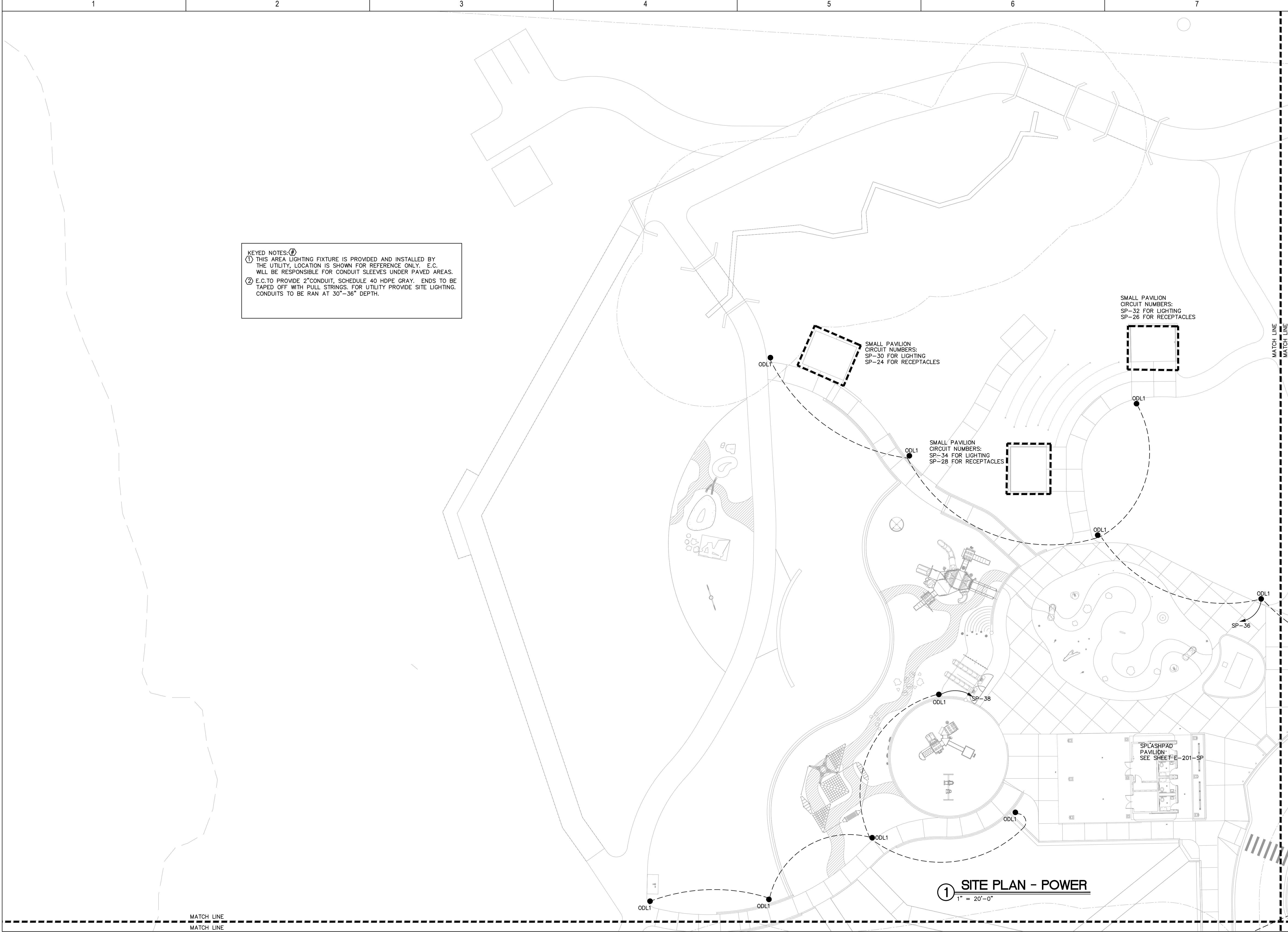
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SHEET NO:
E-102



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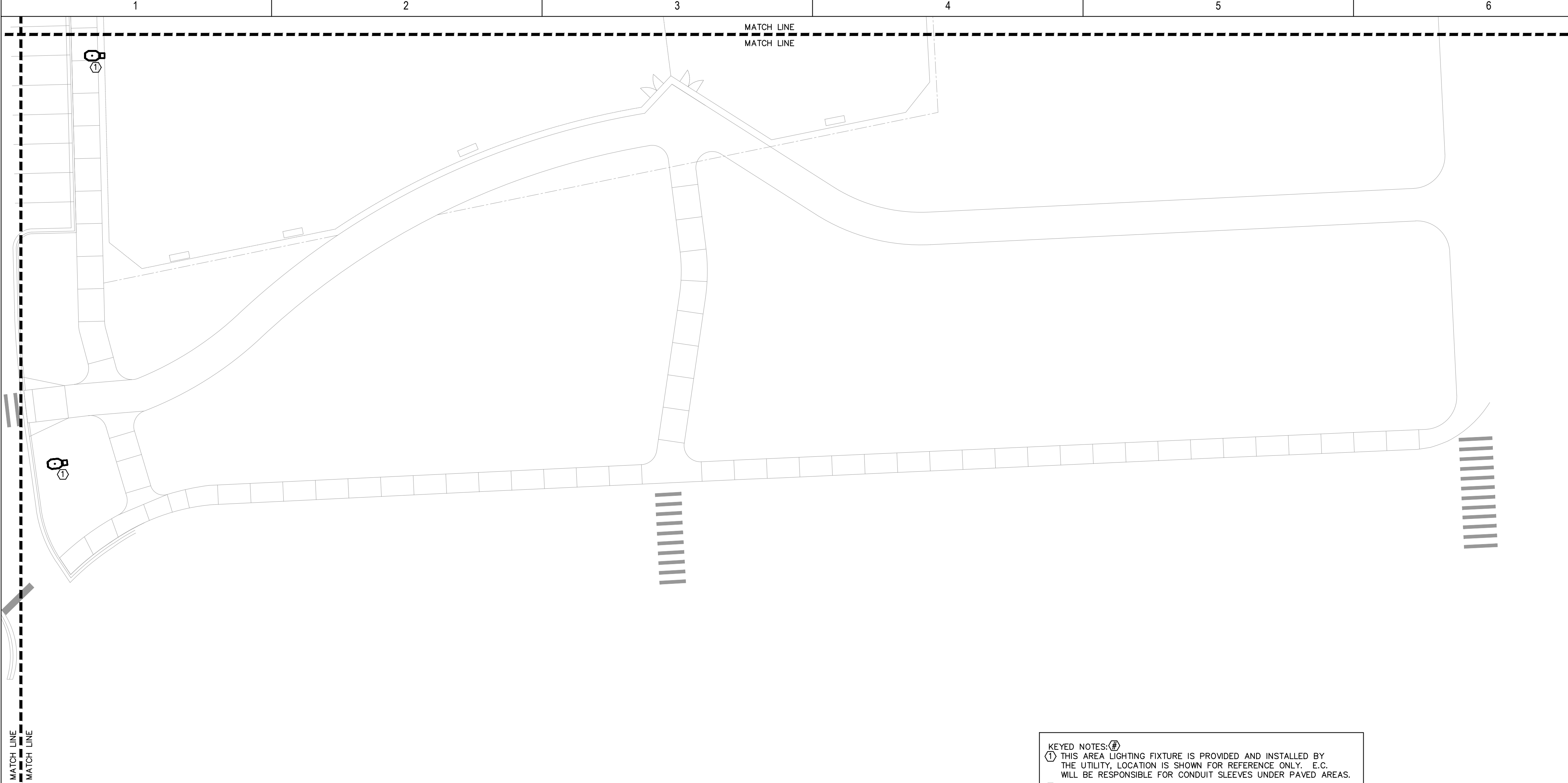
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SITE PLAN**

SHEET NO:
E-103




KEYED NOTES: ⑦

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① SITE PLAN - POWER

1" = 20'-0"



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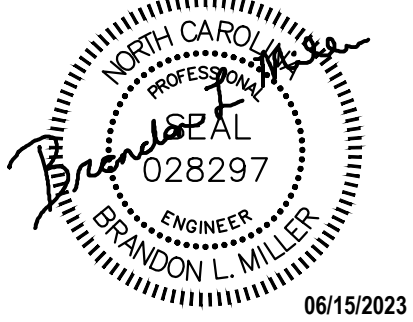
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E-104



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CONCORD, NC 28027

PROJECT NO:	081197
DATE ISSUED:	06/15/2023
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SHEET NAME:
ELECTRICAL
SITE PLAN

SHEET NO:

E-105

9 OF 30
OPTIMA #: 22-0236

KEYED NOTES: (7)

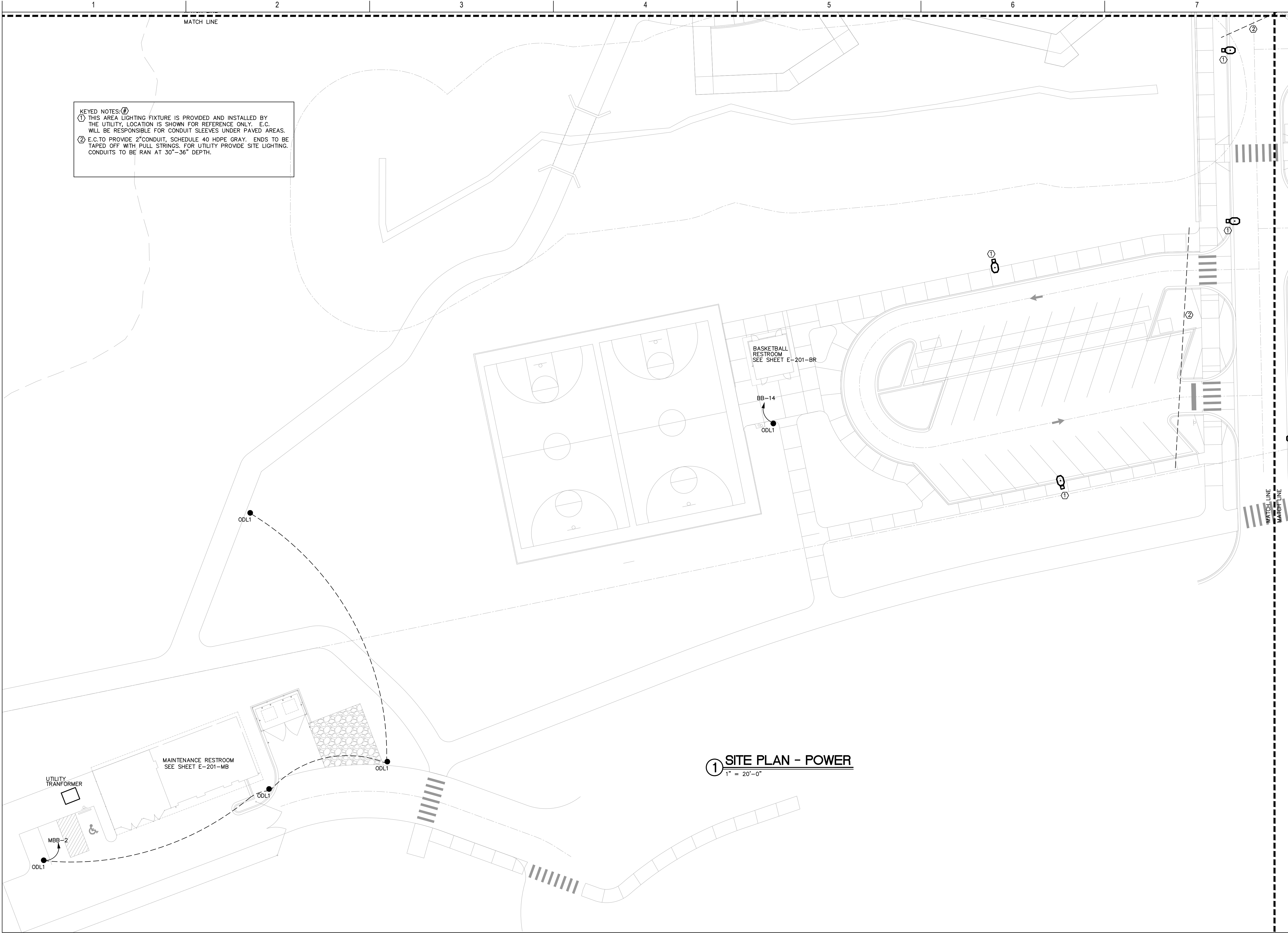
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1 SITE PLAN - POWER


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① SITE PLAN - POWER
1" = 20'-0"



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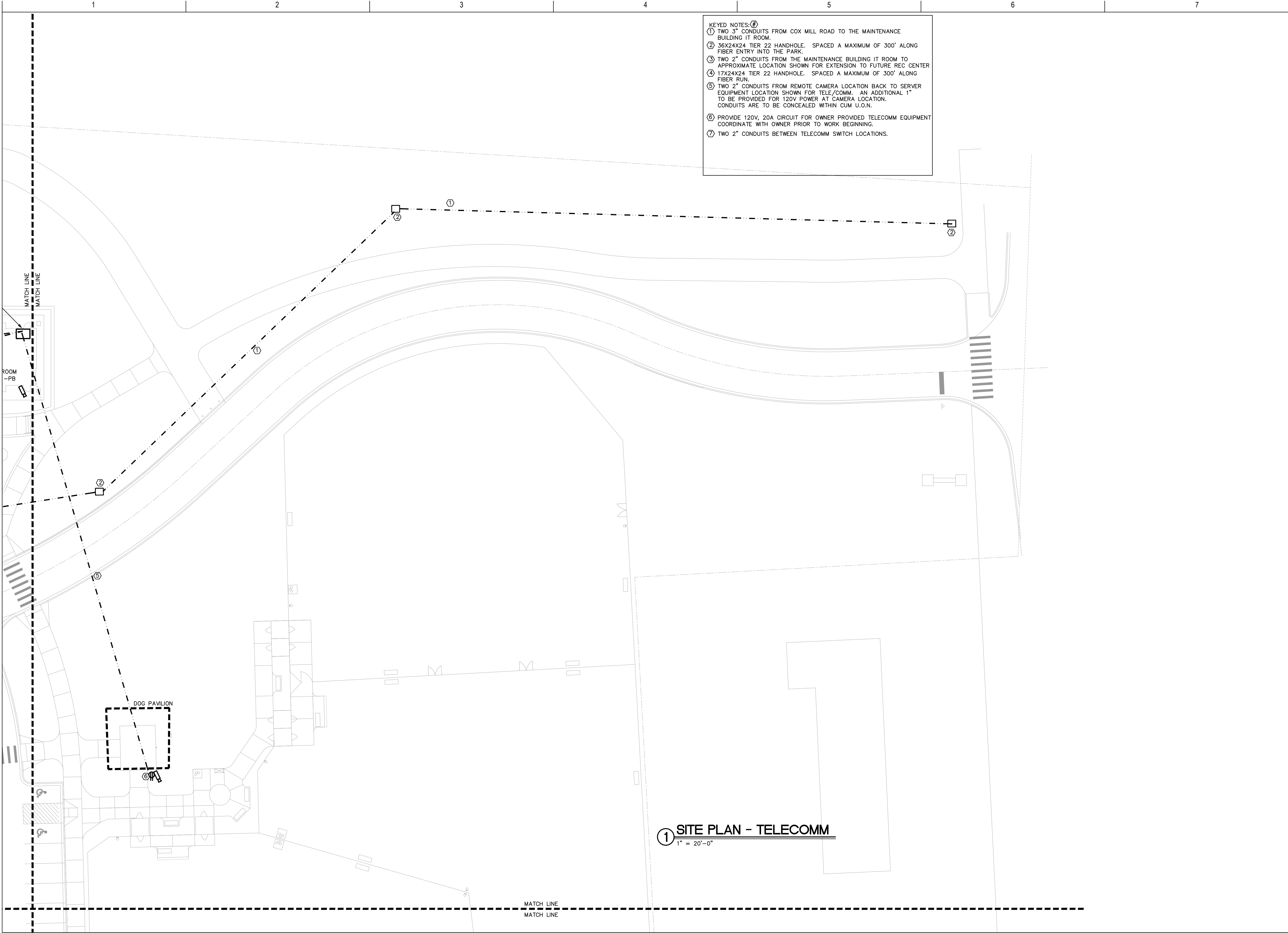
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SHEET NAME:
**ELECTRICAL
SITE PLAN**

SHEET NO:
E-106



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PROJECT NO:

081197

DATE ISSUED:

06/15/2023

DESIGNED BY:

BLM

DRAWN BY:

BLM

CHECKED BY:

JH

SHEET NAME:

