Residential: Single Family Detached

Flowes Store Road (CN-PSA-2023-00047)

3970 US HWY 601 S

DRC	Entitled	Units	PRS Routed	Technically Approved
6/15/2023	Yes	210	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	No	No	No

Allocation Request

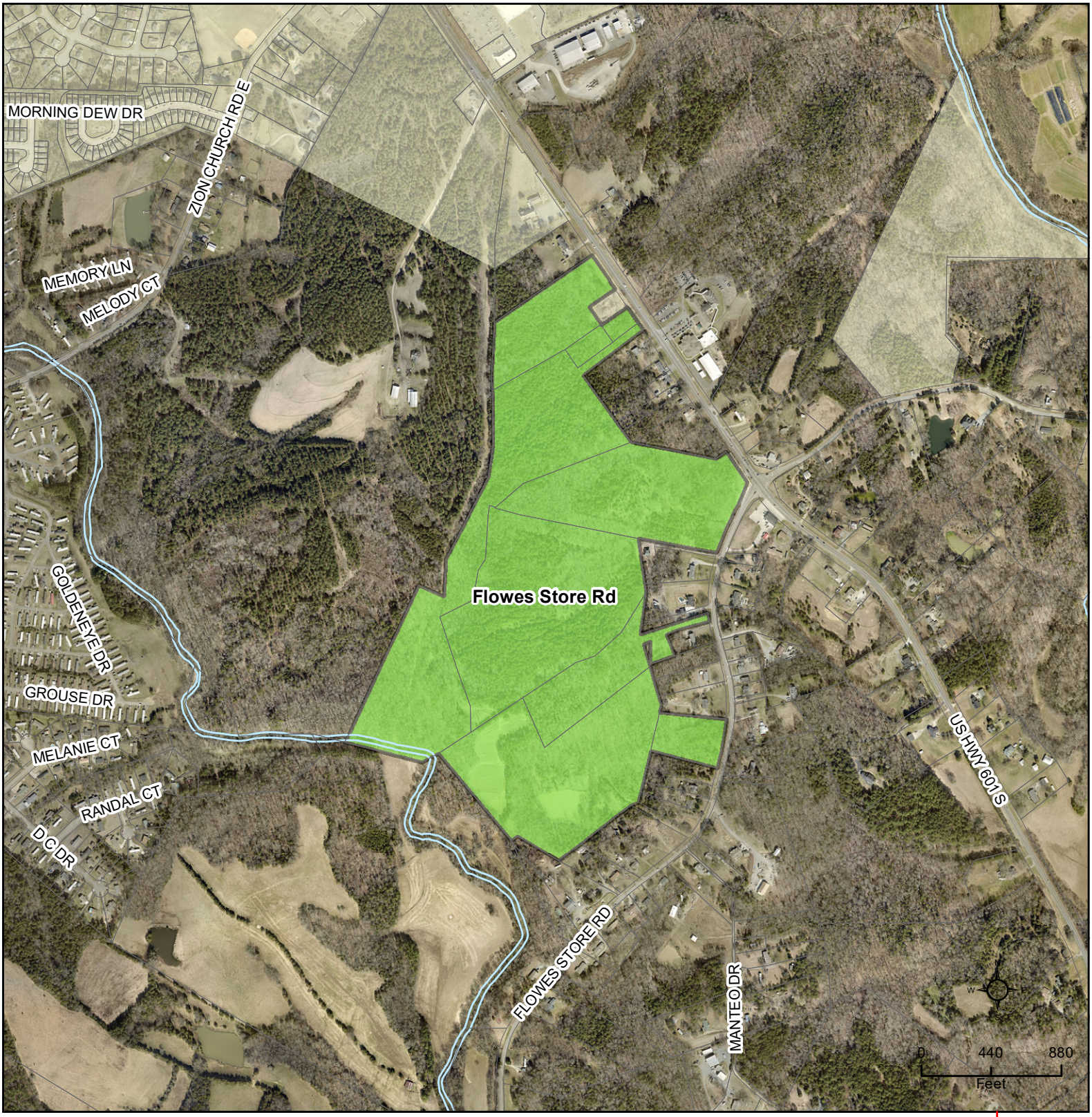
Total	2024	2025	2026	2027	2028
65,600	15,000	15,000	15,000	15,000	5,600

Project Scoring

Small Area Plan	Vertical Mixed Use	Redevelopment Site	Horizontal Mixed Use	Downtown (MSD)	Located Adjacent to Existing Sewer	Annex.	Total
0	0	1	0	0	1	0	2

Brief Summary

The applicant is seeking sewer allocation for 210 single family detached houses. This project came before the Planning and Zoning Commission in 2018 as Z(CD)- 07-18 and was approved. This project was approved as a Planned Unit Development (PUD). This project consists of multiple parcels totaling 104.7 acres. They are only requesting sewer for the residential portion of the project. The commercial portion is anticipated to come later.

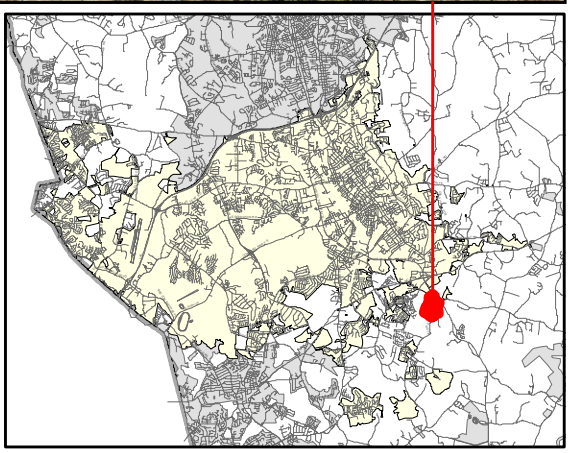


CN-PSA-2023-00047

Type: Residential
SF Detached
210 single family units

Allocation Request: 65,600
Project Score: 2

Developments
Parcels
Rivers
Concord
Cabarrus County



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	**Project Title:**	Flow Store Road					
2.)	**Description of project location:**	located at the intersection of US Hwy 601 and Flowes Store Road E (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####)					
3.)	**Cabarrus County Parcel Identification Number:**	5539902295000	3a.)	**Parcel Acreage:**	62.12		
4.)	**Site Zoning and use:**	PUD	5.)	**Area Commercial or Industrial Building**	**(sq. ft.)** 0		
6a.)	**Description of Facility to be served.**	single-family lots	**6b.) Number of Lots**	210	**6c.) Number of Units**	210	
7d.)	**Additional description information:**	includes 9 parcels					

B. Applicant Information

Steve Bailey , President (Title) (**Name** of **legal owner**, **board**, **council**, and/or **authorized official with title**; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	7224 Jameson Way (Applicant's Street or Box Number)
Prestige Corporate Development, PLLC (**Name of Applicant's company, city, town, corporation, sanitary district, water company or other** defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	Stanley, NC 28164 (Applicant's City, State, Zip Code)
704-607-5059 (Applicant's Phone Number)	 (Applicant's Facsimile Number)
Alex Bonda (Name) alex.bonda@pcdllc.net (Email) (Name with Title and Email of contact person, who can answer questions about application)	steve@pcdllc.net (Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

Jonathan A. Carter (Typed name of North Carolina Professional Engineer)	Bluestone Land Management, PLLC (Company Name)
30916 (NCPE Registration Number)	115 Autumn Frost Avenue (Street or Box Number)
704-649-2863 (Phone Number)	Statesville, NC 28677 (City, State, Zip Code)
Jonathan A. Carter (Name and affiliation of contact person, who can answer questions about **application & designs**)	jonathan.carter@bluestonelandmanagement.com (Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

✔	Residential Subdivision		Retail (Stores, shopping centers)
	Apartments/Condominiums		Institution
	Mobile Home Park		Hospital, nursing home, dental
	School, preschool, daycare		Church
	Restaurants (Food or drink facilities)		Sports Centers
	Hotels or motels		Business, offices, factories
✔	Other (specify): Pool/Clubhouse (50gal/100sf/day+10gal per person per day)		

2.) The type of wastewater is (indicate percentage):

100	**% Domestic**
	% Commercial
	% Industrial
	% Other use (Specify) _____

3.) Pretreatment required:
(●) No
( ) Yes **(Specify or attach effluent documentation)**

4.) **Volume of wastewater flow to be allocated for this particular project**: 65,600 gallons per day
*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**
(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**

a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)			No. of Units	Flow	
Single Family Lots (4-bedrooms)	300	gal/	day	210	GPD	63,000
Pool	10	gal/	day/person	200 people	GPD	2,000
Clubhouse	50	gal/	day/100 sf	1200 sf	GPD	600
		gal/			GPD	
		gal/			GPD	
		gal/			GPD	
				Total	GPD	65,600

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I Steve Bailey (Printed Name), **the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.**

Steven L Bailey — Signature:

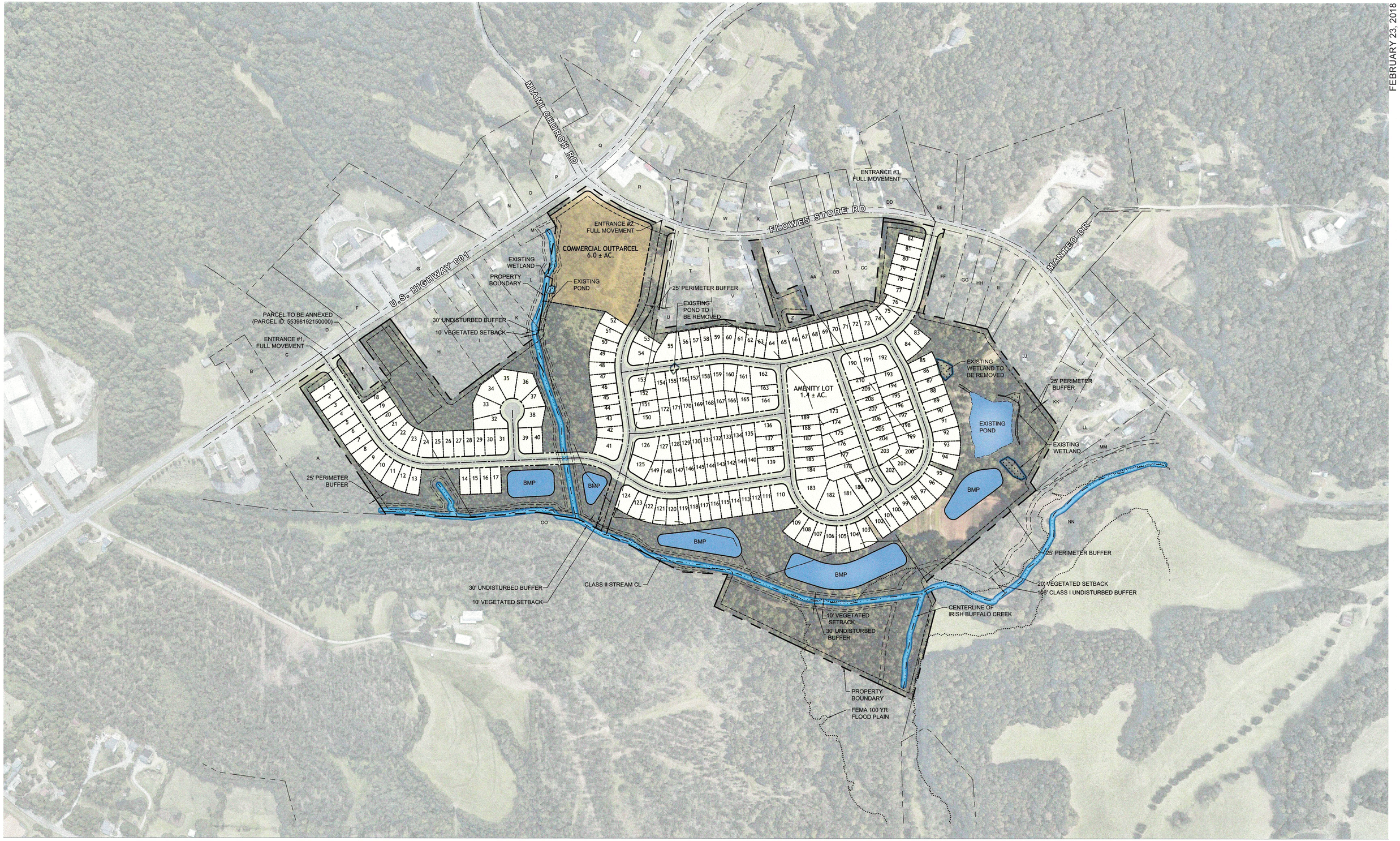
8.25.2023 — Date:

Flowes Store Road Site Narrative

Seeking sewer allocation for an approved PUD development with 210 single family homes. The intent is to provide the area with a quality residential mixed-use development. The homes are intended to be age targeted. We anticipate the homes would have a starting price in the high $400s to low $500s. The community would have a dedicated amenity area with cabana or clubhouse and pool, as well as natural walking trails that connect residents with pockets of open space. Our request for sewer allocation is for the residential portion of the site only. A future allocation request for the commercial area will follow.

Parcel #s of the project include: 55398192150000, 55399132850000, 55399111820000, 55398087820000, 55399022950000, 55388994070000, 55389910910000, 55389804860000, & 55389886180000

FEBRUARY 23, 2018



FLOWES STORE ROAD

ZONING PLAN RENDERING

SCALE 1"=200'

0 200' 400'

TIMMONS GROUP

YOUR VISION ACHIEVED THROUGH OURS.

Residential: Single Family Detached

Myers Residential (CN-PSA-2023-00048)

1199 Odell School Rd.

DRC	Entitled	Units	PRS Routed	Technically Approved
4/6/2023	No	95	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	No	No	No

Allocation Request

Total	2024	2025
40,050	22,500	17,550

Project Scoring

Small Area Plan	Vertical Mixed Use	Redevelopment Site	Horizontal Mixed Use	Downtown (MSD)	Located Adjacent to Existing Sewer	Annex.	Total
0	0	0	0	0	0	0	0

Brief Summary

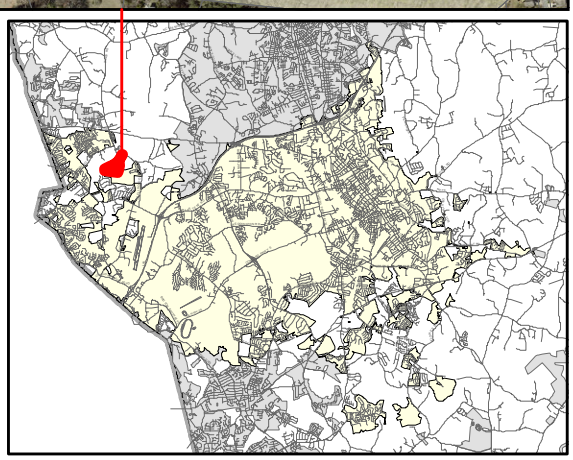
The applicant is requesting sewer capacity for 95 single family detached houses. The applicant communicated that their plan is to build large executive style housing with no front load garages. The project is going before the Planning and Zoning Commission on November 21, 2023, as case Z(CD)-18-23. This parcel was annexed into the City of Concord on July 13, 2023 and the applicant is proposing to rezone the parcel to RM-2.

CN-PSA-2023-00048

Type: Residential
SF Detached
95 single family units

Allocation Request: 40,050
Project Score: 0

Developments
Parcels
Rivers
Concord
Cabarrus County



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	Project Title:	Myers Residential on Odell					
2.)	Description of project location:	Site located on Odell School Rd. Approx. 1,570' Southeast of the intersection of Odell School Rd. and Arbor Commons Ln. (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####)					
3.)	Cabarrus County Parcel Identification Number:	4681-64-7428-0000	3a.)	Parcel Acreage:	63.30		
4.)	Site Zoning and use:	RM-2 (Single Family)	5.)	Area Commercial or Industrial Building (sq. ft.)	0		
6a.)	Description of Facility to be served.	Single Family Subdivision	6b.) Number of Lots	95	6c.) Number of Units	95	
7d.)	Additional description information:	Proposed subdivision with public roads and approximately 95 single family residential lots					

B. Applicant Information

CS Myers and Nancy Myers , (Title) (Name of legal owner, board, council, and/or authorized official with title; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	1201 Odell School Rd (Applicant's Street or Box Number)
UNICA U B O (Name of Applicant's company, city, town, corporation, sanitary district, water company or other defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	Concord, NC 28027 (Applicant's City, State, Zip Code)
980-621-3855 (Applicant's Phone Number)	N/A (Applicant's Facsimile Number)
Justin Mueller (Name) justin@sdgcarolinas.com (Email) (Name with Title and Email of contact person, who can answer questions about application)	shilohfarms1201@gmail.com (Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

R. Austin Coleman (Typed name of North Carolina Professional Engineer)	V3 Southeast, PLLC (Company Name)
NC 043764 (NCPE Registration Number)	2923 S. Tryon St. Suite 320 (Street or Box Number)
803-528-6241 (Phone Number)	Charlotte, NC (City, State, Zip Code)
Austin Coleman (Engineer) (Name and affiliation of contact person, who can answer questions about application & designs)	acoleman@v3co.com (Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

✔	Residential Subdivision		Retail (Stores, shopping centers)
	Apartments/Condominiums		Institution
	Mobile Home Park		Hospital, nursing home, dental
	School, preschool, daycare		Church
	Restaurants (Food or drink facilities)		Sports Centers
	Hotels or motels		Business, offices, factories
	Other (specify):____		

2.) The type of wastewater is (indicate percentage):

100	% Domestic
0	% Commercial
0	% Industrial
0	% Other use (Specify) ____ N/A

3.) Pretreatment required:
(●) No
( ) Yes (Specify or attach effluent documentation)

4.) **Volume of wastewater flow to be allocated for this particular project:** 40,050 gallons per day
*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**
(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**

a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)	No. of Units	Flow
5 Bedroom Home	375 gal/ Day	36	GPD 13,500
6 Bedroom Home	450 gal/ Day	59	GPD 26,550
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
	Total		GPD 40,050

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I C S MYERS (Printed Name), **the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.**

C S Myers managing director 8-8-2023

Signature: Nancy M. Myers Managing director Date: 8-8-2023

51 Union Street South
Suite 100
Concord, NC 28025

City of Concord Planning Department
35 Cabarrus Avenue West
Concord, NC 28025
Via email to adamsm@ConcordNC.gov

RE: Project Narrative for 1199 Odell School Road, Concord, NC 28027

Dear Esteemed Members of the City of Concord City Council:

Sherwood Development Group is proposing to bring a much needed and desired development of approximately 95 single family homes on 63.30 acres located at 1199 Odell School Road, Concord, NC 28027. This project will be the first of its kind in many, many years being that the single-family home lots will exceed the minimum requirements by averaging around 14,250 square feet with home prices starting at $850,000. This development is poised to launch the City of Concord into the future and meet the demand of the higher paying executives that the City of Concord is investing time and money to attracting with its *The Grounds at Concord* project, not to mention the higher tax base and spending power that these executives bring to the City of Concord.

Most notably, the project will exceed the minimum requirements of the largest lot zoning classification in the City of Concord UDO, RM-2:

	RM-2 Requirements	Development
Density	4 Units Per Acre	1.54 Units Per Acre
Lot Area	10,000 SF	14,250 SF
Lot Width	75 Feet	95 Feet
Lot Depth	100 Feet	150 Feet
Front Setback	25 Feet	25 Feet
Side Yard	10 Feet	10 Feet
Rear Yard	25 Feet	25 Feet
Open Space	10.0%	+/-17.5%

The anticipation of funds being expended on the project is as follows:

Approval of Site Plan	$550,000
Land Acquisition	$11,000,000
Site Development	$8,000,000
Home Construction	$65,000,000
TOTAL ANTICIPATED COSTS	**$84,550,000**

51 Union Street South
Suite 100
Concord, NC 28025

The potential tax revenue to the City of Concord based on an average sales price of $900,000 is as follows:

Number of Homes	92
Average Assessed Value	$900,000
Total Assessed Value	**$82,800,000**
2023 Concord Tax Rate	0.48%
Total Tax Revenue to City	**$397,440.55**
2023 Cabarrus County Tax Rate	0.74%
Total Tax Revenue to County	$612,718.89
TOTAL REVENUE (County & City)	**$1,010,159.45**

With the explosion of growth around *The Grounds at Concord* and other major corporate relocations in the past and coming years, this development is being established to meet the demand of the higher paid executives that would otherwise pursue a home in a neighboring municipality in the greater Charlotte MSA. At this time, there is a shortage of homes that are able to meet the demands of the executive level employees. The location where the homes are proposed is also a very desirable area with amazing schools, neighborhood retail centers, and grocery stores within a short drive.

This development will sit tucked back privately at around 1,300 linear feet back from Odell School Road offering a grand entrance monument and beautiful entry drive to the neighborhood. The homes are proposed to provide **no** front load garages to meet the demands and tastes of the higher paying resident. The proposed neighborhood does not offer an amenity area due to the desire of the residents in this home price range desiring private amenities. With the larger lots, the residents of the neighborhood will be provided ample options for private backyard amenities: pools, pool houses, patios, large entertaining areas, etc. Please see the conditional rezoning application for the proposed elevations of the homes.

In summary, the major benefits to community as provided by this proposed development are follows:

- Attract and Retain Higher Earning Jobs in the City of Concord
- Increased Tax Revenue (Sales and Property)
- Lower Density Development
- Connectivity and Alternative Ingress/Egress to Odell School Road for neighboring Annsborough Park Development
- Road Improvements to Odell School Road

Thank you for your time and attention. We look forward to presenting more information on this proposed development on Tuesday, October 17th.

Justin Mueller
Sherwood Development Group
704-578-5688
justin@sdgcarolinas.com

MYERS RESIDENTIAL ON ODELL

CONCORD, NC | DATE: 03.30.23 | PROJECT NO.: 00952.01

CONCEPTUAL SITE PLAN

SCALE: 1"=120'

V3co.com

landscape architecture | planning | civil engineering

V3 Southeast

NC FIRM#: C-4911, C-672

Residential: Single Family Detached

Royscroft (CN-PSA-2023-00057/PRS2020-02472)

7000 Flowes Store Rd.

DRC	Entitled	Units	PRS Routed	Technically Approved
8/19/2019	Yes	50	Yes (PRS2020-02472)	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
Yes	Yes	Yes	Yes	Yes

Allocation Request

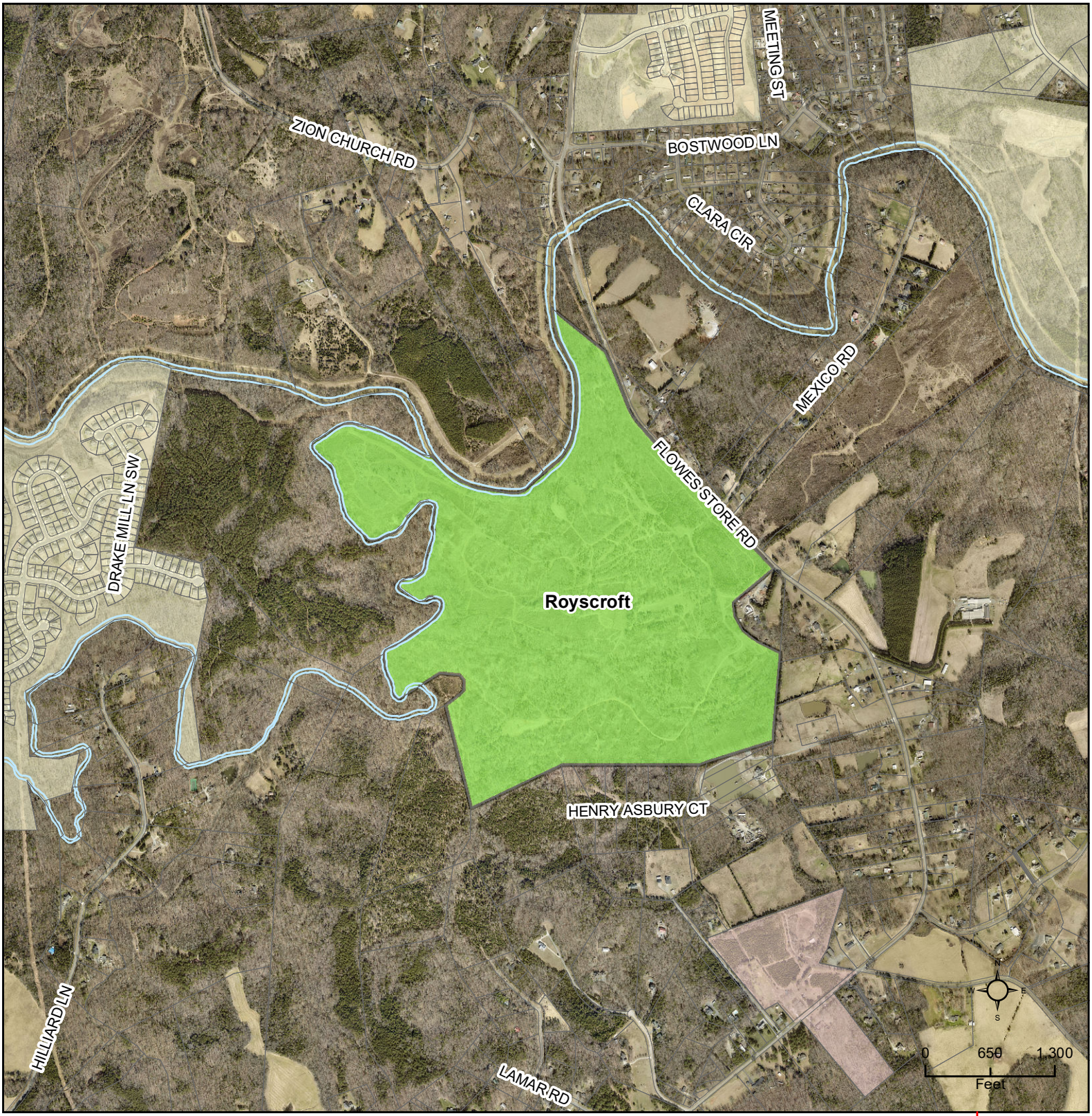
Total	2024
15,000	15,000

Project Scoring

Small Area Plan	Vertical Mixed Use	Redevelopment Site	Horizontal Mixed Use	Downtown (MSD)	Located Adjacent to Existing Sewer	Annex.	Total
0	0	0	0	0	1	0	1

Brief Summary

This case is for 50 units: a reduction from the 368 units requested at the July 2022 allocation and from the 371 requested at the March 2022 allocation meeting. The preliminary plat was approved on 9/20/20. Zoning case Z(CD)07-16 was approved on June 21, 2016. This rezoning to Planned Residential Development required a mixture of unit types: 55', 75', and 90' wide lots. Planning did approve an administrative amendment. A condition of the zoning is also that the site will provide a kayak/canoe launch. The applicant has provided a phasing plan for the project, which would result in 50 lots in the first phase, with the assumption that they would come back and ask for their project in phases. The developer has continued submitting revisions to their plans since the March allocation and has gone from 24 to 2 open issues on the last review cycle, with some adjustments to the water and sewer applications answered in preparation for the next review cycle. The system has been waiting for a resubmittal since 8/25/2022. The applicant is offering a "Homes for Heroes Discount Program."