ELECTRICAL

TELE/COM SITE

PLAN

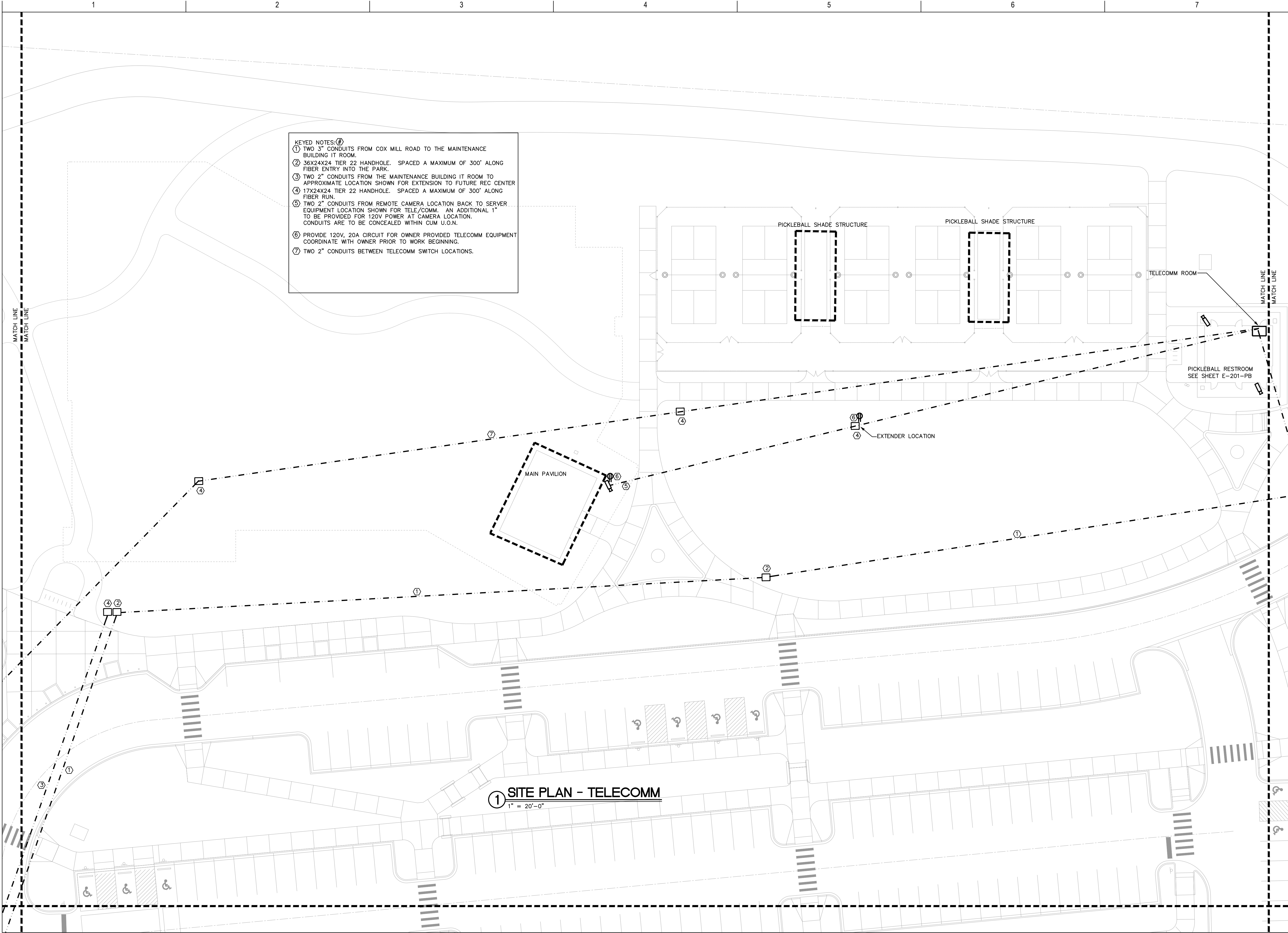
SHEET NO:

E-107

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ISSUED FOR BIDDING

11 OF 30
OPTIMA #: 22-0236



- KEYED NOTES:⁽⁷⁾
- ① TWO 3" CONDUITS FROM COX MILL ROAD TO THE MAINTENANCE BUILDING IT ROOM.
 - ② 36X24X24 TIER 22 HANDHOLE. SPACED A MAXIMUM OF 300' ALONG FIBER ENTRY INTO THE PARK.
 - ③ TWO 2" CONDUITS FROM THE MAINTENANCE BUILDING IT ROOM TO APPROXIMATE LOCATION SHOWN FOR EXTENSION TO FUTURE REC CENTER
 - ④ 17X24X24 TIER 22 HANDHOLE. SPACED A MAXIMUM OF 300' ALONG FIBER RUN.
 - ⑤ TWO 2" CONDUITS FROM REMOTE CAMERA LOCATION BACK TO SERVER EQUIPMENT LOCATION SHOWN FOR TELE/COMM. AN ADDITIONAL 1" TO BE PROVIDED FOR 120V POWER AT CAMERA LOCATION. CONDUITS ARE TO BE CONCEALED WITHIN CUM U.O.N.
 - ⑥ PROVIDE 120V, 20A CIRCUIT FOR OWNER PROVIDED TELECOMM EQUIPMENT COORDINATE WITH OWNER PRIOR TO WORK BEGINNING.
 - ⑦ TWO 2" CONDUITS BETWEEN TELECOMM SWITCH LOCATIONS.

① **SITE PLAN - TELECOMM**
1" = 20'-0"

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SUITE 425
CHARLOTTE, NC 28227
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Professional Seal
NORTH CAROLINA
Professional Engineer
BRANCON L. MILLER
028297
06/15/2023

optima engineering
1927 South Tryon St., Suite 300, Charlotte NC 28203
100 Fayetteville St., Suite 300, Raleigh, NC 27601
Phone: 704.338.1022 • www.optimaengineering.com
North Carolina License Number: C10514

ISSUANCE SCHEDULE	
NUMBER	DATE
△	

CITY OF CONCORD
J.E. "JIM" RAMSEUR PARK
PARKS & RECREATION DEPARTMENT
MAINTENANCE BUILDING
1262 COX MILL ROAD
CONCORD, NC 28027

PROJECT NO:	081197
DATE ISSUED:	06/15/2023
DESIGNED BY:	BLM
DRAWN BY:	BLM
CHECKED BY:	JH

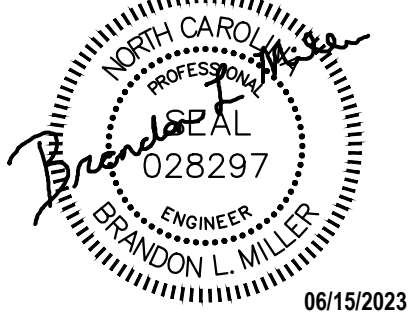
SHEET NAME:
ELECTRICAL
TELE/COM SITE
PLAN

SHEET NO.:
E-108

- KEYED NOTES: ⑦
- ① TWO 3" CONDUITS FROM COX MILL ROAD TO THE MAINTENANCE BUILDING IT ROOM.
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 - ⑦ TWO 2" CONDUITS BETWEEN TELECOMM SWITCH LOCATIONS.

① SITE PLAN - TELECOMM
1" = 20'-0"

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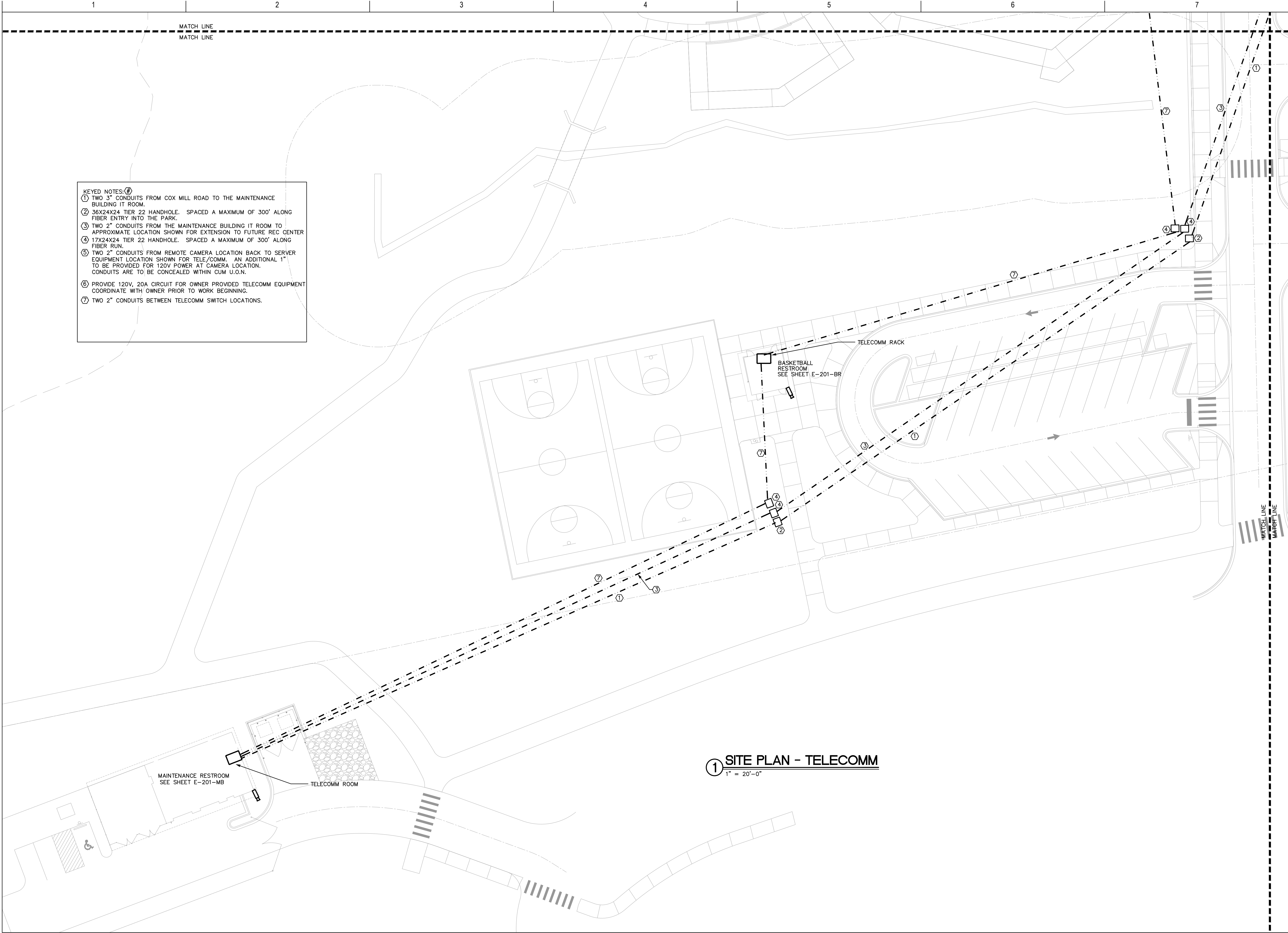
CITY OF CONCORD
J.E. "JIM" RAMSEUR PARK
PARKS & RECREATION DEPARTMENT
MAINTENANCE BUILDING
1262 COX MILL ROAD
CONCORD, NC 28027


PROJECT NO: 081197
DATE ISSUED: 06/15/2023
DESIGNED BY: BLM
DRAWN BY: BLM
CHECKED BY: JH

SHEET NAME:
ELECTRICAL
TELE/COM SITE
PLAN


SHEET NO:

E-109





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ISSUANCE SCHEDULE	
NUMBER	DATE DESCRIPTION

CITY OF CONCORD

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PARKS & RECREATION DEPARTMENT

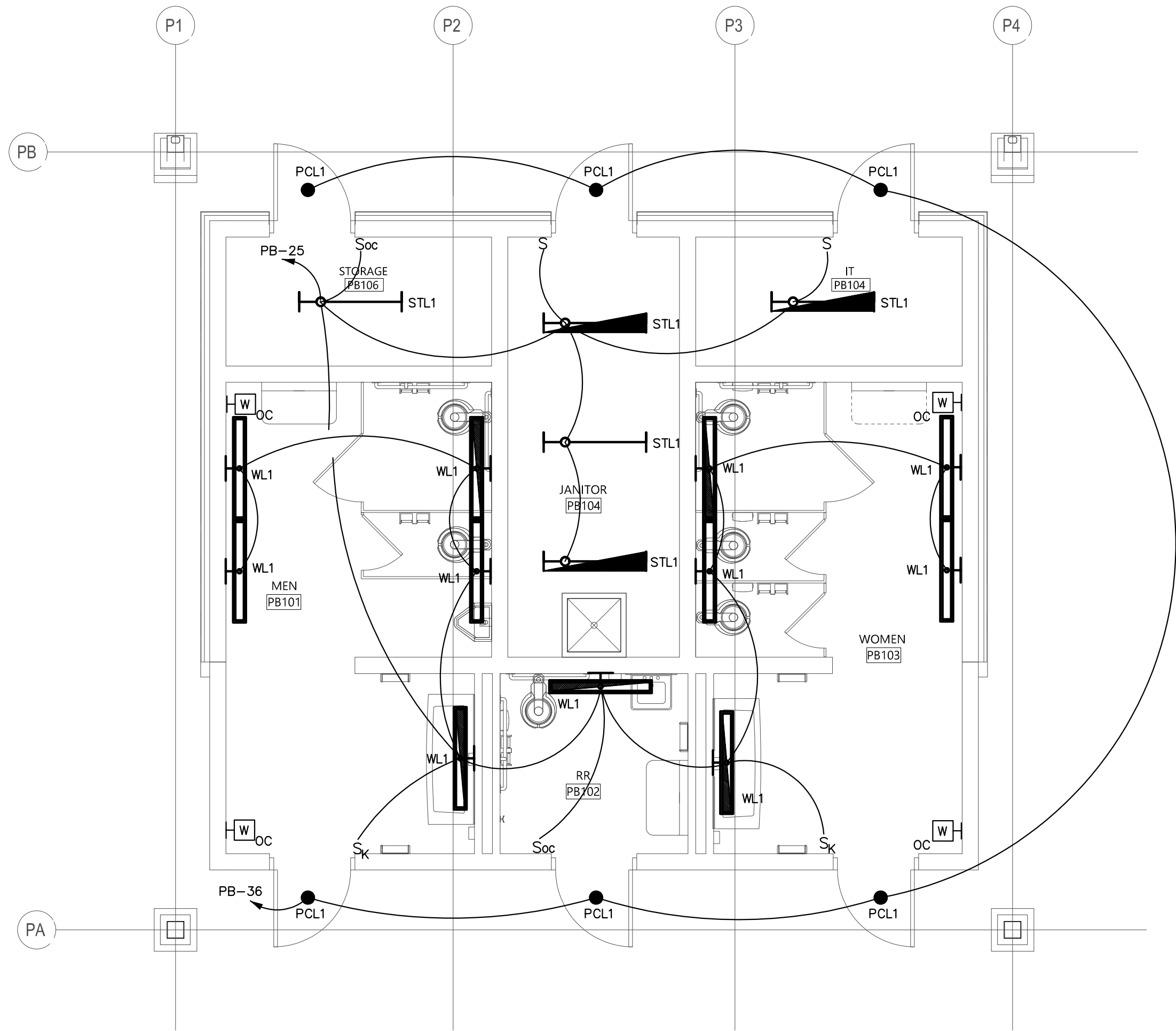
MAINTENANCE BUILDING

1262 COX MILL ROAD
CONCORD, NC 28027

PROJECT NO:	081197
DATE ISSUED:	06/15/2023
DESIGNED BY:	BLM
DRAWN BY:	BLM
CHECKED BY:	JH

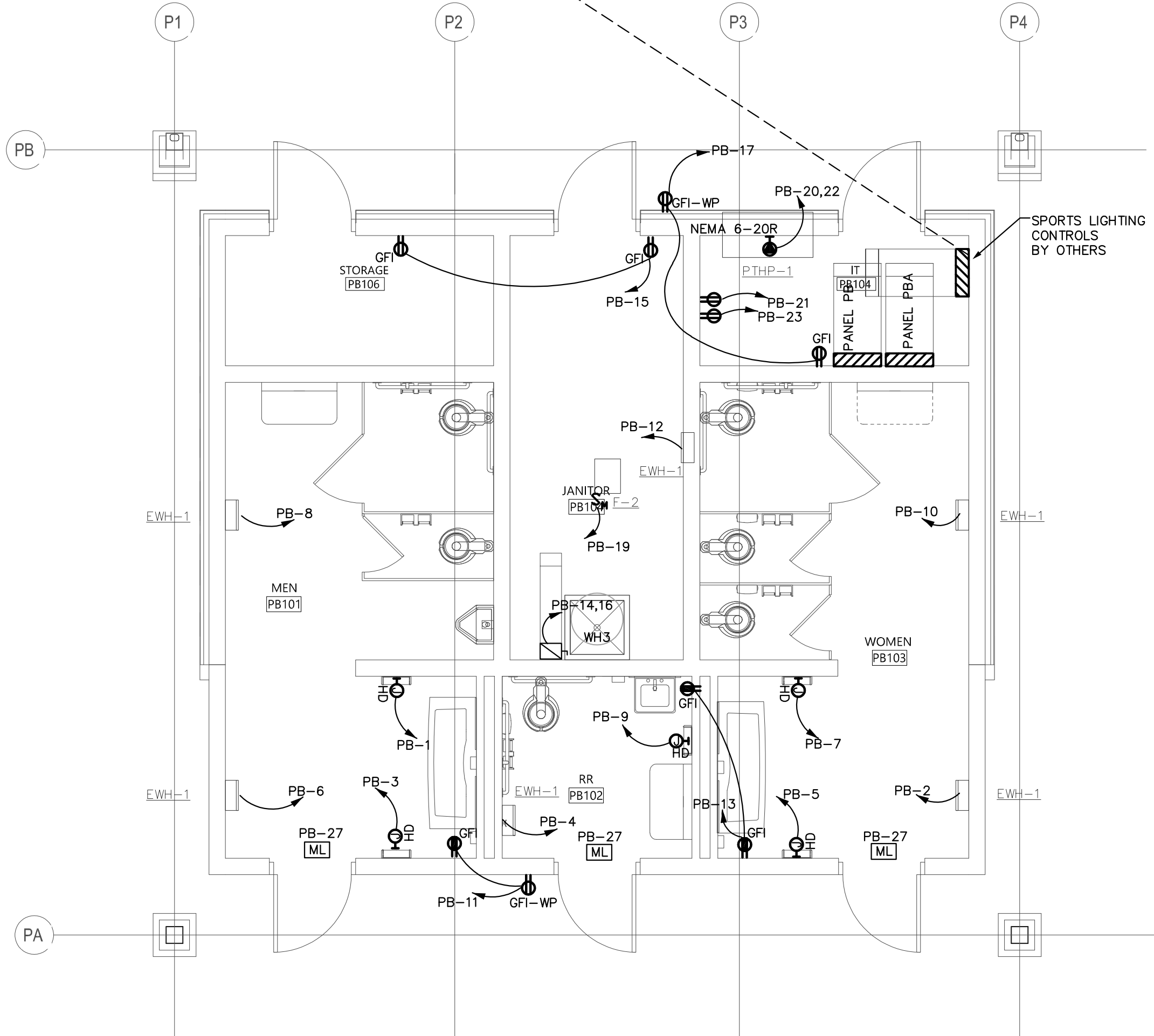
SHEET NAME:
ELECTRICAL
TELE/COM SITE
PLAN