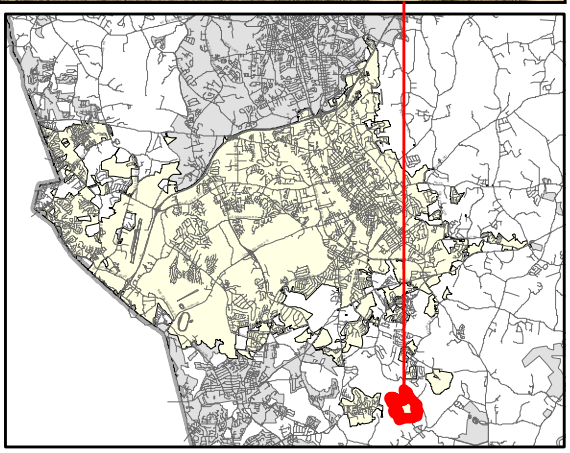


CN-PSA-2023-00057

Type: Residential
SF Detached
50 single family units

Allocation Request: 15,000
Project Score: 1

Developments
Parcels
Rivers
Concord
Cabarrus County
Other Municipalities



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	Project Title:	Royscroft Subdivision				
2.)	Description of project location:	1000 feet Southwest of the intersection of Flowes Store Road (SR1132) and Mexico Road (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####)				
3.)	Cabarrus County Parcel Identification Number:	55374395335537423527	3a.)	Parcel Acreage:	262.42	
4.)	Site Zoning and use:	PRD - Residential Subdivision	5.)	Area Commercial or Industrial Building	(sq. ft.) 0	
6a.)	Description of Facility to be served.	Single Family Homes	6b.) Number of Lots	50	6c.) Number of Units	
7d.)	Additional description information:	Phase 1 - 50 Single Family dwellings				

B. Applicant Information

Ron Willing, Senior Land Development Manager (Title) (Name of legal owner, board, council, and/or authorized official with title; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	820 Forest Point Circle; Suite 100 (Applicant's Street or Box Number)
Stanley Martin Homes (Name of Applicant's company, city, town, corporation, sanitary district, water company or other defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	Charlotte, NC 28273 (Applicant's City, State, Zip Code)
704-808-1132 (Applicant's Phone Number)	(Applicant's Facsimile Number)
Ron Willing (Name) willingre@stanleymartin.com (Email) (Name with Title and Email of contact person, who can answer questions about application)	willingre@stanleymartin.com (Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

Tracey McCormick (Typed name of North Carolina Professional Engineer)	McKim & Creed (Company Name)
041683 (NCPE Registration Number)	8020 Tower Point Drive (Street or Box Number)
704-841-2588 (Phone Number)	Charlotte, NC 28227 (City, State, Zip Code)
Tracey McCormick (Name and affiliation of contact person, who can answer questions about application & designs)	tmccormick@mckimcreed.com (Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

✓	Residential Subdivision		Retail (Stores, shopping centers)
	Apartments/Condominiums		Institution
	Mobile Home Park		Hospital, nursing home, dental
	School, preschool, daycare		Church
	Restaurants (Food or drink facilities)		Sports Centers
	Hotels or motels		Business, offices, factories
	Other (specify):____		

2.) The type of wastewater is (indicate percentage):

100	**% Domestic**
	% Commercial
	% Industrial
	% Other use (Specify) ____

3.) Pretreatment required:

(●) No

( ) Yes **(Specify or attach effluent documentation)**

4.) **Volume of wastewater flow to be allocated for this particular project:** 15,000 gallons per day

*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**

(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**

a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{**Flow rates NOT listed in table 15A NCAC 2T .0114** must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)	No. of Units	Flow
Single Family Residential	300 gal/ day	50	GPD 15,000
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
		Total	GPD 15,000

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I Ron Willing (Printed Name), **the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.**

Signature: [signature] Date: 09/25/2023

STANLEY MARTIN HOMES

COMMITTMENT STATEMENT

AUGUST 15, 2023

ROYSCROFT

Stanley Martin Homes, LLC (“Owner”) as the owner of the property located at 7000 and 7001 Flowes Store Road, Concord, NC, identified as Tax Parcel ID Numbers 5537-43-9533 and 5537-42-3527, being referred to herein as the "Property", the aforesaid parcels comprising a total of 262 acres. The development of the Property will be in substantial conformance with the following conditions ("Proffer").

I. Home site offering.

The development of the Property will include three different lot sizes serving multiple buyer segments: first time price sensitive buyer, 1st move up buyer and a 2nd or 3rd move up/luxury home buyer. This site will also have an amenity package serving all buyers. The amenity package will include a pool, cabana and playground, pickleball courts, as well as walking trails.

II. Affordable Units.

In Royscroft, as a gesture of good faith and a commitment to giving back to the community, Stanley Martin is proud to offer a "Homes for Heroes Discount Program." This program entails an additional $7,500 in options or a retail home price discount for any current or retired firefighters, EMS personnel, law enforcement officers, military personnel, healthcare professionals, and/or schoolteachers. This special program is an extra benefit, supplementing any published incentives available to the public within this community.

III. Commitments:

The owner, Stanley Martin Homes, is dedicating a fire station site as previously noted in the documents for site approval. We are also committed to the grading of the fire station site. The owner is also responsible for extending a water line down Flowe Store Rd to the intersection of Hwy 601. Both commitments are positive improvements for the City of Concord’s benefit.

IV. Development phasing

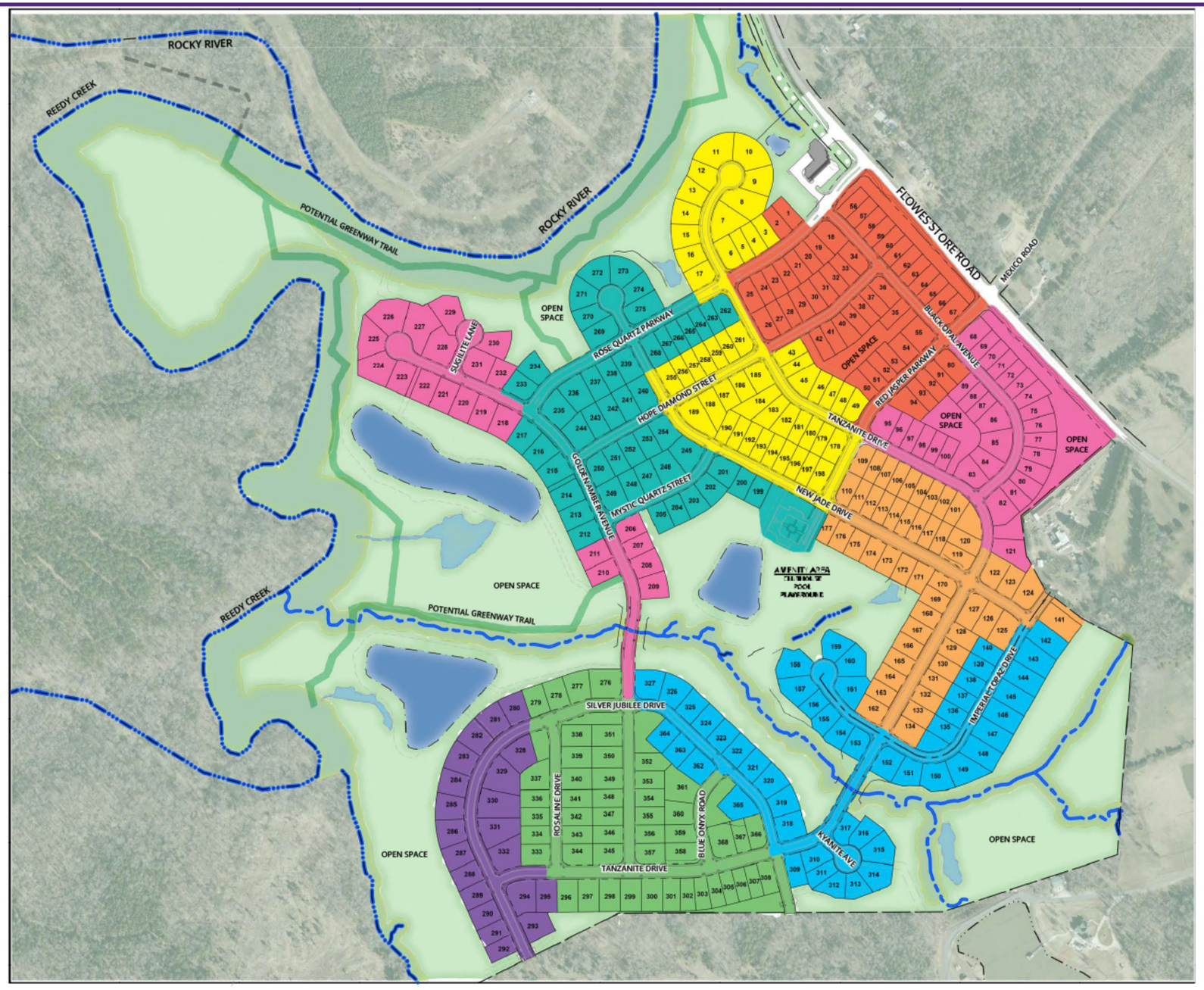
The owner, Stanley Martin Homes, will be developing the site in several phases. Each phase will be 50-80 lots in total.

820 Forest Point Circle Suite 100
Charlotte, NC 28273

We hope this letter speaks to our needs and believe this project will be a great addition to the Concord community.

Sincerely,

Bob Bennett
Senior Vice President of Land and Business Development
STANLEY MARTIN HOMES



McKIM&CREED
ENGINEERS SURVEYORS PLANNERS

DATE: FEBRUARY 2022
DRAFT: NOT FOR CONSTRUCTION

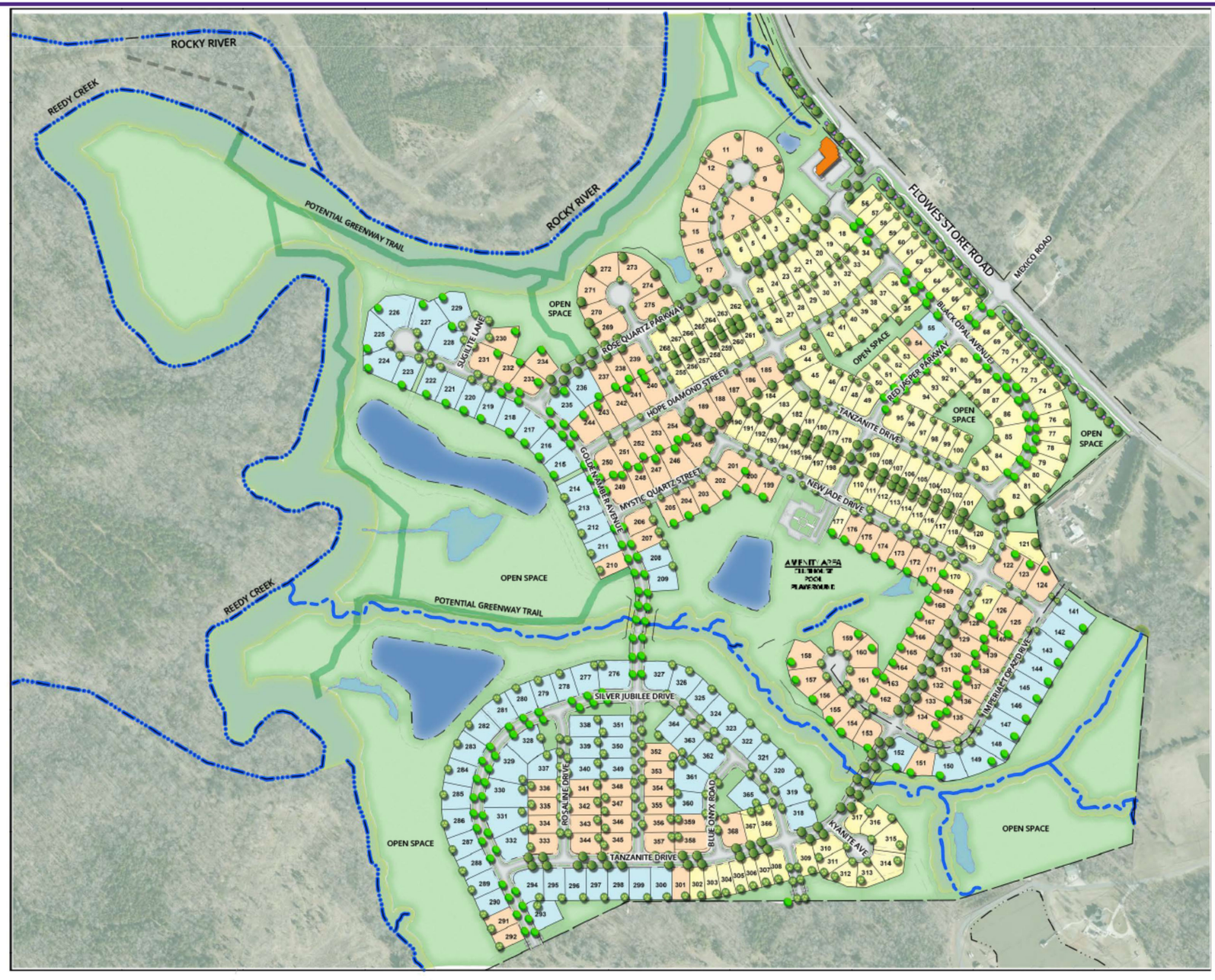
ROYSCROFT

PHASING PLAN

CONCORD, NORTH CAROLINA
07798-0021

NORTH

SCALE: 1" = 100'
100' 0' 50' 100' 200' 400'



McKIM&CREED
ENGINEERS SURVEYORS PLANNERS

DATE: FEBRUARY 2022
DRAFT: NOT FOR CONSTRUCTION

ROYSCROFT
CONCORD, NORTH CAROLINA
07796-0001

NORTH

SCALE: 1" = 100'
100' 0' 50' 100' 200' 400'

Residential: Single Family Detached

Sunview Subdivision (CN-PSA-2023-00058)

838 Sun View Dr. NW

DRC	Entitled	Units	PRS Routed	Technically Approved
5/22/2022(as multi-family)	Yes	24	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
Yes	Yes	Yes	Yes	Yes

Allocation Request

Total	2024
6,300	6,300

Project Scoring

Small Area Plan	Vertical Mixed Use	Redevelopment Site	Horizontal Mixed Use	Downtown (MSD)	Located Adjacent to Existing Sewer	Annex.	Total
0	0	0	0	0	1	0	1

Brief Summary

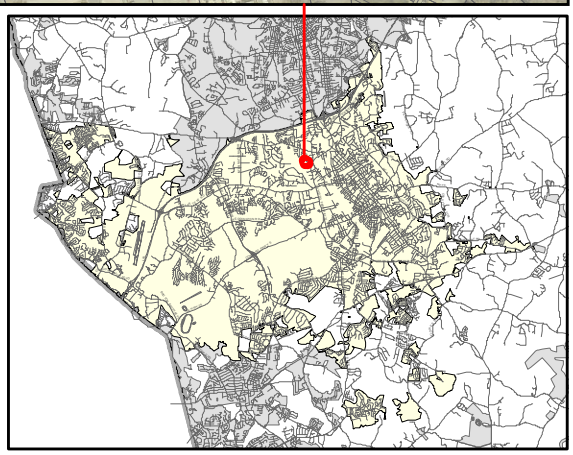
This is a project that has been submitted as a townhome style multi-family project for sewer allocation in July 2022. A preliminary plat was approved for a townhome style subdivision on February 4, 2022, but payment of $400 has not been received yet. The narrative now reflects the desire to restructure the project as 24 single family detached units and 95 townhomes.

CN-PSA-2023-00058

Type: Residential
SF Detached
24 single family units

Allocation Request: 6,300
Project Score: 1

Developments
Parcels
Rivers
Concord
Cabarrus County



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	**Project Title:**	Sunview Subdivision					
2.)	**Description of project location:**	Site located at 838 Sunview Dr. NW, approximately 150 ft S of intersection of Collingswood Dr. and Sunview Dr. NW, and 1300 ft E of intersection of Collingswood Dr SW and Central Dr NW (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####))					
3.)	**Cabarrus County Parcel Identification Number:**	5611734751 & 5611740201	3a.)	**Parcel Acreage:**	47.940		
4.)	**Site Zoning and use:**	RC, Residential Homes	5.)	**Area Commercial or Industrial Building (sq. ft.)**	0		
6a.)	**Description of Facility to be served.**	Residential Housing	**6b.) Number of Lots**	119	**6c.) Number of Units**	119	
7d.)	**Additional description information:**	Horizontal Mixed Use Single Family Homes & Townhomes					

B. Applicant Information

Jack Moran , Manager (Title) (**Name** of **legal owner**, **board**, **council**, and/or **authorized official with title**; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	330 Patterson Drive (Applicant's Street or Box Number)
Sapphire Strait, LLC (**Name of Applicant's company, city, town, corporation, sanitary district, water company or other** defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	Myrtle Beach, SC, 29572 (Applicant's City, State, Zip Code)
(704) 574-0316 (Applicant's Phone Number)	 (Applicant's Facsimile Number)
Kate Underwood (Name) kate@daylighteng.com (Email) (Name with Title and Email of contact person, who can answer questions about application)	jmoran@moranbankconsulting.com (Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

Kate Underwood , PhD, PE (Typed name of North Carolina Professional Engineer)	Daylight Engineering (Company Name)
033470 (NCPE Registration Number)	P.O Box 1804 (Street or Box Number)
(980) 234-7500 (Phone Number)	Concord, NC, 28026-1804 (City, State, Zip Code)
Kate Underwood, PhD, PE (Name and affiliation of contact person, who can answer questions about **application & designs**)	kate@daylighteng.com (Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

✓	Residential Subdivision		Retail (Stores, shopping centers)
	Apartments/Condominiums		Institution
	Mobile Home Park		Hospital, nursing home, dental
	School, preschool, daycare		Church
	Restaurants (Food or drink facilities)		Sports Centers
	Hotels or motels		Business, offices, factories
	Other (specify):____		

2.) The type of wastewater is (indicate percentage):

100	**% Domestic**
	% Commercial
	% Industrial
	% Other use (Specify) ____

3.) Pretreatment required:

(●) No

( ) Yes **(Specify or attach effluent documentation)**

____

4.) **Volume of wastewater flow to be allocated for this particular project**: 20,550 gallons per day

*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**

(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**

a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)	No. of Units	Flow
Single Family	75 gal/ bedroom * 4 bedrooms	12	GPD 3,600
Single Family	75 gal/ bedroom * 3 bedrooms	12	GPD 2,700
Townhomes	75 gal/ bedroom * 2 bedrooms	95	GPD 14,250
	gal/		GPD
	gal/		GPD
	gal/		GPD
		Total	GPD 20,550

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I John J. Moran (Printed Name), **the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.**

Signature: _____ Date: 9/26/2023

DAYLIGHT ENGINEERING

57 Union Street South
Concord, NC 28025
980.234.7500
daylighteng.com

Dear Mr. Mayor, City Council and Staff,

Dream Finders Homes (formally H+H Homes) is requesting sewer allocation for Sunview, an integrated housing development of single family residential homes and townhomes. This development is tucked in behind the long-established neighborhood of Collingswood Dr off of Central, in the heart of Concord. In support of this request, please note the following considerations:

1. The developer is committed to Concord, and has ***owned the property since January 2021*** (Saphire Straight LLC).
2. Preliminary Plat approval for a 140 unit townhome development was issued February 4th, 2022, as the sewer restrictions were coming into place.
3. Sewer allocation has been ***requested at every opportunity***, including:

Project Design	City Council Meeting	City Council Results
140 Apartment Townhomes	July 2022	Not Allocated
72 Single Family Residential	September 2022	Not Allocated
72 Single Family Residential	December 2022	Not Allocated
72 Single Family Residential	February 2023	Not Allocated
Horizontal Mixed Use (24 Single Family Residential and 95 Townhomes)	October 2023	

4. The site is located ***less than 2.5 miles from City Hall***, nearby to downtown.
5. There is existing sewer running through the development, and water available at the connection points with city streets.
6. Proposed site amenities include a nature trail that traverses the site. Of the 53 acres on-site, ***approximately 33 acres are proposed to remain natural/undeveloped.***
7. This site is designated as ***Urban Neighborhood*** in the Future Land Use Plan. This site meets the intent of the Future Land Use Plan, section 5.2 bullet 4, which specifies that "***infill is most desirable within identified Mixed-Use Activity Centers, Village Centers, and Urban Neighborhoods***"
8. This proposal also meets the ***Future Land Use Plan Objective 1.6 which guides us to "provide a diverse mix and range of housing options"*** through the guidance of providing mixed-density housing through integrated housing types. This project meets the policy and guidance of the Future Land Use Plan through the proposed mixed single family and single family attached horizontal mixed-use approach.
9. We have investigated other development options but have been informed by Staff that residential development is the only probable and appropriate use for this property.

57 Union Street South
Concord, NC 28025
980.234.7500
daylighteng.com

While Dream Finders Homes appreciates the challenges that restricted sewer availability has caused for Cabarrus County and the City of Concord, we would like to respectfully request your consideration and approval of this project in the heart of Concord.

Respectfully,

09/27/2023

_____

Kate Underwood, PhD, PE
Engineer & Partner, Daylight Engineering
M 980.234.7500 | **E** kate@daylighteng.com
57 Union Street South | Concord, NC 28025

TAX PARCEL NUMBER: 5611-73-4751, 5611-74-0201

PARCEL SIZE: 53.526 ACRES
EXISTING ZONING: RC
PROPOSED ZONING: RC
PROPOSED USES: HORIZONTAL MIXED USE SINGLE FAMILY AND TOWNHOMES

EXISTING LOTS: 2
PROPOSED LOTS: 24 SINGLE FAMILY AND 95 TOWNHOMES
(119 TOTAL UNITS)

ZONING REQUIREMENTS:
MAXIMUM DENSITY: 15 DWELLING UNITS/ACRE
PROPOSED DENISTY: 119/53.526 = 2.22 DWELLING UNITS/ACRE
MINIMUM LOT AREA: N/A
MINIMUM LOT WIDTH: N/A
MINIMUM LOT DEPTH: N/A

MINIMUM SETBACKS REQUIRED AND PROVIDED:
FRONT SETBACK (FRONT-LOADED LOTS): 24'
FRONT SETBACK (ALLEY-LOADED LOTS): 20'
SIDE SETBACK: 7'
REAR SETBACK: 5'
CORNER SETBACK: 20'

NOTE: FRONT SETBACK CAN BE REDUCE TO 20' IF GARAGE IS RECESSED 4' FROM FACE OF BUILDING ON FRONT-LOADED LOTS.
NOTE: INTERNAL SIDE SETBACKS NOT REQUIRED FOR SINGLE FAMILY ATTACHED DEVELOPMENTS

FLOOD ZONE AE (FROM FEMA)
PANEL: 3710561100K

0 50.0001 100.0002 Feet

ZONED RM-2
ZONED RC
ZONED RV
Collingswood Drive 30' Public R/W
Collingswood Dri 40' Public R/W
Sun View Drive NW 60' Public R/W
Valley Glen Ct. NW 50' Public R/W
Potter Street NW 40' Public R/W
Lowe Avenue NW 30' Public R/W
Sherwood Ct. NW 40' Public R/W
(LOWE 50' ROW)
PROPOSED 5' SIDEWALK
5' PUBLIC UTILITY EASEMENT
8' STREET YARD
8' TYPE A BUFFER YARD
2'-6" STANDARD CURB & GUTTER (TYP.)
EXISTING PROPERTY LINE
PRIVATE ALLEY B 20'
PRIVATE ALLEY C 20'
PRIVATE ALLEY A 20'
CLEAR SKY LANE 60' ROW
LOGAN LANE 60' ROW
LOGAN LANE 54' ROW
LOGAN LANE 50' ROW
LOWE AVE EXTENSION 60' ROW
SUN VIEW DRIVE NW
70'X10' SIGHT TRIANGLE
25'X25' SIGHT TRAINGLE
1'-6" STANDARD CURB & GUTTER (TYP.)
60' Proposed Access Easement
Intermittent Stream "C"
Wetlands "A"
Aprrox. 100 Year Flood Line Per FEMA
STUB-OUT FOR FUTURE CONNECTION
NATURAL SURFACE NATURE TRAIL
20' VEGETATED SETBACK
CLASS 2 UNDISTURBED STREAM BUFFER
ZONING: RC

LOT 1 0.143 ACRES 6245 SQ. FT.
LOT 2 0.173 ACRES 7543 SQ. FT.
LOT 3 0.245 ACRES 10671 SQ. FT.
LOT 4 0.255 ACRES 11105 SQ. FT.
LOT 5 0.173 ACRES 7538 SQ. FT.
LOT 6 0.149 ACRES 6480 SQ. FT.
LOT 7 0.204 ACRES 8873 SQ. FT.
LOT 8 0.163 ACRES 7113 SQ. FT.
LOT 9 0.149 ACRES 6480 SQ. FT.
LOT 10 0.149 ACRES 6480 SQ. FT.
LOT 11 0.149 ACRES 6480 SQ. FT.
LOT 12 0.149 ACRES 6480 SQ. FT.
LOT 13 0.149 ACRES 6480 SQ. FT.
LOT 14 0.274 ACRES 11946 SQ. FT.
LOT 15 0.212 ACRES 9225 SQ. FT.
LOT 16 0.152 ACRES 6606 SQ. FT.
LOT 17 0.156 ACRES 6801 SQ. FT.
LOT 18 0.140 ACRES 6119 SQ. FT.
LOT 19 0.143 ACRES 6216 SQ. FT.
LOT 20 0.145 ACRES 6315 SQ. FT.
LOT 21 0.149 ACRES 6461 SQ. FT.
LOT 22 0.152 ACRES 6606 SQ. FT.
LOT 23 0.209 ACRES 9099 SQ. FT.
LOT 24 0.222 ACRES 9653 SQ. FT.
0.144 ACRES PASSIVE COMMON OPEN SPACE
0.017 ACRES PASSIVE COMMON OPEN SPACE
0.011 ACRES PASSIVE COMMON OPEN SPACE
0.011 ACRES PASSIVE COMMON OPEN SPACE
0.144 ACRES PASSIVE COMMON OPEN SPACE

NOTE:
LIGHTING TO BE PROVIDED @ INTERSECTION OF SUNVIEW DR. NW & LOGAN LANE

REVISION	DATE	DESCRIPTION

SUNVIEW SUBDIVISION

SITE LAYOUT

838 SUNVIEW DR. NW, CONCORD, NC 28027
DREAM FINDERS HOMES - 301 MCCULLOUGH DRIVE STE. 109, CHARLOTTE, NC 28262
PROJECT NO. 23005
PROJECT MANAGER: NICK BUYSSE, PE

DAYLIGHT ENGINEERING
57 UNION STREET SOUTH, CONCORD, NC 28025 · (980) 234-7500 · WWW.DAYLIGHTENG.COM
NCBELS LICENSE: P-2772

ENGINEERS SEAL

PRELIMINARY NOT FOR CONSTRUCTION
09/27/2023

C200

The **Amber**

2 Bedrooms
2.5 Bathrooms
1,698 - 1,709 sq ft

The specific features in a home may vary from home to home and from one community to another. Square footage and dimensions are estimated and may vary in actual construction. We reserve the right to substitute equipment, material, appliances and brand names with items of equal or higher value at our sole discretion. As we continue to improve our customer satisfaction we occasionally make changes to specific floor plans. This flyer, which is for marketing purposes only, reflects changes made as of 5/1/2020. Homes built prior to that date may have slight variations.