SHEET NO:
E-110



**PICKLEBALL RESTROOM
FLOOR PLAN - LIGHTING**
① 1/4" = 1'-0"

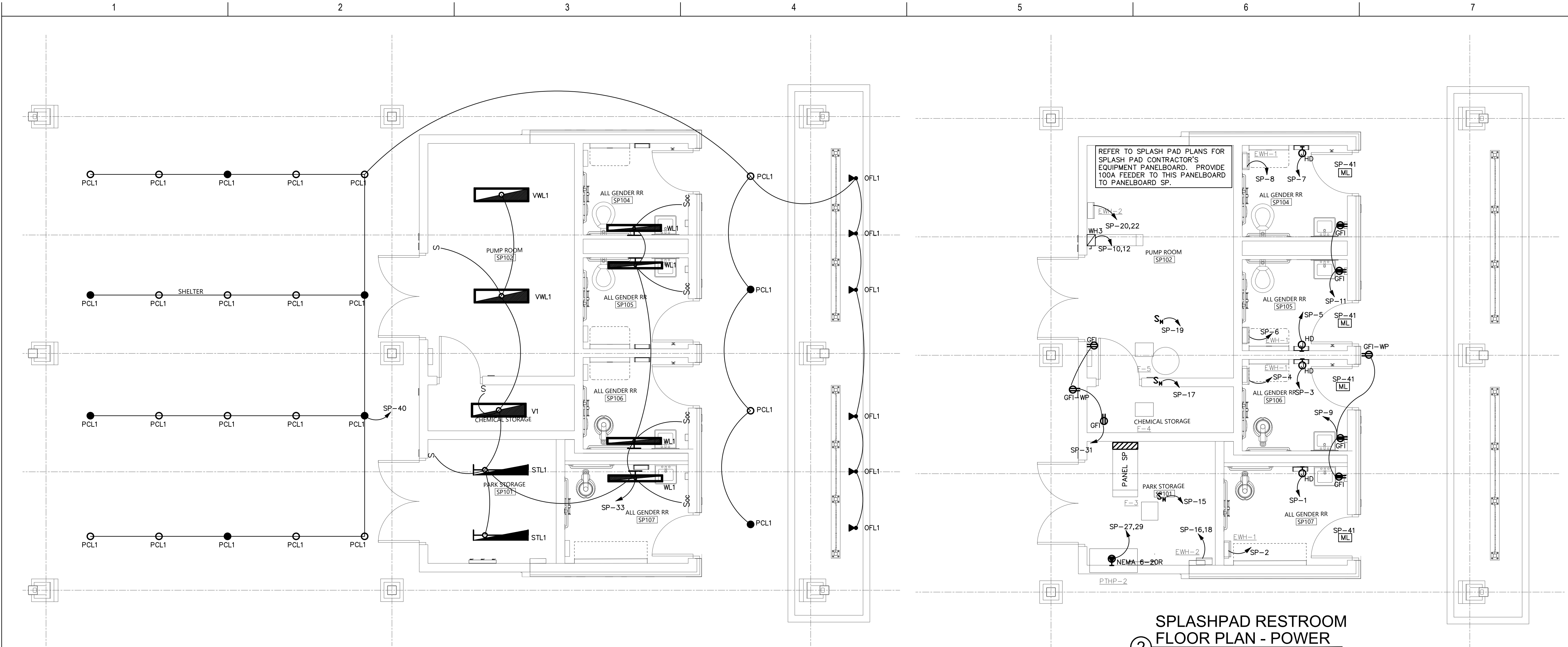
LIGHTING GENERAL NOTES:
1. PROVIDE REMOTE 90MIN EMERGENCY DRIVER, SIZED FOR LOAD,
FOR "PCL1" FIXTURES THAT ARE SHOWN AS EMERGENCY FIXTURES
REMOTE DRIVER SHOULD BE IN BACK OF HOUSE AREA.



**PICKLEBALL RESTROOM
FLOOR PLAN - POWER**
② 1/4" = 1'-0"

POWER GENERAL NOTES:
1. ALL CONDUITS ARE TO BE RAN INSIDE THE MASONRY WALLS WITH
RECESSED JUNCTION BOXES.



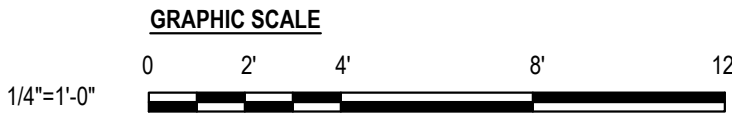


1 SPLASHPAD RESTROOM
FLOOR PLAN - LIGHTING
1/4" = 1'-0"

2 SPLASHPAD RESTROOM
FLOOR PLAN - POWER
1/4" = 1'-0"

LIGHTING GENERAL NOTES:
1. PROVIDE REMOTE 90MIN EMERGENCY DRIVER, SIZED FOR LOAD,
FOR "PCL1" FIXTURES THAT ARE SHOWN AS EMERGENCY FIXTURES
REMOTE DRIVER SHOULD BE IN BACK OF HOUSE AREA.

POWER GENERAL NOTES:
1. ALL CONDUITS ARE TO BE RAN INSIDE THE MASONRY WALLS WITH
RECESSED JUNCTION BOXES.



ISSUANCE SCHEDULE	
NUMBER	DATE DESCRIPTION

CITY OF CONCORD
J.E. "JIM" RAMSEUR PARK
PARKS & RECREATION DEPARTMENT
MAINTENANCE BUILDING
1252 COX MILL ROAD
CONCORD, NC 28027

PROJECT NO: 081197
DATE ISSUED: 06/15/2023
DESIGNED BY: BLM
DRAWN BY: BLM
CHECKED BY: JH

SHEET NAME:
ELECTRICAL
FLOOR PLAN

SHEET NO:
E-121-SP

ISSUANCE SCHEDULE	
NUMBER	DESCRIPTION

CITY OF CONCORD
J.E. "JIM" RAMSEUR PARK
PARKS & RECREATION DEPARTMENT
MAINTENANCE BUILDING

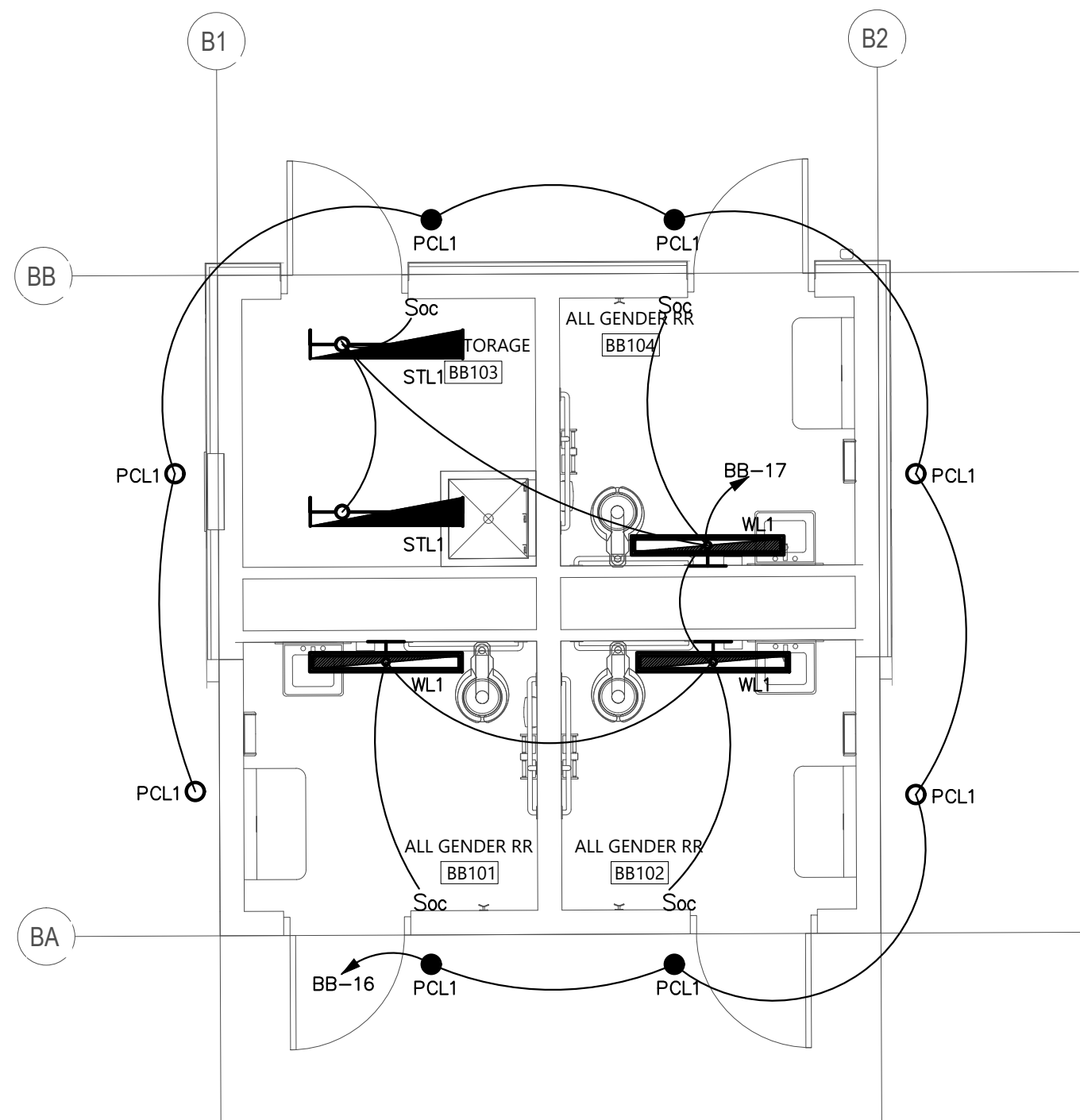
1252 COX MILL ROAD
CONCORD, NC 28027

PROJECT NO:	081197
DATE ISSUED:	06/15/2023
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DESIGNED BY:	BLM
DRAWN BY:	BLM
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SHEET NAME:
ELECTRICAL
FLOOR PLAN

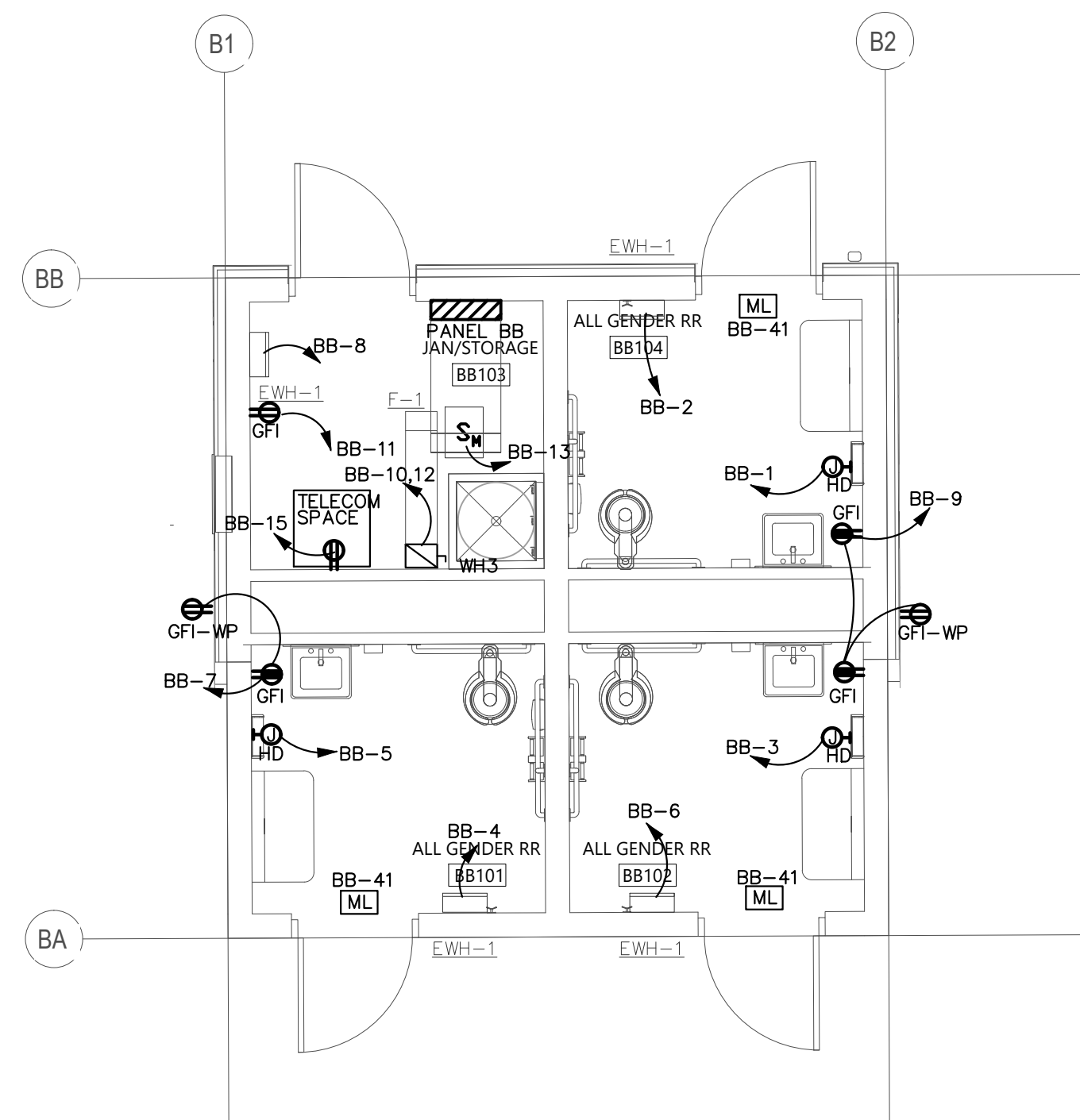
SHEET NO:

E-121-BB



**BASKETBALL RESTROOM
FLOOR PLAN - LIGHTING**

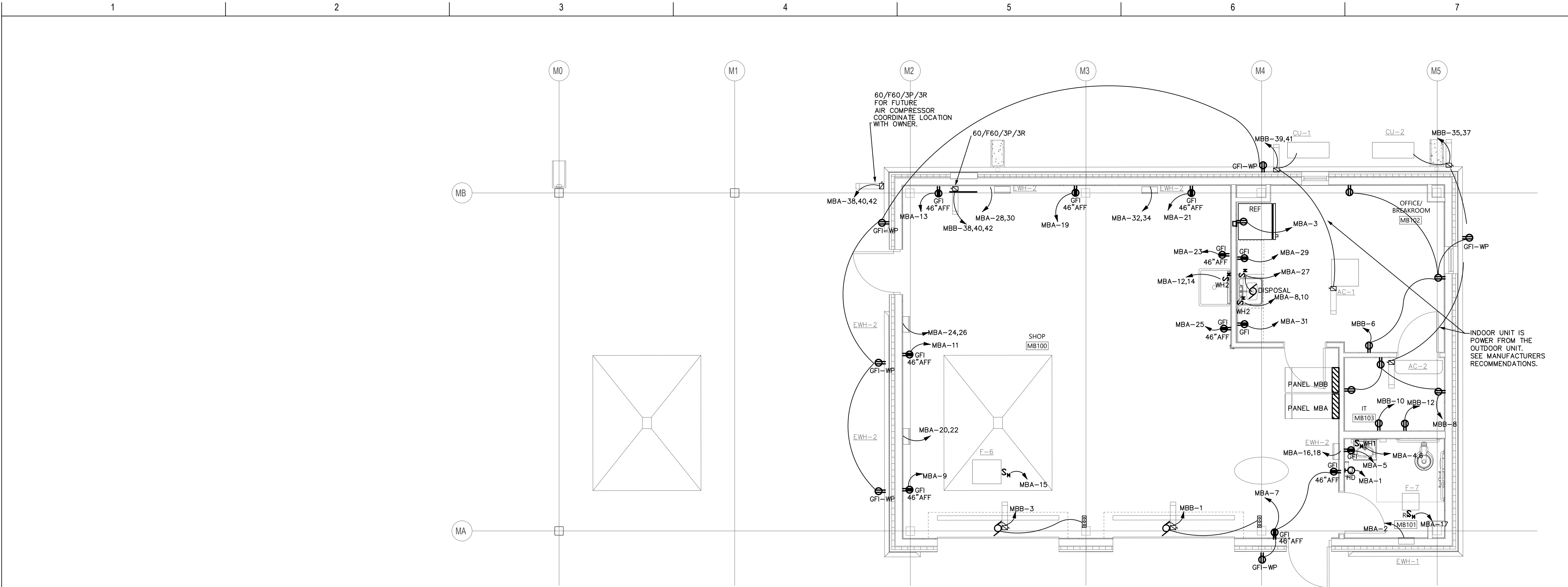
LIGHTING GENERAL NOTES:
1. PROVIDE REMOTE 90MIN EMERGENCY DRIVER, SIZED FOR LOAD,
FOR "PCL1" FIXTURES THAT ARE SHOWN AS EMERGENCY FIXTURES
REMOTE DRIVER SHOULD BE IN BACK OF HOUSE AREA.