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Builder 100 One of America's Top Homebuilders

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EQUAL HOUSING OPPORTUNITY

HHhomes.com

H&H HOMES

The **Sunstone**

2 Bedrooms
2.5 Bathrooms
1,511-1840 sq ft

The specific features in a home may vary from home to home and from one community to another. Square footage and dimensions are estimated and may vary in actual construction. We reserve the right to substitute equipment, material, appliances and brand names with items of equal or higher value at our sole discretion. As we continue to improve our customer satisfaction we occasionally make changes to specific floor plans. This flyer, which is for marketing purposes only, reflects changes made as of 04/01/2020 Homes built prior to that date may have slight variations. Floor plans are the copyrighted property of H&H Homes. ©2020 H&H Homes.

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ecoSelect

HHhomes.com

H&H HOMES

The **Amber**

2 Bedrooms
2.5 Bathrooms
1,698 - 1,709 sq ft

The specific features in a home may vary from home to home and from one community to another. Square footage and dimensions are estimated and may vary in actual construction. We reserve the right to substitute equipment, material, appliances and brand names with items of equal or higher value at our sole discretion. As we continue to improve our customer satisfaction we occasionally make changes to specific floor plans. This flyer, which is for marketing purposes only, reflects changes made as of 5/1/2020. Homes built prior to that date may have slight variations.

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Builder 100 One of America's Top Homebuilders

ecoSelect

EQUAL HOUSING OPPORTUNITY

HHhomes.com

H&H HOMES

THE CARDINAL

4 BEDROOM | 2.5 BATH | 2 CAR GARAGE | 2,235 SQ. FT. LIVING AREA

ELEVATION A

ELEVATION B

ELEVATION C

REV. 11/16/18

DREAMFINDERSHOMES.COM
Site maps, floor plans and elevations are artist's rendering only and are subject to change without notice. Dimensions, plans and specifications are not to scale. Contact your new home sales associate for more details. Dream Finders Homes CBC1252734

THE RIVERBIRCH

3 BEDROOM | 2.5 BATH | 2 CAR GARAGE | 1,712 SQ. FT. LIVING AREA

ELEVATION A

ELEVATION B

ELEVATION C

REV. 4/1/20

Site maps, floor plans and elevations are artist's rendering only and are subject to change without notice. Dimensions, plans and specifications are not to scale. Contact your new home sales associate for more details. Dream Finders Homes CBC1252734

THE WAYFARE

3-5 BEDROOM | 2.5-3 BATH | 2 CAR GARAGE | 2,267 SQ. FT. LIVING AREA

ELEVATION A

ELEVATION B

ELEVATION D

REV. 4/8/20

DREAMFINDERSHOMES.COM
Site maps, floor plans and elevations are artist's rendering only and are subject to change without notice. Dimensions, plans and specifications are not to scale. Contact your new home sales associate for more details. Dream Finders Homes CBC1252734

Residential: Single Family Detached

Weddington Road Site (CN-PSA-2022-00061)

4460 Weddington Rd.

DRC	Entitled	Units	PRS Routed	Technically Approved
9/3/2021	Yes	65	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	No	No	No

Allocation Request

Total	2024	2025
19,500	15,000	4,500

Project Scoring

Small Area Plan	Vertical Mixed Use	Redevelopment Site	Horizontal Mixed Use	Downtown (MSD)	Located Adjacent to Existing Sewer	Annex.	Total
2	0	1	0	0	1	0	4

Brief Summary

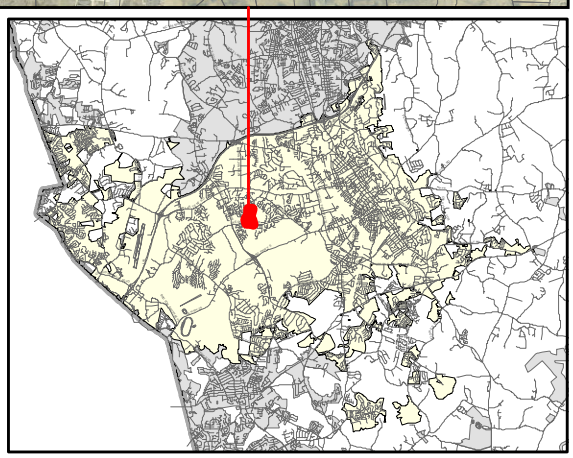
This is a new applicant but the same proposal. The sewer allocation from July 2022 expired on July 19, 2023. This applicant is seeking allocation for 65 single family detached units at 4460 Weddington Road. The property is zoned RV, and the project will incorporate single family attached (166units) and single family detached. This component of the allocation is for the 65 single family detached units. The project is located within the boundaries of the Weddington Road Corridor Plan. A preliminary plat was submitted for the project (CN-PLP-2022-00001), but the City has been awaiting resubmittal since 2/16/22 (as of 5/15/22): it has been through one review cycle.

CN-PSA-2023-00061

Type: Residential
SF Attached
166 townhome units

Allocation Request: 37,350
Project Score: 4

Developments
Parcels
Rivers
Concord
Cabarrus County



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	**Project Title:**	Weddington Road Site					
2.)	**Description of project location:**	Directly West of West Cabbarus High School, Near Weddington Rd and George Lyles Pkwy Intersection (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####)					
3.)	**Cabarrus County Parcel Identification Number:**	56007478020000	3a.)	**Parcel Acreage:**	75.83		
4.)	**Site Zoning and use:**	RV	5.)	**Area Commercial or Industrial Building (sq. ft.)**	N/A		
6a.)	**Description of Facility to be served.**	Residential Neighborhood	6b.)	**Number of Lots**	231	6c.) **Number of Units**	231
7d.)	**Additional description information:**	Mixed Residential Neighborhood with single family homes and attached townhomes.					

B. Applicant Information

Brian Johnson, Vice President (Title) (Name of legal owner, board, council, and/or authorized official with title; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	2025 Ayrsley Town Boulevard, Ste 1104 (Applicant's Street or Box Number)
Mattamy Carolina Corporation (Name of Applicant's company, city, town, corporation, sanitary district, water company or other defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	Charlotte, NC 28273 (Applicant's City, State, Zip Code)
704.507.7547 (Applicant's Phone Number)	N/A (Applicant's Facsimile Number)
Brian Johnson (Name) BA.johnson@mattamycorp.com (Email) (Name with Title and Email of contact person, who can answer questions about application)	BA.Johnson@mattamycorp.com (Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

Matthew R. Reiking (Typed name of North Carolina Professional Engineer)	ESP Associates, Inc. (Company Name)
038830 (NCPE Registration Number)	P.O. Box 7030 (Street or Box Number)
803.802.2440 (Phone Number)	Charlotte, NC 28241 (City, State, Zip Code)
Matt Reiking (Name and affiliation of contact person, who can answer questions about application & designs)	mreiking@espassociates.com (Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

✔	Residential Subdivision		Retail (Stores, shopping centers)
	Apartments/Condominiums		Institution
	Mobile Home Park		Hospital, nursing home, dental
	School, preschool, daycare		Church
	Restaurants (Food or drink facilities)		Sports Centers
	Hotels or motels		Business, offices, factories
	Other (specify):____		

2.) The type of wastewater is (indicate percentage):

100	**% Domestic**
	% Commercial
	% Industrial
	% Other use (Specify) ____

3.) Pretreatment required:
(●) No
( ) Yes **(Specify or attach effluent documentation)**
____

4.) **Volume of wastewater flow to be allocated for this particular project:** 56,850 gallons per day
*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**
(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**
a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).
b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**
{**Flow rates NOT listed in table 15A NCAC 2T .0114** must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)	No. of Units	Flow	
Single Family Homes (Assumed 4 Br)	75gal/day/bedroom x 4 = 300 gal/ day	65	GPD	19,500
Townhomes (Assumed 3 Br)	75gal/day/bedroom x 3 = 225 gal/ day	166	GPD	37,350
	gal/		GPD	
	gal/		GPD	
	gal/		GPD	
	gal/		GPD	
		Total	GPD	56,850

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I Brian Johnson (Printed Name) **the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.**

Signature: Date: 10-2-23

October 3, 2023

City of Concord
Engineering Department
P.O. Box 308
Concord, NC 28026-0308

RE: Weddington Road Site
Concord, NC
Preliminary Wastewater Flow Narrative

To Whom It May Concern;

A proposed residential development, currently referred to as the Weddington Road Site is being proposed by Mattamy Homes as generally shown in the "Weddington Road Site Preliminary Concept Plan" last dated March 7, 2023, prepared by ESP Associates, Inc. The project encompasses approximately 75.8 acres within Tax Parcel ID#56007478020000. The proposed development is located directly South and West of the West Cabarrus High School along Weddington Road near the intersection of Weddington Road and George Lyles Parkway and consists of approximately:

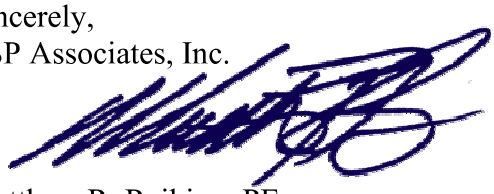
- +/-231 Total Units:
  - 166 Townhome Front-Loaded Units, assumed to be an average of 3 bedrooms per unit.
  - 65 Single Family Detached Residential Lots, assumed to be an average of 4 bedrooms per home.
- Utilization of Existing RV Zoning.
- Three (3) tie ins of proposed streets to existing public roadways.
- Tie-in to existing City of Concord public water and sewer infrastructure.
- Water quality areas to manage and control stormwater runoff from the proposed development.
- Grading to minimize impacts to protected streams/wetlands, as feasible.
- Incorporation of at least 15% of the total site areas as shared public spaces and open areas for use by the residents.
- Incorporation of tree save equal to or greater than 50% required common open space.
- No industrial development.

This proposed development is estimated to produce 56,850 gal/day of wastewater flow, assuming 75gal/day/bedroom. Wastewater is currently anticipated to be managed by tying into and utilizing the existing City's sanitary sewer system surrounding the site.

ESP Associates, Inc.
P.O. Box 7030 ▪ Charlotte, NC 28241
1.800.960.7317 ▪ NC: 704.583.4949, fax 704.583.4950 ▪ SC: 803.802.2440, fax 803.802.2515
www.espassociates.com

If you have any questions or require any additional information, please do not hesitate to contact me by phone at 704-654-5336 or via email at mreiking@espassociates.com.

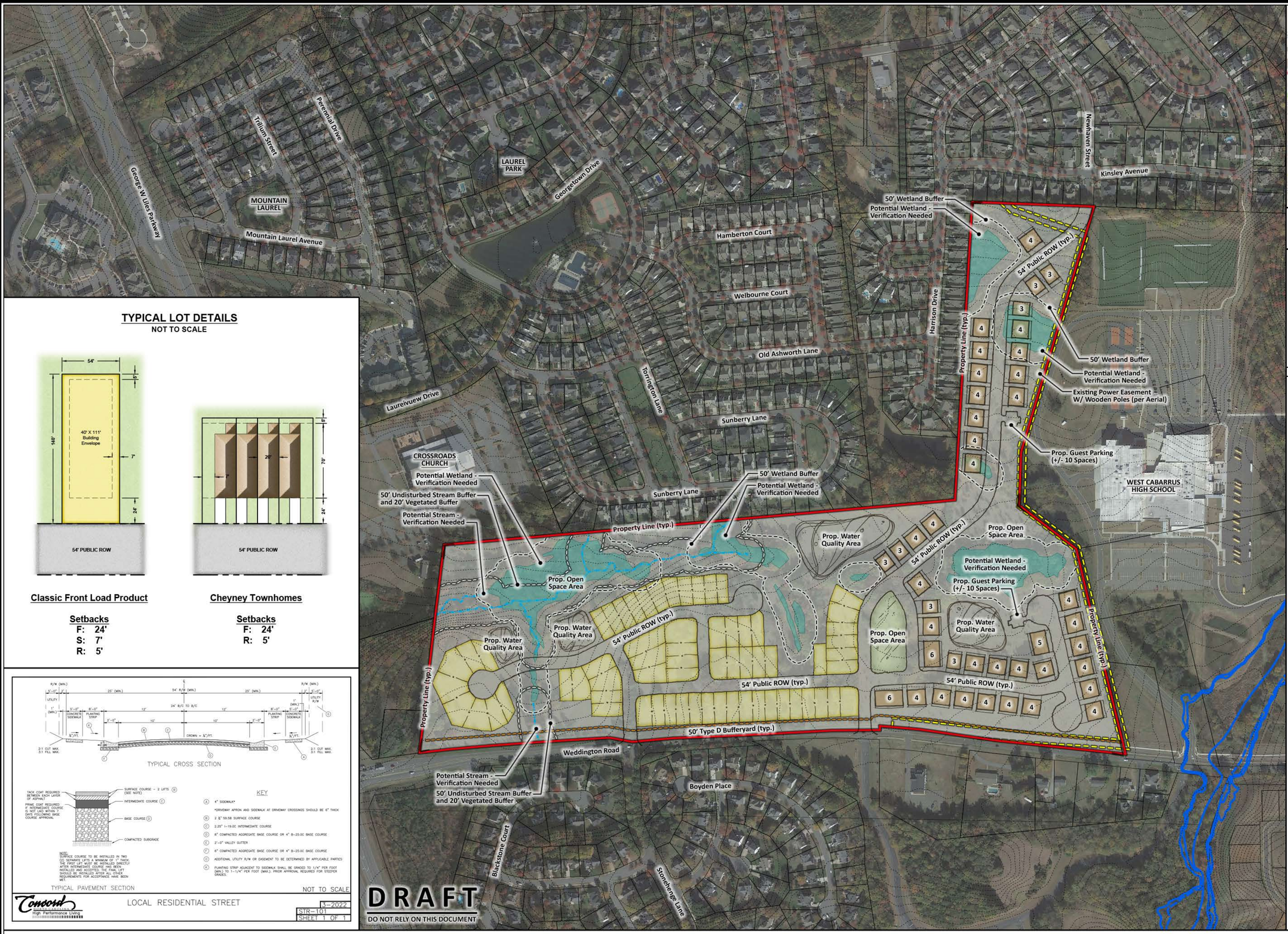
Sincerely,
ESP Associates, Inc.