**BASKETBALL RESTROOM
FLOOR PLAN - POWER**

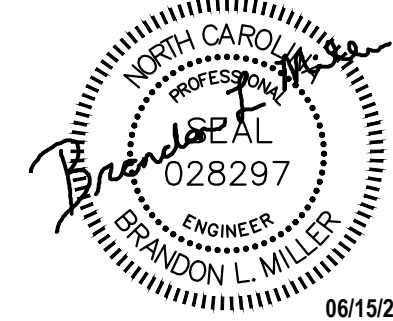
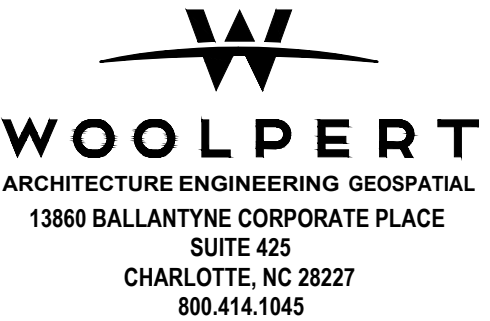
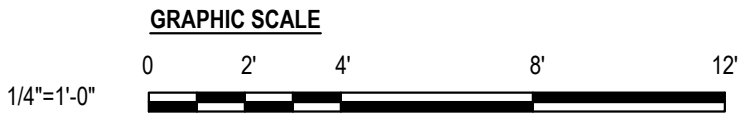
POWER GENERAL NOTES:
1. ALL CONDUITS ARE TO BE RAN INSIDE THE MASONRY WALLS WITH RECESSED JUNCTION BOXES.





② MAINTENANCE BUILDING
FLOOR PLAN - POWER
1/4" = 1'-0"

POWER GENERAL NOTES:
1. ALL CONDUITS ARE TO BE RAN INSIDE THE MASONRY WALLS WITH
RECESSED JUNCTION BOXES.



ISSUANCE SCHEDULE

DESCRIPTION
DATE
NUMBER

CITY OF CONCORD
J.E. "JIM" RAMSEUR PARK
PARKS & RECREATION DEPARTMENT
MAINTENANCE BUILDING
1252 COX MILL ROAD
CONCORD, NC 28027

PROJECT NO: 081197
DATE ISSUED: 06/15/2023
DESIGNED BY: BLM
DRAWN BY: BLM
CHECKED BY: JH

SHEET NAME:
ELECTRICAL
FLOOR PLAN -
POWER

SHEET NO:

E-121-MB

1

2

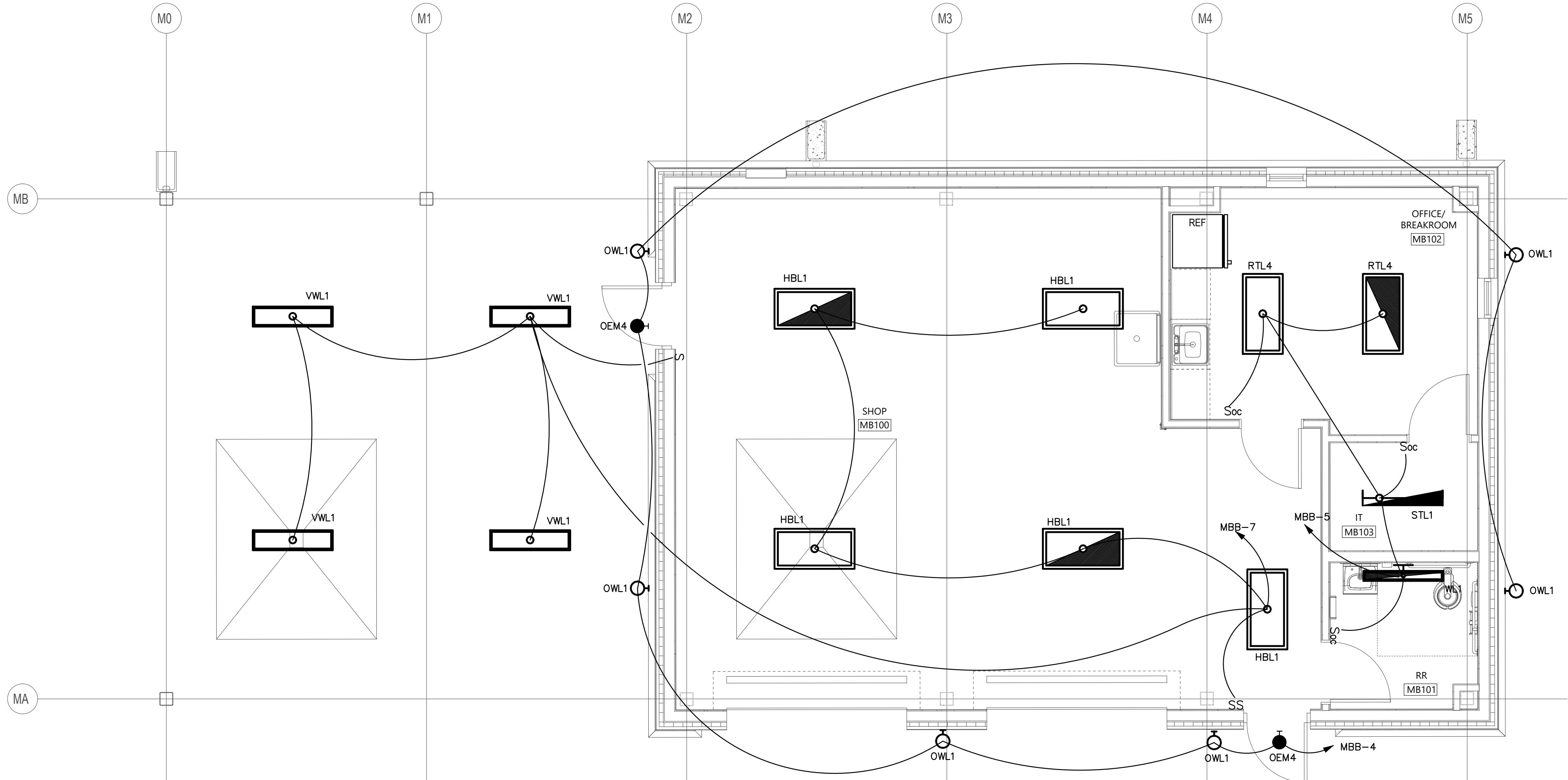
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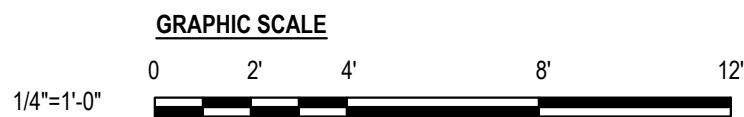
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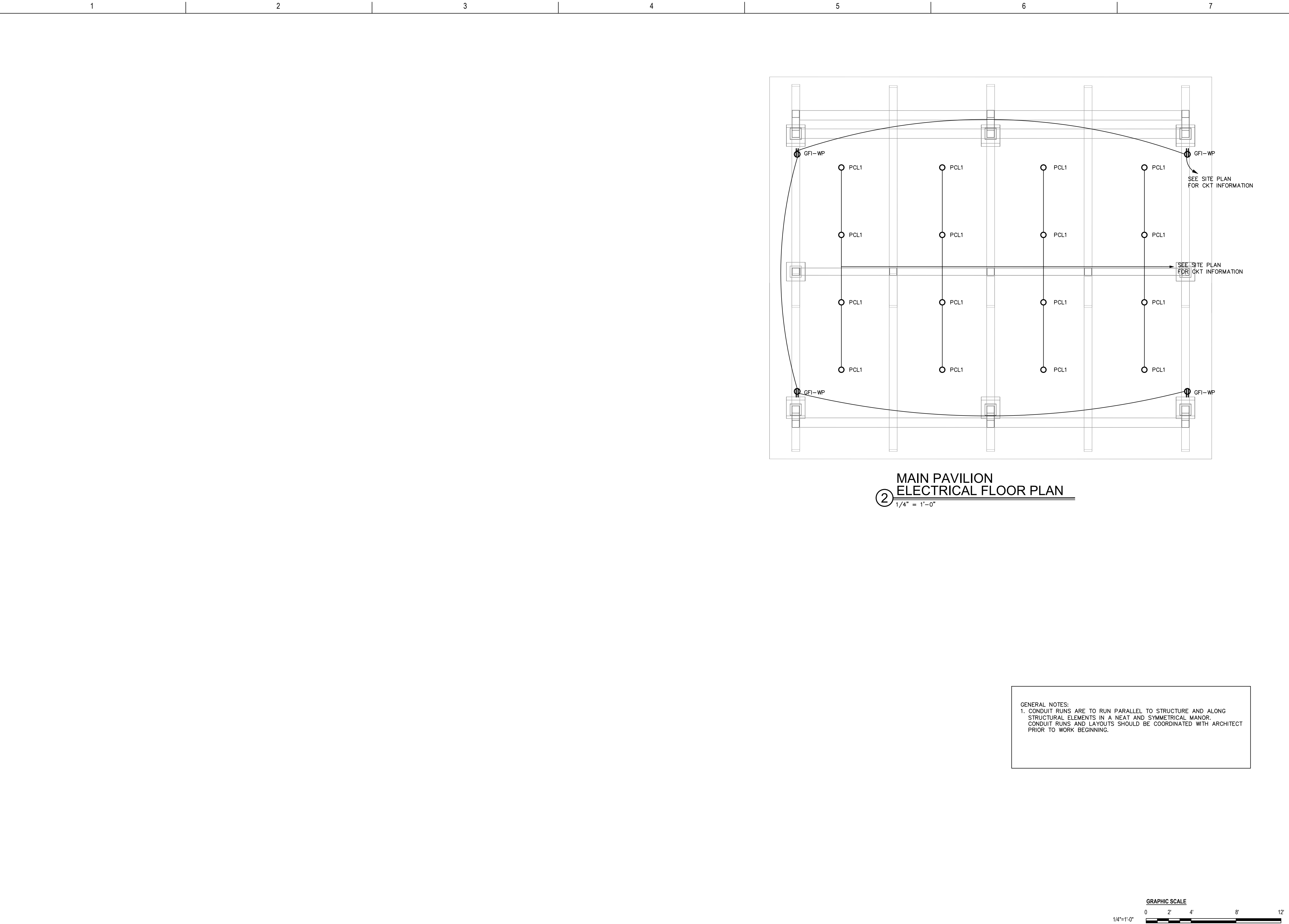
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① MAINTENANCE BUILDING
FLOOR PLAN - LIGHTING
1/4" = 1'-0"

LIGHTING GENERAL NOTES:
1. PROVIDE REMOTE 90MIN EMERGENCY DRIVER, SIZED FOR LOAD.
FOR "PCL1" FIXTURES THAT ARE SHOWN AS EMERGENCY FIXTURES
REMOTE DRIVER SHOULD BE IN BACK OF HOUSE AREA.





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North Carolina License Number: C-0314

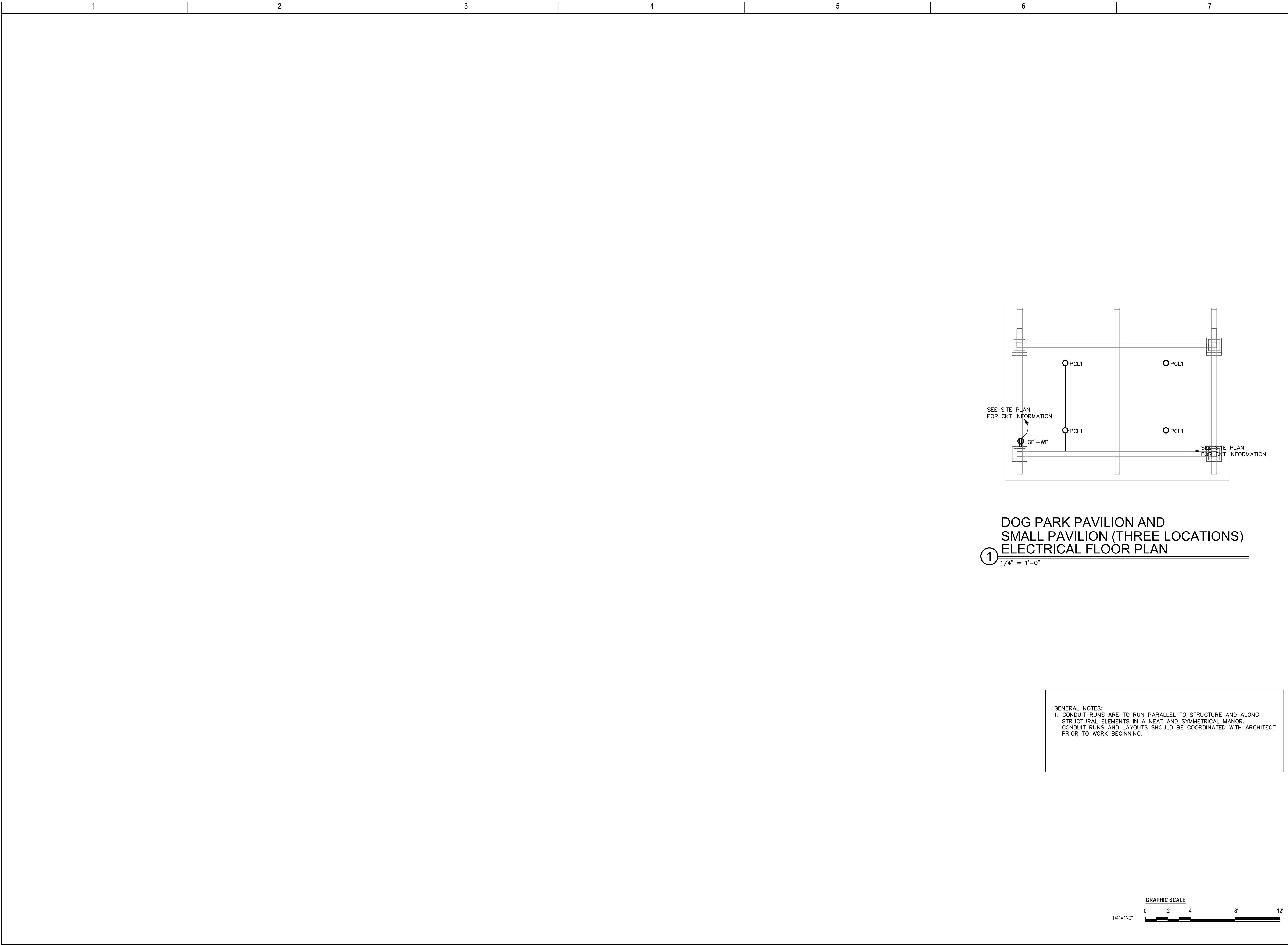
ISSUANCE SCHEDULE	
NUMBER	DATE DESCRIPTION
△	


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MAINTENANCE BUILDING
1252 COX MILL ROAD
CONCORD, NC 28027

PROJECT NO: 081197
DATE ISSUED: 06/15/2023
DESIGNED BY: BLM
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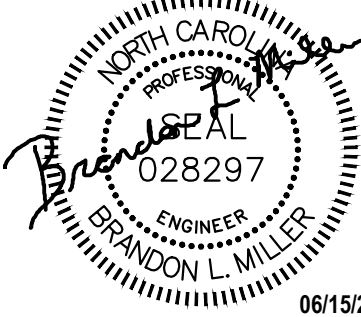
SHEET NAME:
**ELECTRICAL
FLOOR PLAN**

SHEET NO:
E-121-PV
20 OF 30
OPTIMA #: 22-0236





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North Carolina License Number: C-03114