Matthew R. Reiking, PE
Civil Engineering Department Manager

cc: Brian Johnson – Vice President Mattamy Carolinas Corp.

ESP Associates, Inc.
P.O. Box 7030 ▪ Charlotte, NC 28241
1.800.960.7317 ▪ NC: 704.583.4949, fax 704.583.4950 ▪ SC: 803.802.2440, fax 803.802.2515
www.espassociates.com



DRAFT
DO NOT RELY ON THIS DOCUMENT

Vicinity Map

Not To Scale

NORTH

Site Data:

Tax Parcels:	56007478020000
Total Acreage:	+/- 75.83 Acres (per GIS)
Location:	City of Concord, North Carolina
Zoning:	
Existing:	RV
Total Potential Lots:	+/- 231 Units
Cheyney Townhomes:	+/- 166 Units (20' x 60')
Classic Product:	+/- 65 Units (54' x 140')
Potential Density:	+/- 3.05 DU/AC
Open Space:	
Required:	+/- 11.37 Acres (15%) Min.
Proposed:	+/- 11.37 Acres (15%)
Tree Save:	
Required:	50% of Required Open Space
Proposed:	50% of Required Open Space
Connectivity:	
Required:	1.4 (Links/Nodes)
Proposed:	1.33 (16 Links/12 Nodes)
Road Length:	
54' Public ROW:	+/- 7,700 LF

General Notes

1. Base information provided by Cabarrus County GIS Data and should be verified for accuracy.
2. All site plan, zoning, and wetland information utilized in the preparation of this plan is considered to be preliminary in nature and subject to change and final verification.
3. Draft - Do not rely on this document.

Floodplain Information

Floodplain information obtained from FEMA FIRM Panel 3710561100K effective date of study 11/16/2018.

Stream/Wetland Information

Stream/Wetland information is based on preliminary information provided to ESP by Cabarrus County GIS data. For purposes of preparation of this Preliminary Concept Plan, any potential wetland areas and stream features depicted on the plan are considered to be preliminary in nature and approximate in location. The Preliminary Concept Plan will need to be revised once all agencies approved on-site wetland/stream and appropriate jurisdictional boundaries are surveyed and verified with acceptable levels of accuracy- unit loss may occur.

Access Points/Driveways/Streets

1. Proposed project site entrance locations are considered preliminary in nature and need to be verified for adequate sight distance.
2. All roadway and street systems are considered to be preliminary and will need to be verified for sufficiency to satisfy or exceed minimum requirements established in the City of Concord Development Ordinance and applicable standards identified by NCDOT. Street connections are conceptual and may be subject to change based on agency input and review.

Open Space /Tree Save

Open Space and Tree Save areas are conceptual and preliminary. The exact location of these areas may change as the client finalizes decisions regarding final layout, product allocation, and as other spatially dependent project components such as stormwater areas, wetland areas, utility features, and buffers, (as applicable) for this project are better defined.

Potential Stormwater Quality Areas

Location of proposed stormwater areas are conceptual and preliminary and still need to be determined. The exact size and location of these areas will change as the client finalizes decisions regarding final layout, product allocation, and as other proposed changes to the project are better defined. Layout and unit count subject to change based on final design of stormwater areas.

Public Information

ESP Associates is not responsible for plan deficiencies created by incorrect, incomplete, missing or outdated information derived from public sources such as GIS, Planning and Zoning departments.

TYPICAL LOT DETAILS

NOT TO SCALE

Classic Front Load Product

Setbacks
F: 24'
S: 7'
R: 5'

Cheyney Townhomes

Setbacks
F: 24'
R: 5'

Weddington Road Site

Preliminary Concept Plan

ESP Job #23-00015 March 7, 2023

GRAPHIC SCALE
200 0 100 200 400
1 INCH = 200 FT.

ESP Associates, Inc.
P.O. Box 7030
Charlotte, NC 28241
803.802.2440
www.espassociates.com

2127 Ayrsley Town Boulevard, Suite 201
Charlotte, NC 28273

Residential: Single Family Detached

Poplar Mills (Park Place) (CN-PSA-2023-00062)

1200 Cox Mill Road

DRC	Entitled	Units	PRS Routed	Technically Approved
7/2/2020	Yes	14	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
Yes	Yes	No	Yes	Yes

Allocation Request

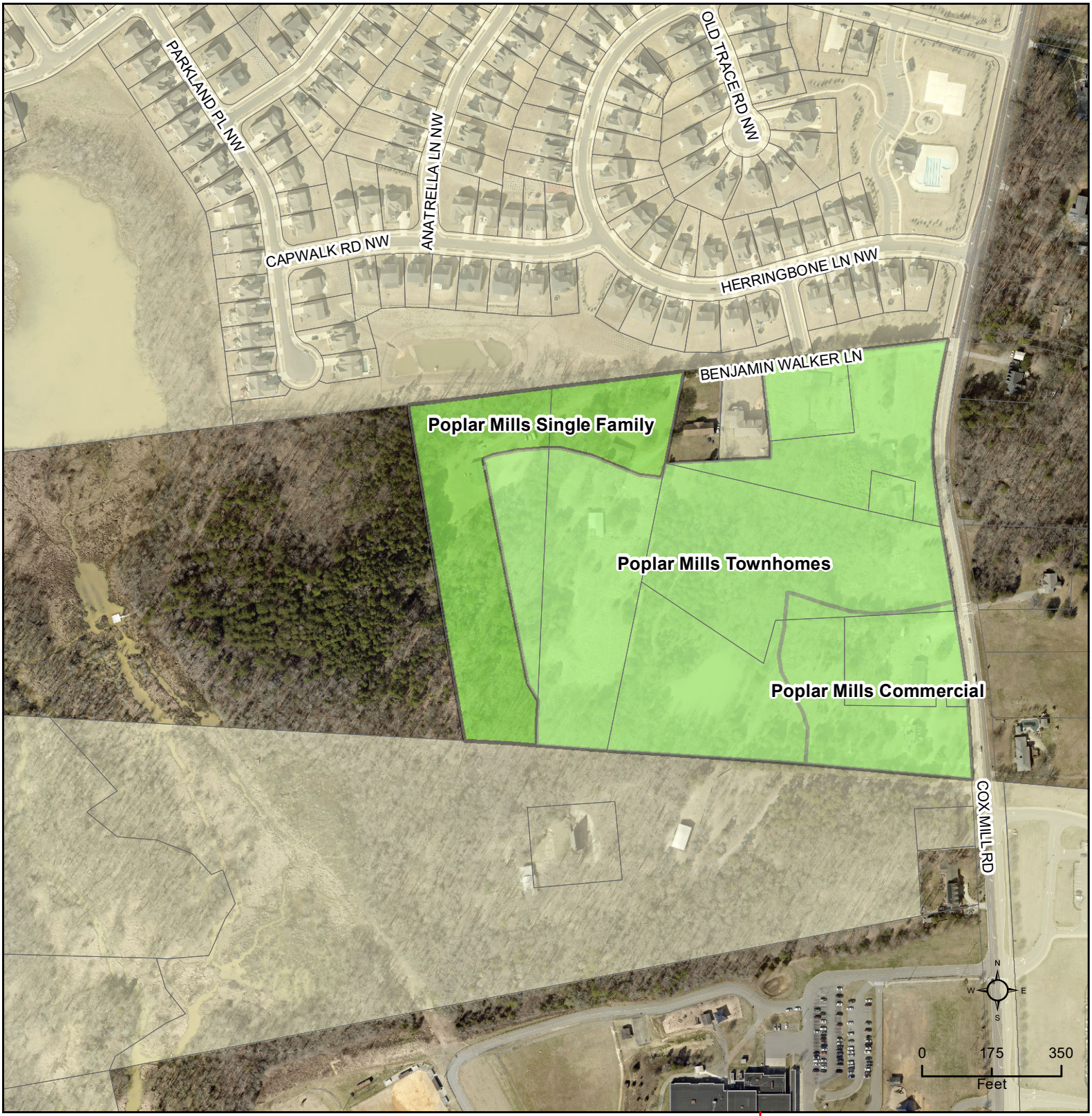
Total	2024
4,200	4,200

Project Scoring

Small Area Plan	Vertical Mixed Use	Redevelopment Site	Horizontal Mixed Use	Downtown (MSD)	Located Adjacent to Existing Sewer	Annex.	Total
0	0	0	1	0	0	0	1

Brief Summary

The applicant is seeking sewer allocation for 14 single family detached residential units at 1200 Cox Mill Rd. NW. This site was heard and approved for rezoning on June 15, 2021. This is part of a larger horizontal mixed-use project with 141 units of single family attached and 31,250 square foot of commercial space including restaurant, retail, and daycare: the total square footage permissible by zoning is less than what is being requested in the non-residential sewer application. This site is adjacent to Jim Ramseur Park. The applicant has a preliminary plat in the system for review and is record number CN-PLP-2022-00006.

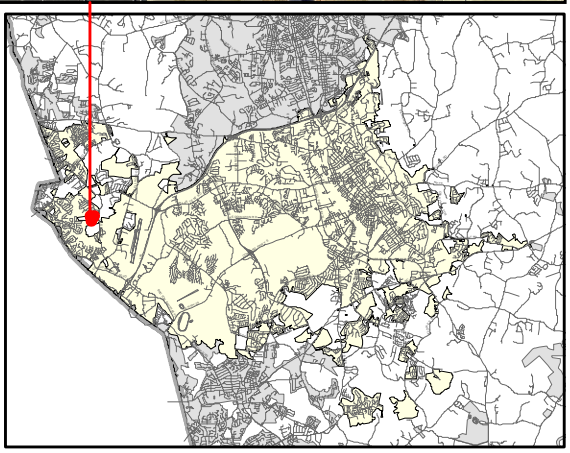


CN-PSA-2023-00062

Type: Residential
SF Detached
14 single family units

Allocation Request: 4,200
Project Score: 1

Developments
Parcels
Rivers
Concord
Cabarrus County



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	Project Title:	Poplar Mills				
2.)	Description of project location:	LOCATED ON COX MILL RD (SR-1448), APPROX 3500 LF SOUTH OF THE INTERSECTION OF POPLAR TENT RD (SR-1394) AND COX MILL RD (SR-1448) (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####)				
3.)	Cabarrus County Parcel Identification Number:	468033-8708	3a.)	Parcel Acreage:	28.03	
4.)	Site Zoning and use:	PUD	5.)	Area Commercial or Industrial Building (sq. ft.)	32,000	
6a.)	Description of Facility to be served.	SINGLE FAMILY/TOWNHOMES/COMMERCIAL	6b.) Number of Lots	56	6c.) Number of Units	165
7d.)	Additional description information:	ALSO INCLUDES PARCELS: 468034-8230, 468043-1923, 468044-0386, 468044-0585, 468034-8660, 468034-3187, 468034-1315				

B. Applicant Information

HARI VUPPALA (Title)	407 SUTRO FOREST DR. NW
(Name of legal owner, board, council, and/or authorized official with title; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	(Applicant's Street or Box Number)
AVA GLOBAL, LLC	CONCORD, NC, 28027
(Name of Applicant's company, city, town, corporation, sanitary district, water company or other defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	(Applicant's City, State, Zip Code)
704-488-3290	N/A
(Applicant's Phone Number)	(Applicant's Facsimile Number)
HARI VUPPALA (Name) AVAGLOBALLLC@GMAIL.COM (Email)	AVAGLOBALLLC@GMAIL.COM
(Name with Title and Email of contact person, who can answer questions about application)	(Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

HY NGUYEN	DPR DESIGN
(Typed name of North Carolina Professional Engineer)	(Company Name)
NC PE 030523	919 BERRYHILL RD. SUITE 101
(NCPE Registration Number)	(Street or Box Number)
704-332-1204	CHARLOTTE, NC 28208
(Phone Number)	(City, State, Zip Code)
BEN LAWRENCE	HNGUYEN@DPR.DESIGN
(Name and affiliation of contact person, who can answer questions about application & designs)	(Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

✓	Residential Subdivision	✓	Retail (Stores, shopping centers)
	Apartments/Condominiums		Institution
	Mobile Home Park		Hospital, nursing home, dental
✓	School, preschool, daycare		Church
✓	Restaurants (Food or drink facilities)		Sports Centers
	Hotels or motels		Business, offices, factories
	Other (specify):____		

2.) The type of wastewater is (indicate percentage):

70	% Domestic
30	% Commercial
	% Industrial
	% Other use (Specify) ____

3.) Pretreatment required:
(●) No
( ) Yes **(Specify or attach effluent documentation)**
____

4.) **Volume of wastewater flow to be allocated for this particular project:** 57,775 gallons per day
*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**
(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**

a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)			No. of Units	Flow	
SINGLE FAMILY DETACHED	300	gal/	UNIT/DAY	14	GPD	4,200
TOWNHOMES	225	gal/	UNIT/DAY	154	GPD	34,650
RESTAURANT	40	gal/	DAY/SEAT	220	GPD	8,800
RETAIL	100	gal/	DAY/1000 SF	11250	GPD	1,125
DAYCARE	25	gal/	DAY/CHILD+STAFF	340	GPD	8,500
POOL/CLUBHOUSE	10	gal/	PERSON	50	GPD	500
				Total	GPD	57,775

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I Hari Vuppala (Printed Name), **the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.**

Hari Vuppala Digitally signed by Hari Vuppala Date: 2022.12.22 11:25:01 -05'00' 10-03-2023

Signature: Date:

Poplar Mills Narrative

Due October 16, 2023, for consideration December 2023

Site Development Data:

--Acreage: ± 28.03 acres

--Tax Parcel #: 4680-34-1315, 4680-34-3187, 4680-34-8660, 4680-44-0585, 4680-44-0386, 4680-33-8708, 4680-43-1923, and 4680-34-8230

--Existing Zoning: LDR

--Proposed Zoning: PUD

--Existing Uses: Residential/Vacant

--Proposed Uses: 14 single-family detached dwelling units and 154 single family attached units. 2 commercial use buildings.

General:

Poplar Mills is a mixed-use development located on Cox Mill Road in Concord, NC approximately 3500' south of the intersection of Cox Mill Rd and Poplar Tent Rd. It will consist of 14 detached single-family units, 154 attached townhome units and 2 commercial buildings totaling 32,000 sf. Building 1 has been proposed for restaurant and retail use. Building 2 has been proposed for daycare use. Community amenities will include bench seating, walking trails, play areas as well as a community pond.

Project Description:

The site development plan concept will create a mixed use, pedestrian friendly community with a sustainable mix of residential and commercial land uses and intensities containing neighborhood services surrounded by sustainable neighborhood housing with diverse housing types, natural resources, open space areas, and connectivity to the planned community park as well as elementary and high school facilities in walking distance.

This planned development is consistent with the City's 2030 Land Use Plan in accordance with maintaining a sustainable balance of residential and commercial land uses, ensuring compatibility between neighboring land uses, protecting natural resources, retaining open space, connecting mixed uses by way of an integrated network of streets, bike paths and pedestrian access, among other plan goals.

In the event this development receives preliminary sewer capacity allocation for one or more uses, but not all proposed uses, the project will proceed with the approved use(s) and the developer will reapply until all proposed uses have been approved.

Consistent with Purposes of Planned Unit Development:

The proposed planned development will provide for the orderly development of land with a mix of land uses and PUD zoning district to permit flexibility in certain site design features and processing of this quality mixed-use development in exchange for enhanced design elements such as enhanced open space areas and multi-modal connectivity within the community. The proposed planned development promotes the most appropriate use of parcels on the Site, facilitates interconnected streets, substantial open spaces, unified signage/wayfinding, sidewalks, and bike paths with connectivity to the planned community park and nearby schools. The plan preserves/enhances open space and natural features that also offer recreational opportunities to residents. The proposed plan also supports neighborhood services uses for the broader community within walking or biking distances reducing vehicle trips to other commercial nodes.

Design Intent Statement:

Poplar Mills is a proposed walkable residential community where the residents of the community will have convenient and easy access to a series of passive and active open spaces that are interconnected by a network of streets, sidewalks, and trails.

Environmental Features:

The Site will comply with Stormwater and Water Quality requirements as set forth in the Ordinance and applicable NCDEQ Design Manual.

The Site is located outside of any FEMA 100-yr floodway and floodplain.

Price Points for Homes:

$400k+ for Townhomes and $450K+ for Single Family Detached homes.

SCALE: 1" = 100'
0 50' 100' 200'

1 SCHEMATIC ILLUSTRATIVE SITE PLAN

PLAN

SCALE: 1" = 100'

2 ARCHITECTURE PRECEDENT IMAGERY

Park View Commercial View 1
04/29/2021

Park View Commercial View 2
04/29/2021

Park View Commercial View 3
04/29/2021

Park View Commercial View 4
04/29/2021

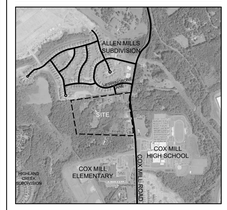
3 OPEN SPACE PRECEDENT IMAGERY

dpr design
master planning . civil engineering
urban design . landscape architecture
919 berryhill rd. ste 101 . charlotte, nc 28208
704.332.1204 . www.dpr.design
NC Eng. Firm #C-0650 | LA Firm #C-032

CLIENT / OWNER

AVA GLOBAL, LLC
407 SUTRO FOREST DR NW
CONCORD, NORTH CAROLINA, 28027
704.488.3290

KEY MAP



PROJECT

POPLAR MILLS

COX MILL ROAD
CONCORD, NORTH CAROLINA

PROJECT NUMBER
22005

DATE
08.14.2023

ISSUED FOR
REZONING

REVISIONS

NO.	DATE	DESCRIPTION	BY

PROJ. MANAGER: HN
DRAWN BY: AF
CHECKED BY: HN

SEAL

SCALE
AS INDICATED

DRAWING
ILLUSTRATIVE SITE PLAN

RZ-1

Plotted: 22005-RZ1.dwg / 8/14/2023 9:09 AM

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ORIGINAL SHEET SIZE: 24" X 36"

Park View Commercial View 1
04/29/2021

REDLINE | DESIGN GROUP
ARCHITECTURE | INTERIOR DESIGN | PLANNING | GRAPHIC DESIGN

Park View Commercial View 2
04/29/2021

REDLINE | DESIGN GROUP
ARCHITECTURE | INTERIOR DESIGN | PLANNING | GRAPHIC DESIGN

Park View Commercial Aerial View
04/29/2021

REDLINE | DESIGN GROUP
ARCHITECTURE | INTERIOR DESIGN | PLANNING | GRAPHIC DESIGN

Park View Commercial View 3
04/29/2021

REDLINE | DESIGN GROUP
ARCHITECTURE | INTERIOR DESIGN | PLANNING | GRAPHIC DESIGN

Park View Commercial View 4
04/29/2021

REDLINE | DESIGN GROUP
ARCHITECTURE | INTERIOR DESIGN | PLANNING | GRAPHIC DESIGN

Park View Commercial Material Palette
04/29/2021

REDLINE | DESIGN GROUP
ARCHITECTURE | INTERIOR DESIGN | PLANNING | GRAPHIC DESIGN

1A | OFFICE / COMMERCIAL
CONCEPTUAL ELEVATION

ARCHITECTURE TO MATCH STYLE/INTENT OF COMMERCIAL PRECEDENT.

1B | CLUB/AMENITY
CONCEPTUAL ELEVATION

- BEIGE WINDOW FRAMES, MULLIONS
- STANDARD GREY MODULAR BRICK
- GREY CMU
- 2 COLORS OF CEMENTIOUS EXTERIOR ('HARDIE') BOARD, BOARD & BATTEN, AND CLAPBOARD SIDING
- GUNMETAL GREY POWDER COATED ALUMINUM HANDRAILS AT BALCONIES
- ALUMINUM GUTTERS/DOWNSPOUTS
- METAL TRIM/COPING TO MATCH GUTTERS/DOWNSPOUTS
- CHARCOAL 20 YEAR ASPHALT SHINGLES

2 | SINGLE FAMILY HOME EXTERIOR MATERIALS
CONCEPTUAL ELEVATION

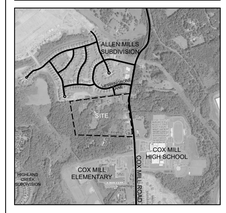
- BRICK/STONE
- VINYL SIDING
- CEMENTIOUS EXTERIOR ('HARDIE') BOARD SIDING
- BOARD AND BATTEN

3 | TOWNHOMES (SINGLE FAMILY ATTACHED) EXTERIOR MATERIALS
CONCEPTUAL ELEVATION

dpr design
master planning . civil engineering
urban design . landscape architecture
919 berryhill rd. ste 101 . charlotte, nc 28208
704.332.1204 . www.dpr.design
NC Eng. Firm #C-0650 | LA Firm #C-032

CLIENT / OWNER
AVA GLOBAL, LLC
407 SUTRO FOREST DR NW
CONCORD, NORTH CAROLINA, 28027
704.488.3290

KEY MAP



PROJECT
POPLAR MILLS
COX MILL ROAD
CONCORD, NORTH CAROLINA

PROJECT NUMBER
22005

DATE
08.14.2023

ISSUED FOR
REZONING

REVISIONS

NO.	DATE	DESCRIPTION	BY

PROJ. MANAGER: HN
DRAWN BY: AF
CHECKED BY: HN

SEAL

SCALE
AS INDICATED

DRAWING
ARCHITECTURAL CHARACTER

RZ-5

Plotted: 22005-RZ1.dwg / 8/14/2023 9:10 AM

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ORIGINAL SHEET SIZE: 24" X 36"

Residential: Single Family Detached

1015 Rockland Cir Subdivision (CN-PSA-2023-00087)

1015 Rockland Cir.

DRC	Entitled	Units	PRS Routed	Technically Approved
11/2/2023	Yes	5	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	No	No	No

Allocation Request

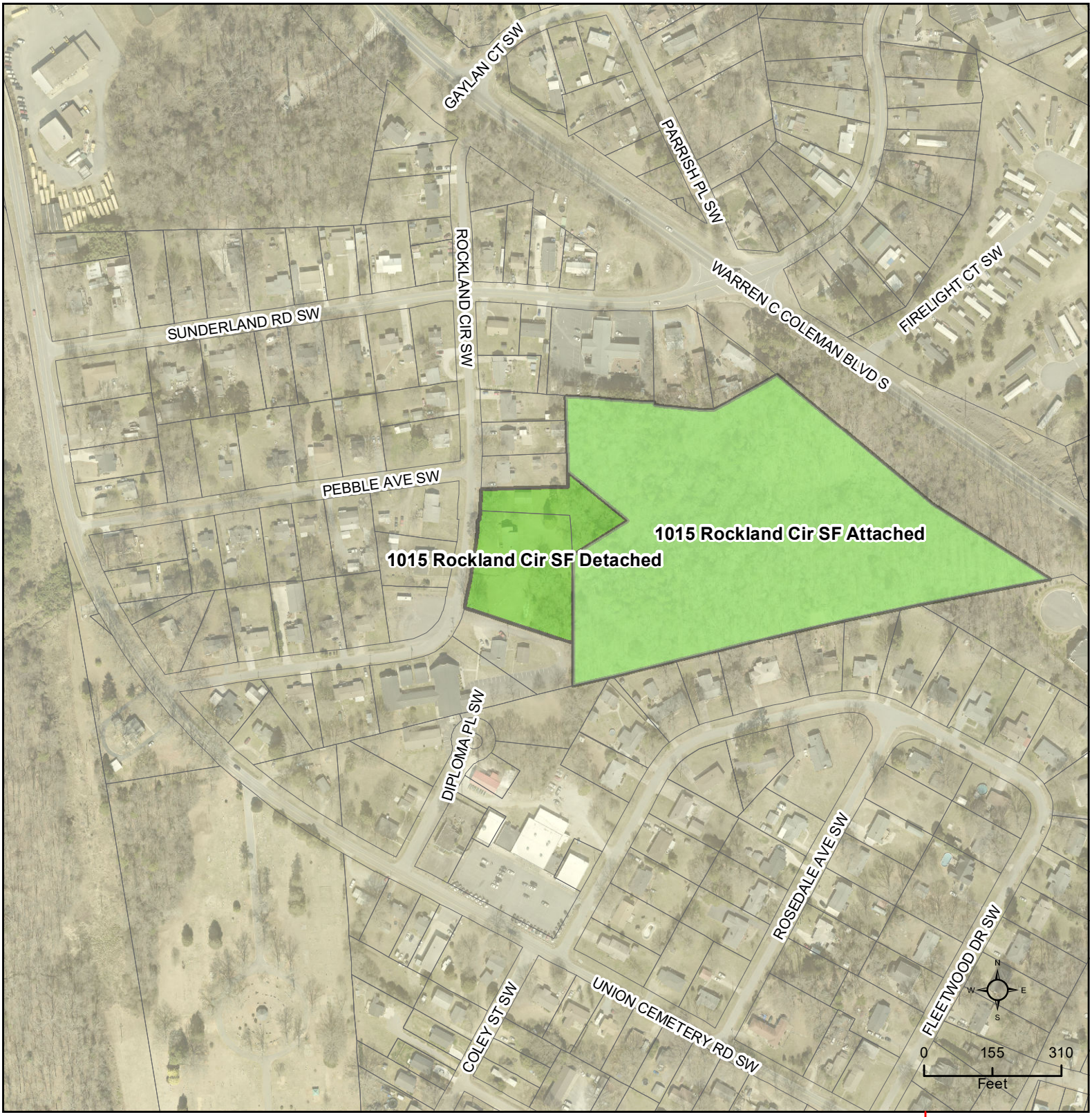
Total	2024
1,500	1,500

Project Scoring

Small Area Plan	Vertical Mixed Use	Redevelopment Site	Horizontal Mixed Use	Downtown (MSD)	Located Adjacent to Existing Sewer	Annex.	Total
0	0	1	0	0	1	0	2

Brief Summary

The applicant is seeking sewer allocation for 5 single family detached residential units at 1015 Rockland Circle. The applicant is proposing a total project including 10 workforce housing townhomes that they will partner with WeBuild and 54 townhomes. They are also proposing 5 10,000 single family lots located at the entrance of the proposed community.