ISSUANCE SCHEDULE	
NUMBER	DATE
△	

CITY OF CONCORD

J.E. "JIM" RAMSEUR PARK

PARKS & RECREATION DEPARTMENT
MAINTENANCE BUILDING

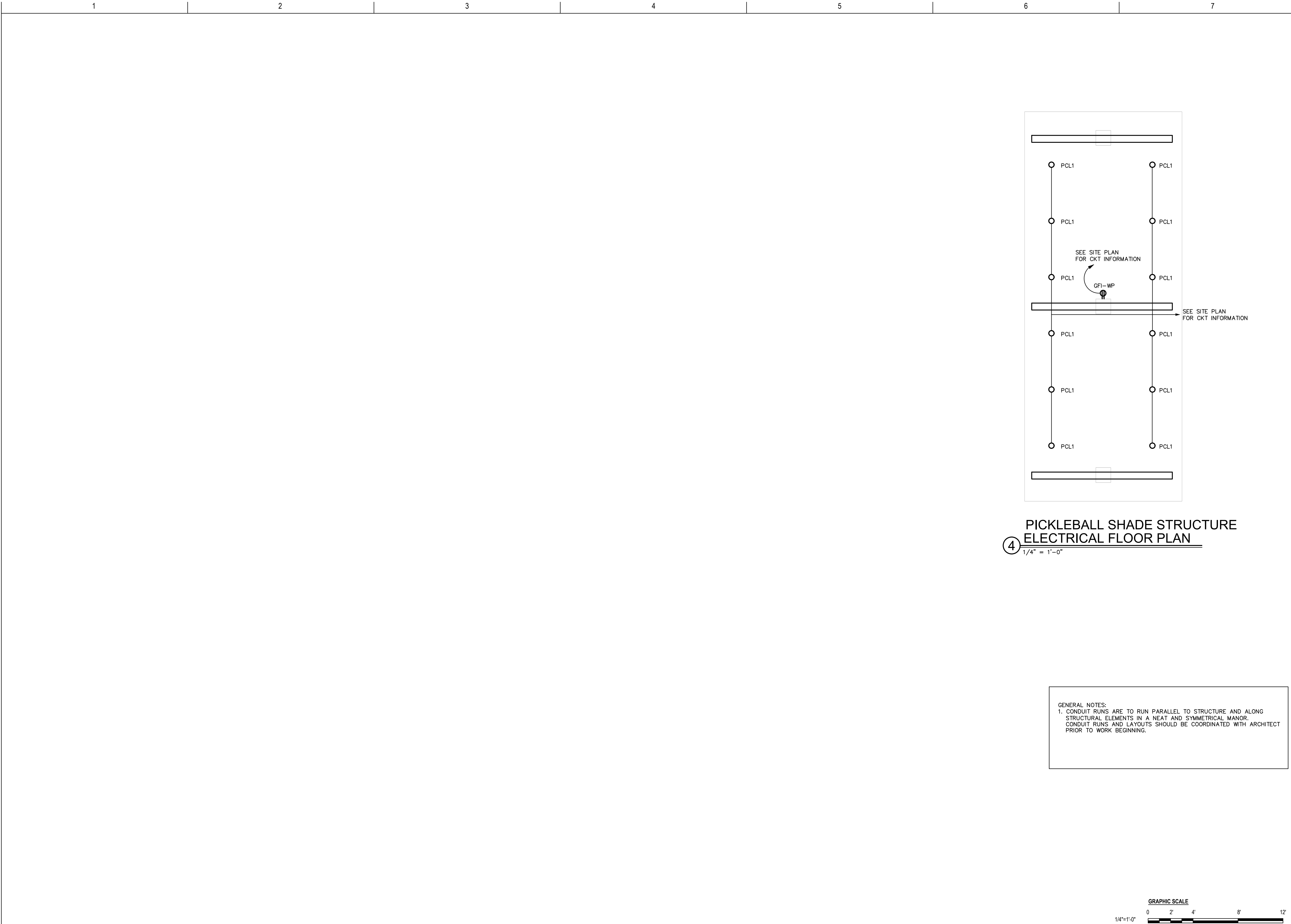
1252 COX MILL ROAD
CONCORD, NC 28027

PROJECT NO:	081197
DATE ISSUED:	06/15/2023
DESIGNED BY:	BLM
DRAWN BY:	BLM
CHECKED BY:	JH

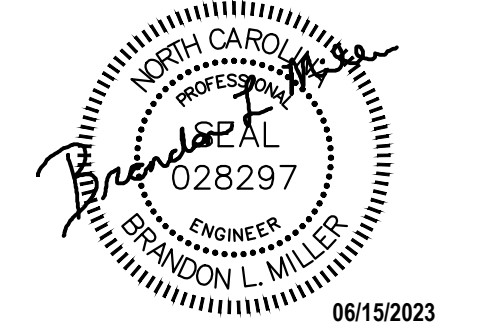
SHEET NAME:
**ELECTRICAL
FLOOR PLAN**

SHEET NO:

E-122-PV



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Phone: 704-335-1252 • www.optimaengineering.com
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ISSUANCE SCHEDULE	
NUMBER	DATE

CITY OF CONCORD
J.E. "JIM" RAMSEUR PARK
PARKS & RECREATION DEPARTMENT
MAINTENANCE BUILDING
1252 COX MILL ROAD
CONCORD, NC 28027

PROJECT NO: 081197
DATE ISSUED: 06/15/2023
DESIGNED BY: BLM
DRAWN BY: BLM
CHECKED BY: JH

SHEET NAME:
**ELECTRICAL
FLOOR PLAN**

SHEET NO:
E-121-SS

PHOTOCELL. EXTERIOR LIGHTING IS TO BE CONTROLLED VIA PHOTOCELL. EXTERIOR EMERGENCY LIGHTING SHOULD HAVE A CONSTANT HOT.

CONTACTOR	COIL VOLTAGE	POLES	CIRCUITS SWITCHED	ZONE DESCRIPTION
LC-MB	120	4	MBB-2,4	EXTERIOR LIGHTING ETC

NOTE: EMERGENCY FIXTURES SHALL HAVE "AVAILABLE" POWER AT ALL TIMES.

3

MAINTENANCE BUILDING

LIGHTING CONTACTOR DETAIL

NO SCALE

CEILING

FLOOR

SYMBOL: HD

NOTES:

1. PROVIDE HANDLE LOCK FOR LOCKOUT OF BREAKER FOR HAND DRYER CIRCUIT.
2. SEE PLANS FOR HAND DRYER QUANTITIES AND LOCATIONS.
3. ALL HAND DRYER HEIGHTS AND ASSOCIATED JUNCTION BOXES ARE TO BE COORDINATED WITH ARCHITECTURAL ELEVATIONS.

2

HAND DRYER LAYOUT DETAIL

NO SCALE

NOTES:

1. LOCATIONS WHERE TV MOUNT IS BACK TO BACK ON SAME WALL, AN OFFSET OF 8-12" WILL BE NEEDED FOR INSTALLATION OF JACK/RECEPTACLE.
2. DEVICES ABOVE COUNTER TOPS SHALL BE A MAXIMUM OF 48" TO TOP OF DEVICE.
3. LOW EXIT SIGN AS INDICATED ON PLANS. PER IBC 1011.2
4. DEVICES NEXT TO DOOR EXIT SHALL BE WITHIN 8" (MAXIMUM) TYPICAL OF DOOR UNLESS OBSTACLES SUCH AS SIDELITES, ETC.
5. DEVICES REQUIRED TO BE ADA ACCESSIBLE SHALL BE INSTALLED PER ANSI A117.1.
6. ALL METALLIC & NON-METALLIC, SWITCH AND RECEPTACLE BOXES INSTALLED IN FRAME WALLS SHALL INCLUDE APPROVED FIRESTOP PUTTY PADS APPLIED ON THE BACK AND ALL SIDES OF BOX NOT TOUCHING THE WOOD STUD.
7. IN THE CIRCULATION PATH, IF THERE ARE PENDANT LIGHT FIXTURES, ENSURE THEY ARE LOCATED 80" A.F.F. OR HIGHER UNLESS LOCATED ABOVE A FIXED ELEMENT. WALL MOUNTED FIXTURES LOCATED 27" AND 80" A.F.F. SHALL NOT EXTEND GREATER THAN 4" FROM WALL OR BASE OR HAVE FIXED PROTECTION AT 27" A.F.F. OR LOWER WHEN THESE ELEMENTS ARE LOCATED IN THE CIRCULATION PATH.

1

MOUNTING HEIGHTS OF DEVICES - ELEVATION

NO SCALE

PHOTOCELL. EXTERIOR LIGHTING IS TO BE CONTROLLED VIA PHOTOCELL. EXTERIOR EMERGENCY LIGHTING SHOULD HAVE A CONSTANT HOT.

CONTACTOR	COIL VOLTAGE	POLES	CIRCUITS SWITCHED	ZONE DESCRIPTION
LC-BB	120	4	BB-14,16	EXTERIOR LIGHTING ETC

NOTE: EMERGENCY FIXTURES SHALL HAVE "AVAILABLE" POWER AT ALL TIMES.

4

BASKETBALL RESTROOM BUILDING

LIGHTING CONTACTOR DETAIL

NO SCALE

PHOTOCELL. EXTERIOR LIGHTING IS TO BE CONTROLLED VIA PHOTOCELL. EXTERIOR EMERGENCY LIGHTING SHOULD HAVE A CONSTANT HOT.

CONTACTOR	COIL VOLTAGE	POLES	CIRCUITS SWITCHED	ZONE DESCRIPTION
LC-SP	120	8	SP-30,32,34,36,38,40	EXTERIOR LIGHTING ETC

NOTE: EMERGENCY FIXTURES SHALL HAVE "AVAILABLE" POWER AT ALL TIMES.

5

SPLASHPAD RESTROOM BUILDING

LIGHTING CONTACTOR DETAIL

NO SCALE

PHOTOCELL. EXTERIOR LIGHTING IS TO BE CONTROLLED VIA PHOTOCELL. EXTERIOR EMERGENCY LIGHTING SHOULD HAVE A CONSTANT HOT.

CONTACTOR	COIL VOLTAGE	POLES	CIRCUITS SWITCHED	ZONE DESCRIPTION
LC-PB	120	4	PB-24,26,28,30,32,34,36	EXTERIOR LIGHTING ETC

NOTE: EMERGENCY FIXTURES SHALL HAVE "AVAILABLE" POWER AT ALL TIMES.

6

PICKLEBALL RESTROOM BUILDING

LIGHTING CONTACTOR DETAIL

NO SCALE

PHOTOCELL. EXTERIOR LIGHTING IS TO BE CONTROLLED VIA PHOTOCELL. EXTERIOR EMERGENCY LIGHTING SHOULD HAVE A CONSTANT HOT.

CONTACTOR	COIL VOLTAGE	POLES	CIRCUITS SWITCHED	ZONE DESCRIPTION
LC-DP	120	4	DP-2,4	EXTERIOR LIGHTING ETC

NOTE: EMERGENCY FIXTURES SHALL HAVE "AVAILABLE" POWER AT ALL TIMES.

7

DOG PARK BUILDING

LIGHTING CONTACTOR DETAIL

NO SCALE

WOOLPERT
ARCHITECTURE ENGINEERING GEOSPATIAL
13880 BALLANTYNE CORPORATE PLACE
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CHARLOTTE, NC 28227
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06/15/2023

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1927 Fayetteville St., Suite 300, Raleigh, NC 27601
Phone: 704.338.1022 • www.optimaengineering.com
North Carolina License Number: C-0014

CITY OF CONCORD

J.E. "JIM" RAMSEUR PARK

PARKS & RECREATION DEPARTMENT

MAINTENANCE BUILDING

1262 COX MILL ROAD

CONCORD, NC 28027

ISSUANCE SCHEDULE

DESCRIPTION

DATE

NUMBER

B

C

D

E

PROJECT NO: 081197

DATE ISSUED: 06/15/2023

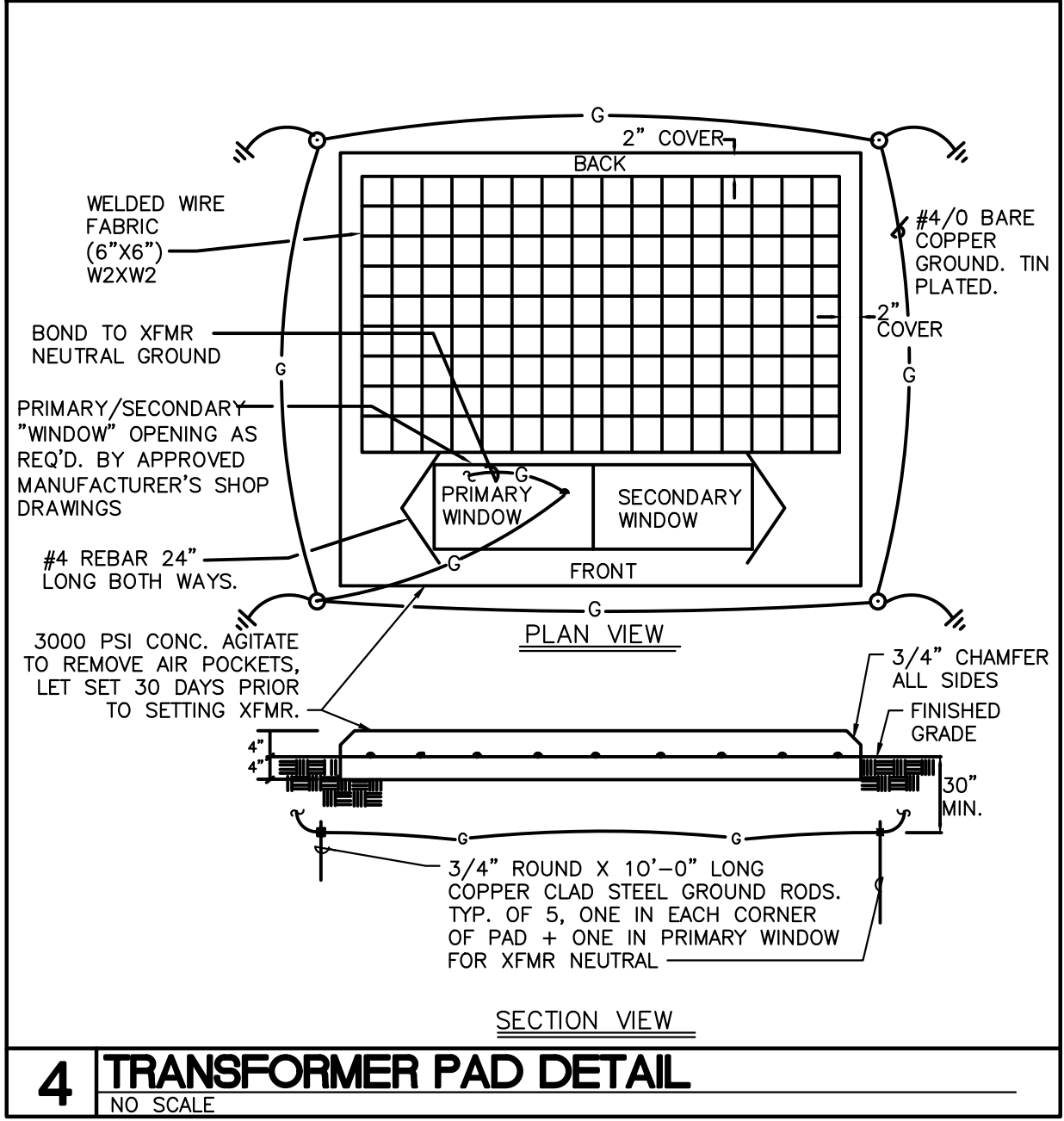
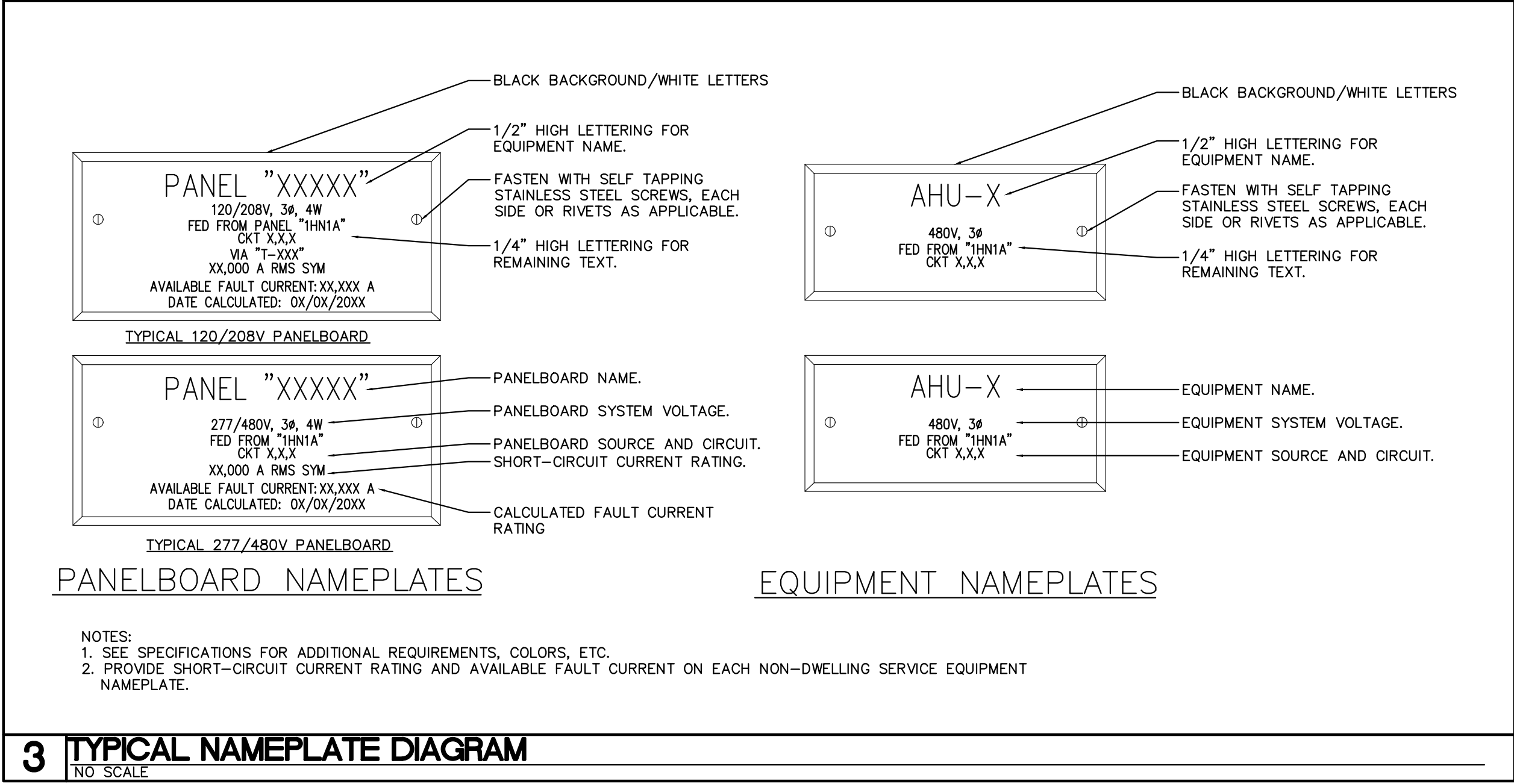
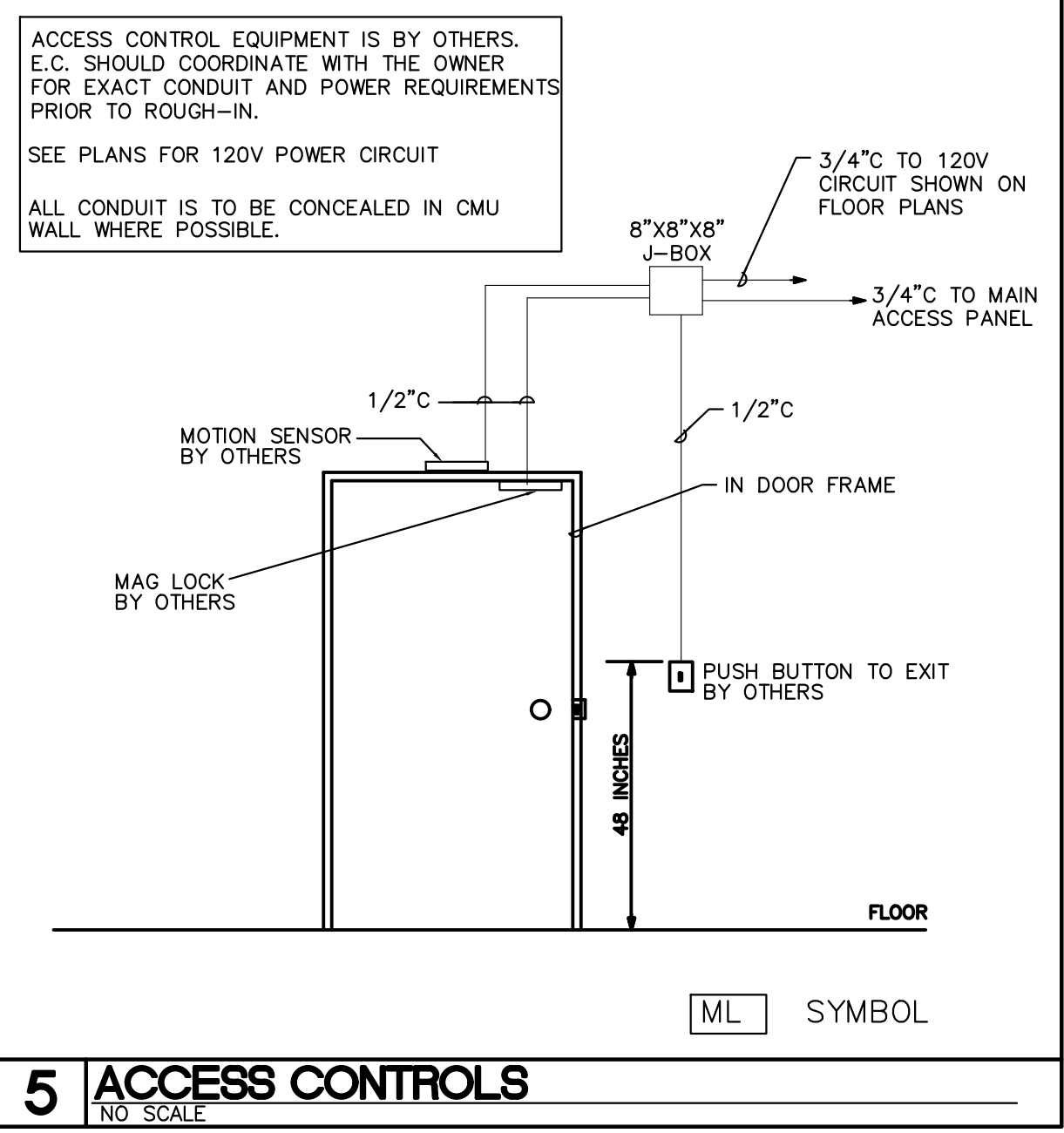
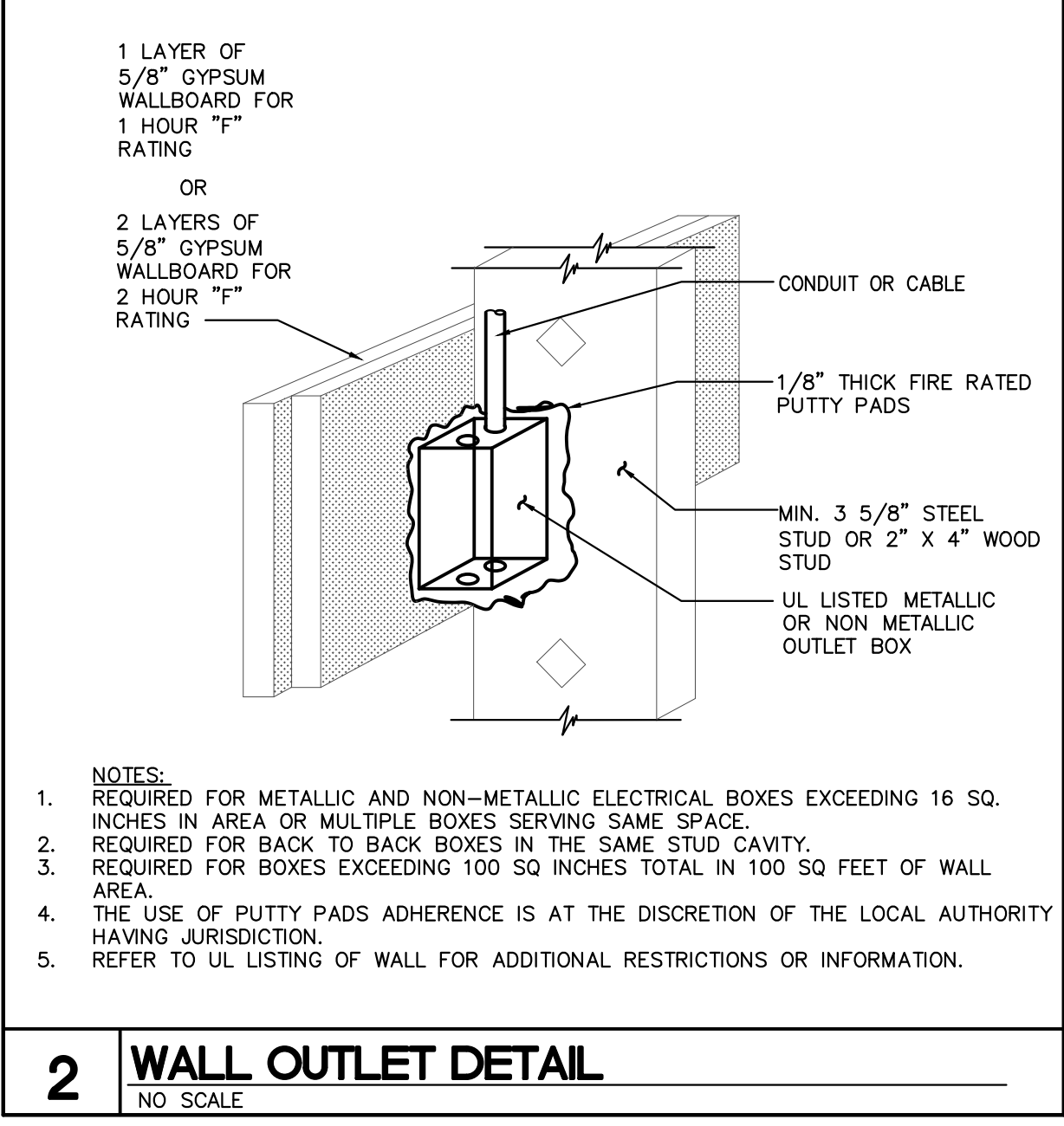
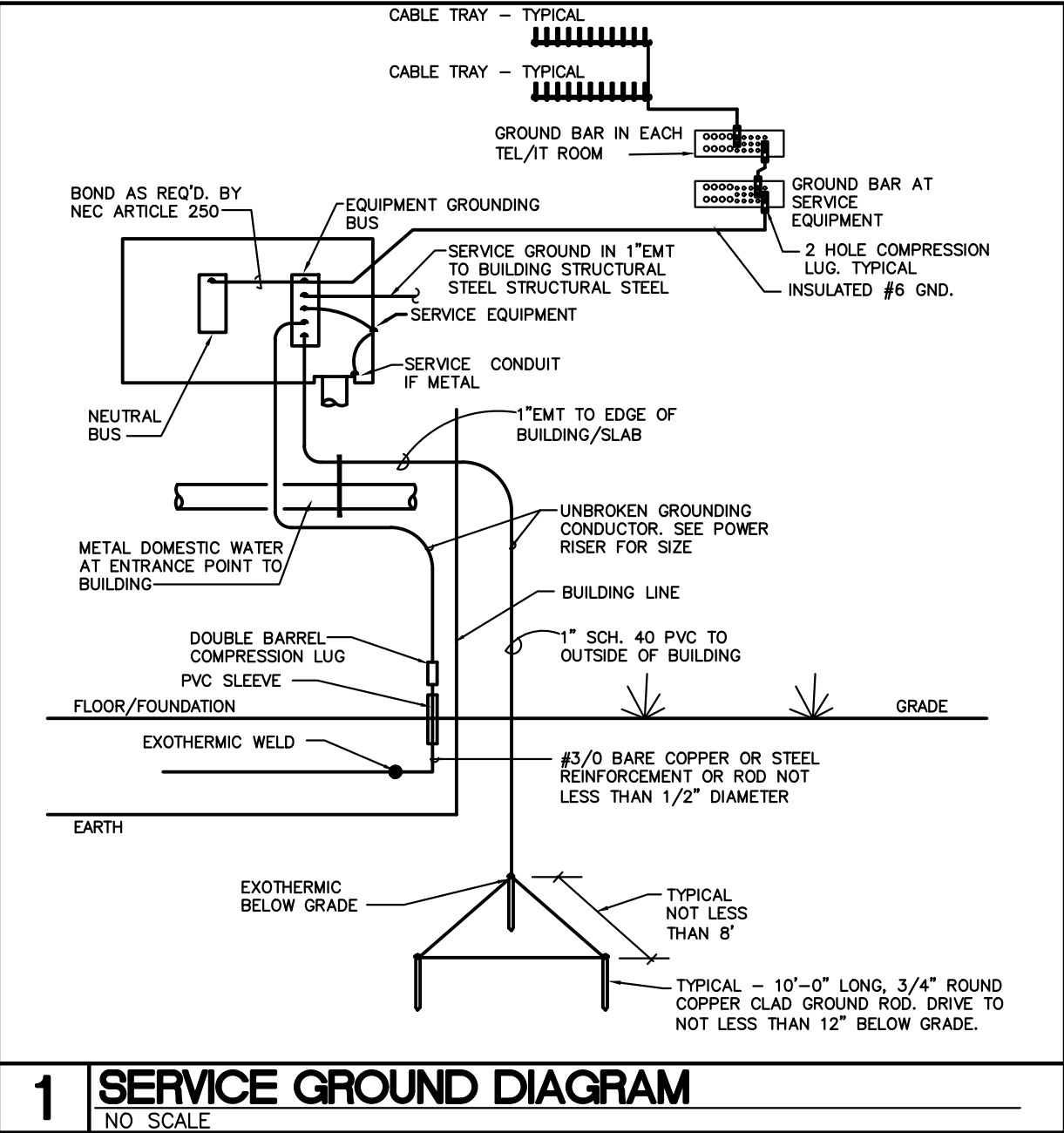
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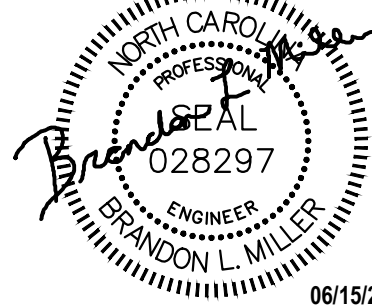
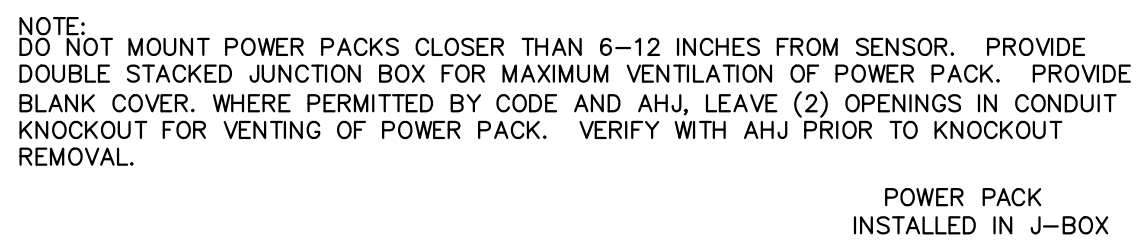
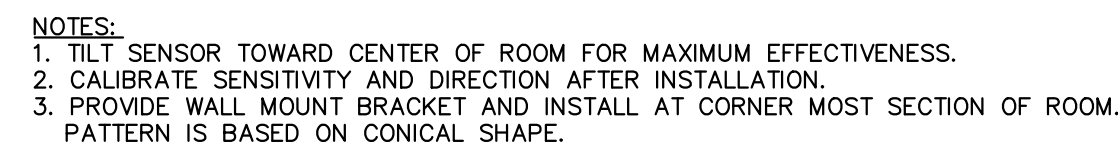
DRAWN BY: BLM

CHECKED BY: JH

SHEET NAME: ELECTRICAL DETAILS

SHEET NO: E-501





SSUANCE SCHEDULE	DESCRIPTION
------------------	-------------

DATE _____

NUMBER

2

C

2

VO

—

<u>DATE</u>	<u>DESCRIPTION</u>	<u>AMOUNT</u>
01-01-2020	Initial deposit	1000.00
02-01-2020	Withdrawal	-200.00
03-01-2020	Deposit	150.00
04-01-2020	Withdrawal	-75.00
05-01-2020	Deposit	300.00
06-01-2020	Withdrawal	-120.00
07-01-2020	Deposit	80.00
08-01-2020	Withdrawal	-40.00
09-01-2020	Deposit	250.00
10-01-2020	Withdrawal	-90.00
11-01-2020	Deposit	180.00
12-01-2020	Withdrawal	-60.00
13-01-2020	Deposit	110.00
14-01-2020	Withdrawal	-50.00
15-01-2020	Deposit	220.00
16-01-2020	Withdrawal	-80.00
17-01-2020	Deposit	160.00
18-01-2020	Withdrawal	-70.00
19-01-2020	Deposit	130.00
20-01-2020	Withdrawal	-60.00
21-01-2020	Deposit	190.00
22-01-2020	Withdrawal	-80.00
23-01-2020	Deposit	140.00
24-01-2020	Withdrawal	-70.00
25-01-2020	Deposit	210.00
26-01-2020	Withdrawal	-90.00
27-01-2020	Deposit	170.00
28-01-2020	Withdrawal	-80.00
29-01-2020	Deposit	150.00
30-01-2020	Withdrawal	-70.00
31-01-2020	Deposit	230.00
32-01-2020	Withdrawal	-100.00
33-01-2020	Deposit	180.00
34-01-2020	Withdrawal	-90.00
35-01-2020	Deposit	160.00
36-01-2020	Withdrawal	-80.00
37-01-2020	Deposit	140.00
38-01-2020	Withdrawal	-70.00
39-01-2020	Deposit	200.00
40-01-2020	Withdrawal	-90.00
41-01-2020	Deposit	170.00
42-01-2020	Withdrawal	-80.00
43-01-2020	Deposit	150.00
44-01-2020	Withdrawal	-70.00
45-01-2020	Deposit	220.00
46-01-2020	Withdrawal	-100.00
47-01-2020	Deposit	180.00
48-01-2020	Withdrawal	-90.00
49-01-2020	Deposit	160.00
50-01-2020	Withdrawal	-80.00
51-01-2020	Deposit	140.00
52-01-2020	Withdrawal	-70.00
53-01-2020	Deposit	210.00
54-01-2020	Withdrawal	-90.00
55-01-2020	Deposit	170.00
56-01-2020	Withdrawal	-80.00
57-01-2020	Deposit	150.00
58-01-2020	Withdrawal	-70.00
59-01-2020	Deposit	230.00
60-01-2020	Withdrawal	-100.00
61-01-2020	Deposit	180.00
62-01-2020	Withdrawal	-90.00
63-01-2020	Deposit	160.00
64-01-2020	Withdrawal	-80.00
65-01-2020	Deposit	140.00
66-01-2020	Withdrawal	-70.00
67-01-2020	Deposit	200.00
68-01-2020	Withdrawal	-90.00
69-01-2020	Deposit	170.00
70-01-2020	Withdrawal	-80.00
71-01-2020	Deposit	150.00
72-01-2020	Withdrawal	-70.00
73-01-2020	Deposit	220.00
74-01-2020	Withdrawal	-100.00
75-01-2020	Deposit	180.00
76-01-2020	Withdrawal	-90.00
77-01-2020	Deposit	160.00
78-01-2020	Withdrawal	-80.00
79-01-2020	Deposit	140.00
80-01-2020	Withdrawal	-70.00
81-01-2020	Deposit	210.00
82-01-2020	Withdrawal	-90.00
83-01-2020	Deposit	170.00
84-01-2020	Withdrawal	-80.00
85-01-2020	Deposit	150.00
86-01-2020	Withdrawal	-70.00
87-01-2020	Deposit	230.00
88-01-2020	Withdrawal	-100.00
89-01-2020	Deposit	180.00
90-01-2020	Withdrawal	-90.00
91-01-2020	Deposit	160.00
92-01-2020	Withdrawal	-80.00
93-01-2020	Deposit	140.00
94-01-2020	Withdrawal	-70.00
95-01-2020	Deposit	200.00
96-01-2020	Withdrawal	-90.00

DRA
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SHE

J.E. "JIM" RAMSEUR PARK
PARKS & RECREATION DEPARTMENT
MAINTENANCE BUILDING

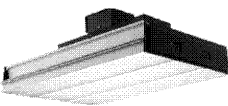
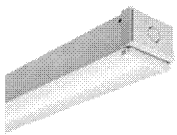



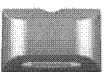

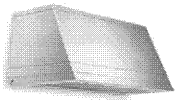
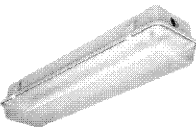
1252 COX MILL ROAD
CONCORD, NC 28027


PROJECT NO:	081197
DATE ISSUED:	06/15/2023
<hr/>	
DESIGNED BY:	BLM
DRAWN BY:	BLM
CHECKED BY:	JH

SHEET NAME:
ELECTRICAL
DETAILS

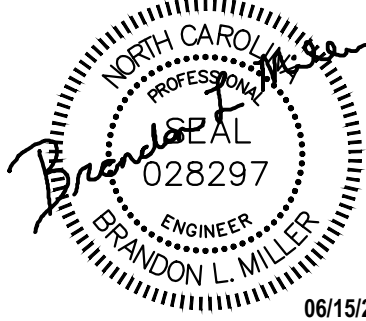
SHEET NO:

E-503

LIGHT FIXTURE SCHEDULE										
TYPE	DESCRIPTION	MINIMUM LUMENS	CCT	TOTAL FIXTURE WATTAGE	BALLAST/DRIVER	VOLTAGE	MANUFACTURER	MODEL	REMARKS	EXAMPLE
HBL1	LED LOW BAY (LOW PROFILE)	18,000	3500K	132W	INTEGRAL LED DRIVER	UNIV	LITHONIA DAY-BRITE COLUMBIA ORION METALUX	IBL FBY PEL4 HBHC2-SERIES 2 LHB	SURFACE MOUNT BRACKET DIFFUSING ACRYLIC WIRE GUARD DLC LISTED	
STL1	4 FT. LED STRIP	5,000	3500K	42W	INTEGRAL LED DRIVER (STANDARD 0-10V DIMMING)	UNIV	LITHONIA DAY-BRITE COLUMBIA ELITE METALUX	CLX LED FSS LCL 4-OC1 5NLED	PROVIDE CHAIN FOR PENDANT MOUNTING PROVIDE WIRE GUARD LENSED DLC LISTED	
V1	LED WRAPAROUND	-	3500K	26W	INTEGRAL LED DRIVER		LITHONIA WAC LIGHTING COOPER	FML4W	3000 LUMENS	
VLT1x4	1'X4' VOLUMETRIC LED TROFFER	4,000	3500K	27W	INTEGRAL LED DRIVER (STANDARD 0-10V DIMMING)	UNIV	LITHONIA DAY-BRITE COLUMBIA ELITE METALUX	VLT4 1EVG LCAT14 14OVHP 14CZ	DLC LISTED	
ODL1	POLE TOP LED AREA LIGHT	-	3500K	-	INTEGRAL LED DRIVER	UNIV	GARDCO LITHONIA KIM LIGHTING NLS LIGHTING INVUE	SHOULD MATCH DUKE ENERGY ENTERPRISE FIXTURE WITH BASE TYPE E.	ROUND POLE TOP TYPE 5 PHOTOMETRY. THIS FIXTURE, POLE AND BASE SHOULD MATCH WHAT THE UTILITY IS PROVIDING FOR THE PEDESTRIAN HEIGHT POLE PROVIDED IN THE PARKING LOT.	
OEM4	 INTERIOR/EXTERIOR EMERGENCY EGRESS (LOW PROFILE)	-	3500K	17W	INTEGRAL LED DRIVER	UNIV	ISOLITE LIGHTALARMS DUAL-LITE MJLE	OWL INF PG MERU	UL LISTED W/ET LOCATION LS CODE 101 COMPLIANT PROVIDE 90 MIN. REMOTE BATT.	
OFL1	DIRECTIONAL FLOODLIGHT	-	3500K	-	INTEGRAL LED DRIVER	UNIV	HADCO HYDREL VISTA PROFESSIONAL ACDC LUMARK	B9-D TPS1 1045Y PLAZA 35 TCRS	YOKE MOUNT	
OWL1	WALL PACK TRAPEZOID LED	-	3500K	-	INTEGRAL LED DRIVERS	UNIV	GARDCO LITHONIA HUBBELL BROWNLEE MCGRAW-EDISON	101L WST LED TRP1 7039-C49 IST	COLOR CHOSEN BY ARCHITECT LS 101 EMERGENCY COMPLIANT 7"HX16"WX9"D 3900 LUMENS (WIDE ANGLE)	
PCL1	6" SURFACE LED DOWNLIGHT		3500K		INTEGRAL LED DRIVERS	UNIV	COOPER	SLD612935	TUSCAN BRONZE TRIM. 1-1/2" ROUND JUNCTION BOX. SURFACE MOUNTED ADAPTER 1200 LUMENS.	
WL1	INDIRECT/DIRECT LED WALL LINEAR	575/FT DOWN 470/FT UP	3500K	7.8W/FT	INTEGRAL LED DRIVER (STANDARD 0-10V DIMMING)	UNIV	CORONET	LS4 LED UPDN	UP - LOW DIRECT - HIGH	
VWL1	VAPORTITE WALL MOUNTED LED STRIP	5,000	5000K	39W	INTEGRAL LED DRIVER	UNIV	METALUX APPROVED EQUAL APPROVED EQUAL	ZVT2-LDS APPROVED EQUAL APPROVED EQUAL		
LIGHTING FIXTURE SCHEDULE NOTES: 1. ALL FIXTURES SHALL BE LED UNLESS OTHERWISE SPECIFIED. COLOR TEMPERATURE SHALL BE 3500K UNLESS OTHERWISE NOTED. 2. LED DRIVERS SHALL BE PROVIDED FROM PER MANUFACTURER RECOMMENDATION. AS PART OF THIS RECOMMENDATION COORDINATE THE REQUIRED WAVE OUTPUT SO THEY ARE COMPATIBLE. THIS INCLUDES EMERGENCY DRIVERS. 3. SEE ARCHITECTURAL REFLECTED CEILING PLAN FOR EXACT FIXTURE LOCATIONS. 4. FIXTURES IN FIRE RATED CEILING SHALL BE PROVIDED WITH FIRE RATED TENTS AS REQUIRED. 5. SUSPEND ALL FOUR CORNERS WITH WIRE TO STRUCTURE. DO NOT ALLOW GRID ALONE TO SUPPORT FIXTURE. 6. FIXTURES WITH EMERGENCY BATTERY PACKS SHALL BE SUPPLIED WITH 1100 LUMEN INVERTERS. 7. PROVIDE INTEGRAL SURGE PROTECTION ON ALL EXTERIOR LED DRIVER FIXTURE TYPES. 8. DIMMING OF FIXTURES SHALL BE WITH A SWITCH AS RECOMMENDED BY THE DRIVER MANUFACTURER. 9. THE CONTRACTOR SHALL VERIFY THE LEAD TIME OF ALL PRODUCTS SPECIFIED IN THIS SCHEDULE AT THE TIME OF PACKAGE QUOTE. 10. DURING THE BID PROCESS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER OF ANY DELIVERY/SCHEDULING ISSUES. 11. NO SUBSTITUTIONS WILL BE ALLOWED DUE TO LACK OF COORDINATION OF DELIVERY DATES AND CONSTRUCTION SCHEDULE AFTER BID. 12. ALL EXPEDITED EXPENSES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. 13. FIXTURES TO BE INSTALLED IN CEILINGS, INDICATED ON ARCHITECTURAL PLANS AS HAVING INSULATION IN CONTACT WITH CEILING SURFACE, SHALL BE IC RATED BY MANUFACTURER. 14. LED DRIVERS LOCATED IN UNCONDITIONED SPACES SHALL BE RATED FOR 90 DEGREES F. 15. PROVIDE 90 MINUTE EMERGENCY BATTERY BACK UP. EMERGENCY BACK UP SHALL BE BASED ON TYPE OF FIXTURE, LED DRIVER, BALLAST, ETC. EMERGENCY BACKUP SHALL BE DUAL INPUT FOR BOTH SWITCHING AND CHARGING. PROVIDE UNSWITCHED "HOT" FROM LOCAL CIRCUIT UNLESS OTHERWISE INDICATED ON PLANS. PROVIDE WITH INDICATOR LIGHT. INSTALL LED INDICATOR ON LIGHT FIXTURE UNLESS DECORATIVE. DECORATIVE FIXTURES SHALL HAVE INDICATOR PLACED AT LOCAL CEILING. BODINE, PHILLIPS, POWER SENTRY OR EQUAL. 16. PROVIDE EMERGENCY RELAY BASED ON MINIMUM BODINE GLCD-20B OR EQUAL. SEE PLANS FOR INTENT. PROVIDE EMERGENCY GENERATOR/INVERTER CIRCUIT AND SWITCH LEG NORMAL CIRCUIT. SEE DETAIL. 17. POLES PROVIDED FOR LED FIXTURES SHALL BE METAL, REGARDLESS OF SPECIFICATION FOR GROUNDING PURPOSES.										



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06/15/2023



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100 Fayetteville St., Suite 300, Raleigh, NC 27601
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North Carolina License Number: C10514

ISSUANCE SCHEDULE
DESCRIPTION

NUMBER
DATE

CITY OF CONCORD
J.E. "JIM" RAMSEUR PARK
PARKS & RECREATION DEPARTMENT
MAINTENANCE BUILDING
1262 COX MILL ROAD
CONCORD, NC 28027

PROJECT NO: 081197
DATE ISSUED: 06/15/2023
DESIGNED BY: BLM
DRAWN BY: BLM
CHECKED BY: JH

SHEET NAME:
**ELECTRICAL
DETAILS**

SHEET NO:
E-601

PANEL: MBA														SQD MFR	
VOLTAGE:		120 / 208		3 PHASE		4 WIRE		NF TYPE		MOUNTING:		SURFACE		42,000 A/C	
						MAIN		CIRCUIT BREAKER							
LOAD KVA	LOAD SERVED	WIRE	TRIP	FRAME (Note 1)	CKT NO	A	B	C	CKT NO	FRAME (Note 1)	TRIP	WIRE	LOAD SERVED	LOAD KVA	
1.50	HAND DRYERS (NOTE 8)	12	20		1				2		20	12	EWH-1	1.50	
1.00	RECEPTACLES (GFI BREAKER)	12	20		3				4		25	10	WH-1	2.25	
0.54	RECEPTACLES	12	20		5				6		10			2.25	
0.54	RECEPTACLES	12	20		7				8		50	6	WH-2	4.20	
0.54	RECEPTACLES	12	20		9				10		6			4.20	
0.54	RECEPTACLES	12	20		11				12		50	6	WH-2	4.20	
0.54	RECEPTACLES	12	20		13				14		6			4.20	
1.00	FAN F-6	12	20		15				16		15	12	EWH-2	1.20	
1.00	FAN F-7	12	20		17				18		12			1.20	
0.54	RECEPTACLES	12	20		19				20		15	12	EWH-2	1.20	
0.54	RECEPTACLES	12	20		21				22		12			1.20	
0.54	RECEPTACLES	12	20		23				24		15	12	EWH-2	1.20	
0.54	RECEPTACLES	12	20		25				26		12			1.20	
0.80	DISPOSAL	12	20		27				28		15	12	EWH-2	1.20	
0.36	RECEPTACLES	12	20		29				30		12			1.20	
0.36	RECEPTACLES	12	20		31				32		15	12	EWH-2	1.20	
0.00	SPACE ONLY				33				34		12			1.20	
0.00	SPACE ONLY				35				36				SPACE ONLY	0.00	
10.03	PANEL MBB		200		37				38			6		5.00	
9.50						39				40		60		5.00	
10.50											6		5.00		
40.9					41				42		6			5.00	
SUB-TOTALS															49.8
LOAD (KVA)	Conn.	D.F.	Dmd	TOTAL LOAD PER PHASE:		NOTES:									
CONNECTED						1. BREAKER FRAME SHALL BE AS REQ'D PER PANEL A/C RATING.									
LIGHTS	2.0	1.25	2.5	A = 32.6 KVA 271.0 A		2. SHALL BE FULLY RATED - SERIES RATINGS NOT ALLOWED.									
HEATING	13.5	1.00	13.5	B = 29.6 KVA 246.7 A		3. ALL BUSSING, INCL. GND. AND NEUTRAL, SHALL BE COPPER.									
COOLING	0.0	1.00	0.0	C = 28.5 KVA 237.6 A		4. ALL INCOMING PANEL & BRKR LUGS SHALL MATCH FEEDERS.									
VENTILATION	2.0	1.00	2.0	DEMAND		5. PROVIDE HINGED DOOR-IN-DOOR WITH OUTER DOOR LOCK.									
MOTORS	0.0	1.00	0.0	A = 32.8 KVA 273.1 A		6. PROVIDE MECHANICAL DIRECTORY FRAME.									
KITCHEN	0.0	0.65	0.0	B = 29.8 KVA 247.8 A		7. GFI BREAKER									
REC. (1st 10kVA)	9.6	1.00	9.6	C = 28.7 KVA 238.6 A		8. BREAKER IS TO BE LOCKABLE IN OFF POSITION.									
REC. (>10kVA)	0.0	0.50	0.0	DEMAND @ 125%		9. THIS PANEL SHALL BE U.L. LISTED FOR USE AS S.E. EQUIP.									
WATER HEATER	0.0	1.00	0.0	A = 41.0 KVA 341.4 A											
MISC.	36.3	1.00	36.3	B = 37.2 KVA 309.7 A											
SPARE	27.3	1.00	27.3	C = 35.8 KVA 298.3 A											
TOTAL (KVA)	90.7		91.2												

PANEL: DP														SQD MFR		
VOLTAGE: 120 / 208				3 PHASE				4 WIRE				NF TYPE				
MOUNTING: SURFACE				100 AMP				MAIN CIRCUIT BREAKER				42,000 AIC				
LOAD KVA	LOAD SERVED			WIRE	TRIP	FRAME (Nbs 1)	CKT NO	A	B	C	CKT NO	FRAME (Nbs 1)	TRIP	WIRE	LOAD SERVED	LOAD KVA
0.00	SPARE			12	20		1	●			2			8	EXTERIOR LIGHTING (NOTE 10)	0.50
0.00	SPARE			12	20		3	●			4			8	EXTERIOR LIGHTING (NOTE 10)	0.50
0.00	SPARE			12	20		5	●			6			20	12 RECEPTACLES	0.36
0.00	SPARE			12	20		7	●			8			20	12 SPARE	0.00
0.00	SPARE			12	20		9	●			10			20	12 SPARE	0.00
0.00	SPARE			12	20		11	●			12			20	12 SPARE	0.00
0.00	SPARE			12	20		13	●			14			20	12 SPARE	0.00
0.00	SPARE			12	20		15	●			16			20	12 SPARE	0.00
0.00	SPARE			12	20		17	●			18			20	12 SPARE	0.00
0.00	SPARE			12	20		19	●			20			20	12 SPARE	0.00
0.00	SPARE			12	20		21	●			22			20	12 SPARE	0.00
0.00	SPARE			12	20		23	●			24			20	12 SPARE	0.00
0.00	SPARE			12	20		25	●			26			20	12 SPARE	0.00
0.00	SPARE			12	20		27	●			28			20	12 SPARE	0.00
0.00	SPARE			12	20		29	●			30			20	12 SPARE	0.00
							31	●			32					
							33	●			34					
							35	●			36					
							37	●			38					
							39	●			40					
							41	●			42					
SUB-TOTALS																
0.0																1.4
LOAD (KVA)		Conn.	D.F.	Dmd	TOTAL LOAD PER PHASE:				NOTES:							
					CONNECTED				1. BREAKER FRAME SHALL BE AS REQ'D PER PANEL AIC RATING.							
LIGHTS	1.0	1.25	1.3	A = 0.5 KVA 4.2 A				2. SHALL BE FULLY RATED - SERIES RATINGS NOT ALLOWED.								
HEATING	0.0	1.00	0.0	B = 0.5 KVA 4.2 A				3. ALL BUSSING, INCL GND AND NEUTRAL, SHALL BE COPPER.								
COOLING	0.0	1.00	0.0	C = 0.4 KVA 3.0 A				4. ALL INCOMING PANEL & BRKR LUGS SHALL MATCH FEEDERS.								
VENTILATION	0.0	1.00	0.0	DEMAND				5. PROVIDE HINGED DOOR-IN-DOOR WITH OUTER DOOR LOCK.								
MOTORS	0.0	1.00	0.0	A = 0.6 KVA 5.2 A				6. PROVIDE METAL DIRECTORY FRAME.								
KITCHEN	0.0	0.65	0.0	B = 0.6 KVA 5.2 A				7. GFI BREAKER								
REC. (1st 10kVA)	0.4	1.00	0.4	C = 0.4 KVA 3.0 A				8. BREAKER IS TO BE LOCKABLE IN OFF POSITION.								
REC. (>10kVA)	0.0	0.50	0.0	DEMAND @ 125%				9. NEMA 3R ENCLOSURE								
WATER HEATER	0.0	1.00	0.0	A = 0.8 KVA 6.5 A				10. VIA. EXTERIOR LIGHTING CONTROLS SEE RISER ON E-501								
MISC.	0.0	1.00	0.0	B = 0.8 KVA 6.5 A												
SPARE	0.0	1.00	0.0	C = 0.5 KVA 3.7 A												
TOTAL (KVA)		1.4		1.6												

PANEL: MBB														SQD MFR
VOLTAGE:		120 / 208		3 PHASE		4 WIRE		NF TYPE		MOUNTING:		SURFACE		42,000 AIC
LOAD KVA		LOAD SERVED		WIRE		TRIP		FRAME (Note 1)		CTK NO		A B C		LOAD KVA
1.50	MOTORIZED DOOR	12	20			1				2				0.50
1.50	MOTORIZED DOOR	12	20			3				4				0.50
0.50	LIGHTING	12	20			5				6				1.00
0.50	LIGHTING	12	20			7				8				1.00
0.00	SPARE					9				10				1.00
0.00	SPARE					11				12				1.00
0.00	SPARE					13				14				0.00
0.00	SPARE					15				16				0.00
0.00	SPARE					17				18				0.00
0.00	SPARE					19				20				0.00
0.00	SPARE					21				22				0.00
0.00	SPARE					23				24				0.00
0.00	SPARE					25				26				0.00
0.00	SPARE					27				28				0.00
0.00	SPARE					29				30				0.00
0.00	SPARE					31				32				0.00
0.00	SPARE					33				34				0.00
1.50	CU-1	10	20			35				36				0.00
1.53		10				37								5.00
1.50	CU-2	10	20			39				40				5.00
1.50		10				41				42				5.00
10.0														20.0
SUB-TOTALS														
LOAD (KVA)		Conn.	D.F.	Dmnd	TOTAL LOAD PER PHASE:									
					CONNECTED									
LIGHTS	2.0	1.25	2.5		A = 10.0 KVA					83.5 A				
HEATING	0.0	1.00	0.0		B = 9.5 KVA					79.1 A				
COOLING	0.0	1.00	0.0		C = 10.5 KVA					87.4 A				
VENTILATION	0.0	1.00	0.0											
MOTORS	0.0	1.00	0.0		DEMAND									
KITCHEN	0.0	0.65	0.0		A = 10.3 KVA					85.6 A				
REC. (1st 10kVA)	4.0	1.00	4.0		B = 9.6 KVA					80.1 A				
REC. (>10kVA)	0.0	0.50	0.0		C = 10.6 KVA					88.5 A				
WATER HEATER	0.0	1.00	0.0		DEMAND @ 125%									
MSC.	18.0	1.00	18.0		A = 12.9 KVA					107.0 A				
SPARE	6.0	1.00	6.0		B = 12.0 KVA					100.2 A				
TOTAL (KVA)	30.0		30.5		C = 13.3 KVA					110.6 A				
NOTES:														
1. BREAKER FRAME SHALL BE AS REQ'D PER PANEL AIC RATING.														
2. SHALL BE FULLY RATED - SERIES RATINGS NOT ALLOWED.														
3. ALL BUSSING, INCL. GND AND NEUTRAL, SHALL BE COPPER.														
4. ALL INCOMING PANEL & BRKR LUGS SHALL MATCH FEEDERS.														
5. PROVIDE HINGED DOOR-IN-DOOR WITH OUTER DOOR LOCK.														
6. PROVIDE METAL DIRECTORY FRAME.														
7. GFI BREAKER														
8. BREAKER IS TO BE LOCKABLE IN OFF POSITION.														
9. VIA EXTERIOR LIGHTING CONTROLS SEE RISER ON E-501														

PANEL: PBA															SQD MFR
VOLTAGE: 120 / 208			3 PHASE			4 WIRE			NF TYPE						
MOUNTING: SURFACE			200 AMP			MAIN CIRCUIT BREAKER			42,000 AIC						
LOAD KVA	LOAD SERVED	WIRE	TRIP	FRAME (Note 1)	CKT NO	A	B	C	CKT NO	FRAME (Note 1)	TRIP	WIRE	LOAD SERVED	LOAD KVA	
1.80	FUTURE SPORTS LTG CNTRL		20		1				2					1.80	
0.00	SPARE		20		3				4		20		FUTURE SPORTS LIGHTING POLES P1 AND P2	1.80	
0.00	SPARE		20		5				6					1.80	
0.00	SPARE		20		7				8					1.80	
0.00	SPARE		20		9				10		20		FUTURE SPORTS LIGHTING POLES P3 AND P4	1.80	
0.00	SPARE		20		11				12					1.80	
0.00	SPARE		20		13				14					1.80	
0.00	SPARE		20		15				16		20		FUTURE SPORTS LIGHTING POLES P5 AND P6	1.80	
0.00	SPARE		20		17				18					1.80	
0.00	SPARE		20		19				20					1.80	
0.00	SPACE ONLY				21				22		20		FUTURE SPORTS LIGHTING POLES P7 AND P8	1.80	
0.00	SPACE ONLY				23				24					1.80	
0.00	SPACE ONLY				25				26					0.00	
0.00	SPACE ONLY				27				28					0.00	
0.00	SPACE ONLY				29				30					0.00	
0.00	SPACE ONLY				31				32					0.00	
0.00	SPACE ONLY				33				34					0.00	
0.00	SPACE ONLY				35				36					0.00	
0.00	SPACE ONLY				37				38					0.00	
0.00	SPACE ONLY				39				40					0.00	
1.80	SPACE ONLY		20		41				42					0.00	
3.6	SUB-TOTALS														21.6
LOAD (KVA)		Conn.	D.F.	Dmd	TOTAL LOAD PER PHASE:				NOTES:						
					CONNECTED										
LIGHTS	0.0	1.25	0.0		A =	9.0 KVA		74.9 A	1. BREAKER FRAME SHALL BE AS REQ'D PER PANEL AIC RATING.						
HEATING	0.0	1.00	0.0		B =	7.2 KVA		60.0 A	2. SHALL BE FULLY RATED - SERIES RATINGS NOT ALLOWED.						
COOLING	0.0	1.00	0.0		C =	9.0 KVA		74.9 A	3. ALL BUSSING, INCL. GND AND NEUTRAL, SHALL BE COPPER.						
VENTILATION	0.0	1.00	0.0						4. ALL INCOMING PANEL & BRKR LUGS SHALL MATCH FEEDERS.						
MOTORS	0.0	1.00	0.0		DEMAND				5. PROVIDE HINGED DOOR-IN-DOOR WITH OUTER DOOR LOCK.						
KITCHEN	0.0	0.65	0.0		A =	9.0 KVA		74.9 A	6. PROVIDE METAL DIRECTORY FRAME.						
REC. (1st 10kVA)	0.0	1.00	0.0		B =	7.2 KVA		60.0 A							
REC. (>10kVA)	0.0	0.50	0.0		C =	9.0 KVA		74.9 A							
WATER HEATER	0.0	1.00	0.0		DEMAND @ 125%										
MISC.	1.8	1.00	1.8		A =	11.3 KVA		93.7 A							
SPARE	23.4	1.00	23.4		B =	9.0 KVA		74.9 A							
TOTAL (KVA)	25.2		25.2		C =	11.3 KVA		93.7 A							

PANEL: PB															SQD MFR
VOLTAGE: 120 / 208			3 PHASE			4 WIRE			NF TYPE						
MOUNTING: SURFACE			400 AMP			MAIN CIRCUIT BREAKER			42,000 AIC						
LOAD KVA	LOAD SERVED	WIRE	TRIP	FRAME (Note 1)	CKT NO	A	B	C	CKT NO	FRAME (Note 1)	TRIP	WIRE	LOAD SERVED	LOAD KVA	
1.50	HAND DRYERS (NOTE 8)	12	20		1				2		20	12	EW-H-1	1.50	
1.50	HAND DRYERS (NOTE 8)	12	20		3				4		20	12	EW-H-1	1.50	
1.50	HAND DRYERS (NOTE 8)	12	20		5				6		20	12	EW-H-1	1.50	
1.50	HAND DRYERS (NOTE 8)	12	20		7				8		20	12	EW-H-1	1.50	
1.50	HAND DRYERS (NOTE 8)	12	20		9				10		20	12	EW-H-1	1.50	
0.54	RECEPTACLES	12	20		11				12		20	12	EW-H-1	1.50	
0.54	RECEPTACLES	12	20		13				14		30	10	WH-3	2.25	
0.54	RECEPTACLES	12	20		15				16					2.25	
0.54	RECEPTACLES	12	20		17				18		20	12	SPARE	0.00	
1.00	FAN F-2	12	20		19				20		20	10	PTAC	1.50	
0.54	RECEPTACLES	12	20		21				22			10		1.50	
0.54	RECEPTACLES	12	20		23				24		20	8	EXTERIOR LIGHTING (NOTE 10)	0.50	
0.70	LIGHTING	12	20		25				26		20	8	EXTERIOR LIGHTING (NOTE 10)	0.50	
1.00	ACCESS CONTROLS	12	20		27				28		20	8	EXTERIOR LIGHTING (NOTE 10)	0.50	
9.00					29				30		20	8	EXTERIOR LIGHTING (NOTE 10)	0.50	
7.20	PANEL PBA		200		31				32		20	8	EXTERIOR LIGHTING (NOTE 10)	0.50	
9.00					33				34		20	8	EXTERIOR LIGHTING (NOTE 10)	0.50	
0.50					35				36		20	8	EXTERIOR LIGHTING (NOTE 10)	0.50	
0.50	PANEL DP		100		37				38		20	8	PAVILION RECEPTACLE	0.36	
0.36					39				40		20	8	PAVILION RECEPTACLE	0.36	
1.80	FUTURE SPORTS LTG CNTRL		20		41				42		20	8	PAVILION RECEPTACLE	0.36	
41.8	SUB-TOTALS														21.1
LOAD (KVA)		Conn.	D.F.	Dmd	TOTAL LOAD PER PHASE:				NOTES:						
					CONNECTED										
LIGHTS	5.2	1.25	6.5		A =	21.1 KVA		175.3 A	1. BREAKER FRAME SHALL BE AS REQ'D PER PANEL AIC RATING.						
HEATING	9.0	1.00	9.0		B =	22.6 KVA		187.8 A	2. SHALL BE FULLY RATED - SERIES RATINGS NOT ALLOWED.						
COOLING	0.0	1.00	0.0		C =	19.3 KVA		160.5 A	3. ALL BUSSING, INCL. GND AND NEUTRAL, SHALL BE COPPER.						
VENTILATION	4.0	1.00	4.0						4. ALL INCOMING PANEL & BRKR LUGS SHALL MATCH FEEDERS.						
MOTORS	0.0	1.00	0.0		DEMAND				5. PROVIDE HINGED DOOR-IN-DOOR WITH OUTER DOOR LOCK.						
KITCHEN	0.0	0.65	0.0		A =	23.4 KVA		194.9 A	6. PROVIDE METAL DIRECTORY FRAME.						
REC. (1st 10kVA)	4.7	1.00	4.7		B =	21.3 KVA		177.1 A	7. GFI BREAKER						
REC. (>10kVA)	0.0	0.50	0.0		C =	19.5 KVA		162.5 A	8. BREAKER IS TO BE LOCKABLE IN OFF POSITION.						
WATER HEATER	4.5	1.00	4.5		DEMAND @ 125%				9. THIS PANEL SHALL BE U.L. LISTED FOR USE AS S.E. EQUIP.						
MISC.	10.3	1.00	10.3		A =	29.3 KVA		243.6 A	10. VIA EXTERIOR LIGHTING CONTROLS SEE RISER ON E-501						
SPARE	25.2	1.00	25.2		B =	26.6 KVA		221.3 A	11. THIS PANEL SHALL BE U.L. LISTED FOR USE AS S.E. EQUIP.						
TOTAL (KVA)	62.9		64.2		C =	24.4 KVA		203.1 A							

PANEL: SP															SQD MFR
VOLTAGE: 120 / 208			3 PHASE			4 WIRE			NF TYPE						
MOUNTING: SURFACE			400 AMP			MAIN CIRCUIT BREAKER			42,000 AIC						
LOAD KVA	LOAD SERVED	WIRE	TRIP	FRAME (Note 1)	CKT NO	A	B	C	CKT NO	FRAME (Note 1)	TRIP	WIRE	LOAD SERVED	LOAD KVA	
1.50	HAND DRYERS (NOTE 8)	12	20		1				2		20	12	EW-H-1	1.50	
1.50	HAND DRYERS (NOTE 8)	12	20		3				4		20	12	EW-H-1	1.50	
1.50	HAND DRYERS (NOTE 8)	12	20		5				6		20	12	EW-H-1	1.50	
1.50	HAND DRYERS (NOTE 8)	12	20		7				8		20	12	EW-H-1	1.50	
0.54	RECEPTACLES	12	20		9				10		30	10	WH-3	2.25	
0.54	RECEPTACLES	12	20		11				12			10		2.25	
0.54	RECEPTACLES	12	20		13				14		20	12	SPARE	0.00	
1.00	FAN F-3	12	20		15				16		15	12	EW-H-2	1.20	
1.00	FAN F-4	12	20		17				18			12		1.20	
1.00	FAN F-5	12	20		19				20		15	12	EW-H-2	1.20	
7.00		3			21				22			12		1.20	
7.00	SPLASH PAD ELEC PANEL	3	100		23				24		20	8	SMALL PAVILION RECEPTACLE	0.36	
7.00	BY OTHERS	3			25				26		20	8	SMALL PAVILION RECEPTACLE	0.36	
1.50	PTAC-2	10	20		27				28		20	8	SMALL PAVILION RECEPTACLE	0.36	
1.50		10			29				30		20	8	SMALL PAVILION LTG (NOTE 9)	0.30	
0.54	RECEPTACLES	12	20		31				32		20	8	SMALL PAVILION LTG (NOTE 9)	0.30	
0.80	LIGHTING	12	20		33				34		20	8	SMALL PAVILION LTG (NOTE 9)	0.30	
0.00					35				36		20	8	EXTERIOR LIGHTING (NOTE 9)	0.50	
0.00	SPARE		100		37				38		20	8	EXTERIOR LIGHTING (NOTE 9)	0.50	
0.00					39				40		20	8	EXTERIOR LIGHTING (NOTE 9)	0.50	
1.00	ACCESS CONTROLS	12	20		41				42				SPARE		
	SPARE				43				44				SPARE		
	SPARE				45				46				SPARE		
	SPARE				47				48				SPARE		
	SPARE				49				50				SPARE		
	SPARE				51				52				SPARE		
	SPARE				53				54				SPARE		
							</								