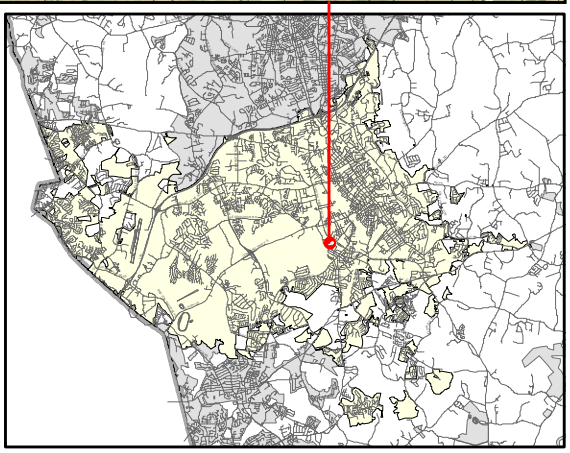


CN-PSA-2023-00087

Type: Residential
SF Detached
5 single family units

Allocation Request: 1,500
Project Score: 2

Developments
Parcels
Rivers
Concord
Cabarrus County



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	**Project Title:**	1015 Rockland Circle Subdivision				
2.)	**Description of project location:**	Site located at 1015 Rockland Circle SW, approximately 0.2 miles NE of the intersection of Rockland Cir. SW and Union Cemetery Road SW. (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####))				
3.)	**Cabarrus County Parcel Identification Number:**	5620-20-1146 & 5620-20-4226	3a.)	**Parcel Acreage:**	+/- 11.870 ac	
4.)	**Site Zoning and use:**	RM-2 & RC, Residential	5.)	**Area Commercial or Industrial Building (sq. ft.)**	0	
6a.)	**Description of Facility to be served.**	Residential Subdivision	**6b.) Number of Lots**	69	**6c.) Number of Units**	
7d.)	**Additional description information:**	Single Family Homes & Townhomes				

B. Applicant Information

Cynthia Ann Hodges , Property Owner (Title)	1201 Castlemoor Ct.
(**Name** of **legal owner**, **board**, **council**, and/or **authorized official with title**; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	(Applicant's Street or Box Number)
Justin Mueller	Raleigh, NC 27606
(**Name of Applicant's company, city, town, corporation, sanitary district, water company or other** defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	(Applicant's City, State, Zip Code)
704-578-5688	
(Applicant's Phone Number)	(Applicant's Facsimile Number)
Kate Underwood, PhD, PE (Name) / kate@daylighteng.com (Email)	mueller.justin@gmail.com
(Name with Title and Email of contact person, who can answer questions about application)	(Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

Kate Underwood , PhD, PE	Daylight Engineering
(Typed name of North Carolina Professional Engineer)	(Company Name)
033470	P.O Box 1804
(NCPE Registration Number)	(Street or Box Number)
(980) 234-7500	Concord, NC, 28026-1804
(Phone Number)	(City, State, Zip Code)
Kate Underwood, PhD, PE	kate@daylighteng.com
(Name and affiliation of contact person, who can answer questions about **application & designs**)	(Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

✔	Residential Subdivision		Retail (Stores, shopping centers)
	Apartments/Condominiums		Institution
	Mobile Home Park		Hospital, nursing home, dental
	School, preschool, daycare		Church
	Restaurants (Food or drink facilities)		Sports Centers
	Hotels or motels		Business, offices, factories
	Other (specify):_____		

2.) The type of wastewater is (indicate percentage):

100	% Domestic
	% Commercial
	% Industrial
	% Other use (Specify) _____

3.) Pretreatment required:

(●) No
( ) Yes (Specify or attach effluent documentation)

4.) **Volume of wastewater flow to be allocated for this particular project:** 17,100 gallons per day

*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**

(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**

a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)		No. of Units	Flow	
Single Family Homes Detached	75 gal/	bedroom * 4 bedrooms	5	GPD	1,500
Townhomes	75 gal/	bedroom * 4 bedrooms	16	GPD	4,800
Townhomes	75 gal/	bedroom * 3 bedrooms	48	GPD	10,800
	gal/			GPD	
	gal/			GPD	
	gal/			GPD	
			Total	GPD	17,100

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I Cynthia Ann Hodges (Printed Name), **the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.**

Cynthia Ann Hodges — Signature:

Oct. 12, 2023 — Date:

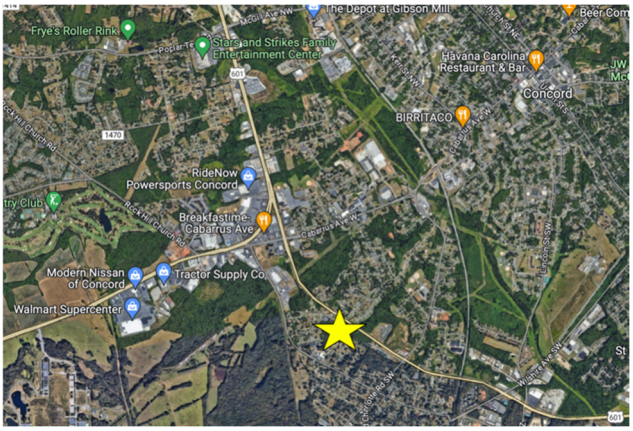
51 Union Street South
Suite 100
Concord, NC 28025

City of Concord Planning Department
35 Cabarrus Avenue West
Concord, NC 28025
Via email to adamsm@ConcordNC.gov

RE: Project Narrative for 1013-1015 Rockland Circle SW, Concord, NC 28027

Dear Esteemed Members of the City of Concord City Council:

Sherwood Development Group is partnering with WeBuild Concord to bring a mixed-income townhome project with 10 workforce housing townhomes, 54 market-for-sale townhomes, and five (5) 10,000 SF single-family home lots on 13.29 acres located at 1013-1015 Rockland Circle SW, Concord, NC 28027.



WeBuild Townhomes (Affordable)	10	3 Beds
Townhomes For Sale Market Rate	54	3/4 Beds
Single Family For Sale Market Rate	5	4 Beds
TOTAL	**69 Units**	

This project will be one of the first mixed-income projects in partnership with WeBuild, whose mission is to bring equitable and permanent affordable housing options for all of Concord's residents. This drive for affordable housing is a significant push for the City of Concord, with multiple members of the City Council and City of Concord Planning Staff and Housing Department on the Board of Directors: JC McKenzie, Terry Crawford, Steve Osborne, Joshua Smith, and Della Robinson.

The proposed development meets the City of Concord 2030 Land Use Plan, specifically sections 5.3 Goals and Policy Guidance regarding objective 1.6: "Provide a diverse mix and range of options throughout the City that will accommodate the current and future needs of the citizens

51 Union Street South
Suite 100
Concord, NC 28025

of Concord." In addition, this meets the goal of the City to provide 1) infill housing, 2) housing balance, and 3) mixed-density housing.

The project is on land already annexed into the City of Concord and zoned RM-2 and RC.

The anticipation of funds being expended on the project is as follows:

Approval of Site Plan	$300,000
Land Acquisition	$1,000,000
Site Development	$5,000,000
Home Construction	$18,000,000
TOTAL ANTICIPATED COSTS	**$24,300,000**

The potential tax revenue to the City of Concord-based on an average sales price of $356,000 for the townhomes and $500,000 for the single-family homes, is as follows:

	Townhomes	**Single Family Homes**
Number of Homes	64	5
Average Assessed Value	$350,000	$500,000
Total Assessed Value	**$22,400,000**	**$2,500,000**
2023 Concord Tax Rate	0.48%	0.48%
Total Tax Revenue to City	**$107,520**	**$12,000**
2023 Cabarrus County Tax Rate	0.74%	0.74%
Total Tax Revenue to the County	$165,760	$18,500
TOTAL REVENUE (County & City)	**$273,280**	**$30,500**

This project meets the City of Concord's drive and demand for more affordable housing options in a desirable mixed-income neighborhood near the Grounds at Concord and downtown Concord.

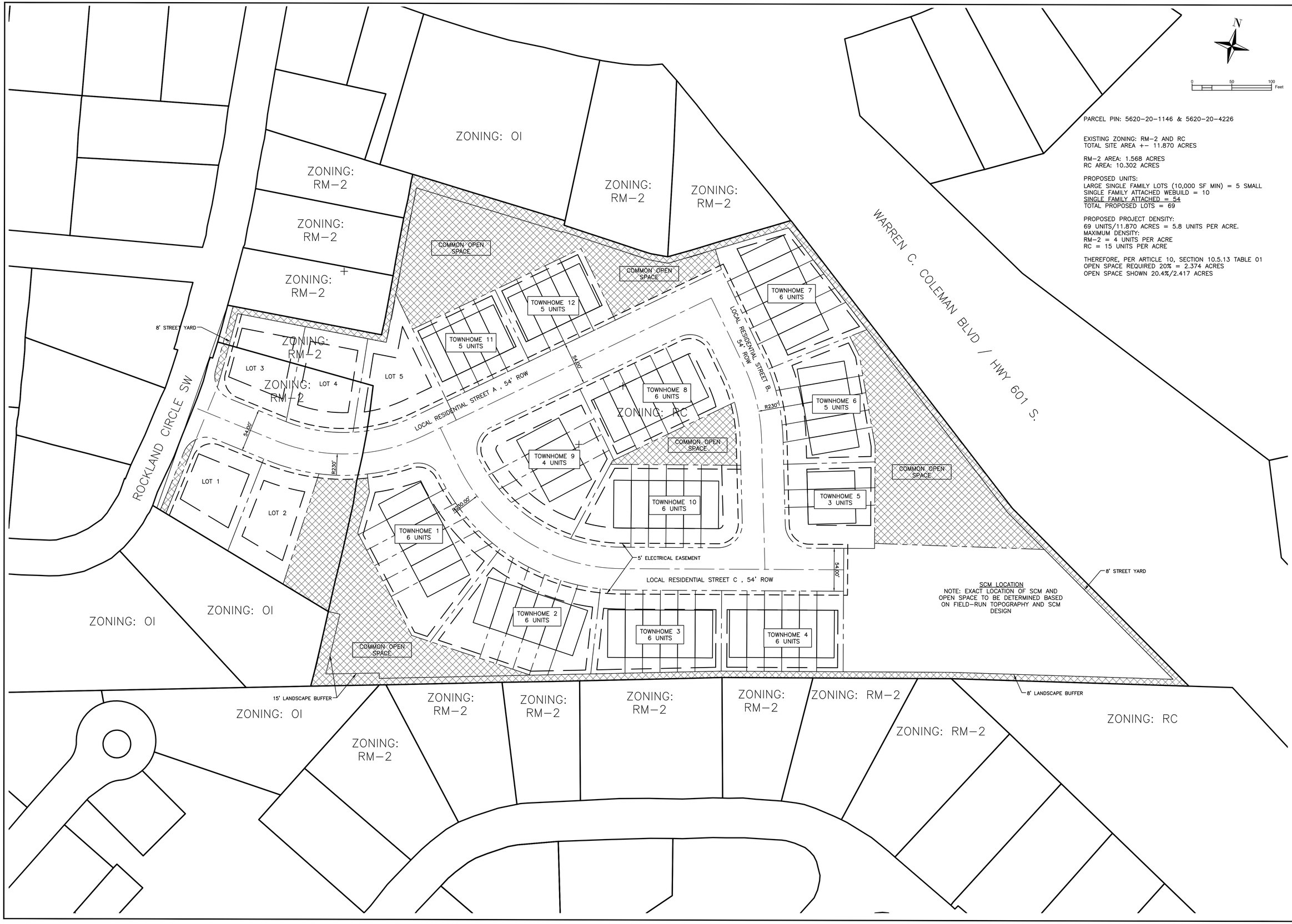
51 Union Street South
Suite 100
Concord, NC 28025

This development will be hidden from Warren C. Coleman behind a large tree buffer. The entrance will be off Rockland Circle Road, offering single-family homes at the front to look similar to the existing neighborhood. The townhomes will be behind the neighborhood's entrance, and the single-family homes will be at the front of the development.

The townhomes are proposed to provide a mix of garages and no garages depending on the product type as desired by WeBuild. Below is an example project that is a partnership between WeBuild and PresPro Homes located at 13 Powder Street NW, Concord, NC 28025.

Thank you for your time and attention.

Justin Mueller
Sherwood Development Group
704-578-5688
justin@sdgcarolinas.com



PARCEL PIN: 5620-20-1146 & 5620-20-4226

EXISTING ZONING: RM-2 AND RC
TOTAL SITE AREA +- 11.870 ACRES

RM-2 AREA: 1.568 ACRES
RC AREA: 10.302 ACRES

PROPOSED UNITS:
LARGE SINGLE FAMILY LOTS (10,000 SF MIN) = 5 SMALL
SINGLE FAMILY ATTACHED WEBUILD = 10
SINGLE FAMILY ATTACHED = 54
TOTAL PROPOSED LOTS = 69

PROPOSED PROJECT DENSITY:
69 UNITS/11.870 ACRES = 5.8 UNITS PER ACRE.
MAXIMUM DENSITY:
RM-2 = 4 UNITS PER ACRE
RC = 15 UNITS PER ACRE

THEREFORE, PER ARTICLE 10, SECTION 10.5.13 TABLE 01
OPEN SPACE REQUIRED 20% = 2.374 ACRES
OPEN SPACE SHOWN 20.4%/2.417 ACRES

REVISION	DATE	DESCRIPTION

1015 ROCKLAND CIR. SUBDIVISION

SITE LAYOUT PLAN

1015 ROCKLAND CIRCLE SW, CONCORD, NC
SHERWOOD DEVELOPMENT
PROJECT NO. 23060
PROJECT MANAGER: KWU

DAYLIGHT ENGINEERING
NCBELS LICENSE: P-2772
57 UNION STREET SOUTH, CONCORD, NC 28025 · (980) 234-7500 · WWW.DAYLIGHTENG.COM

ENGINEERS SEAL

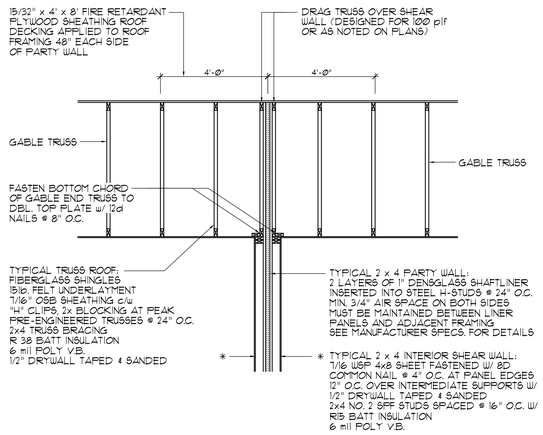
PRELIMINARY NOT FOR CONSTRUCTION

10/13/2023

C200

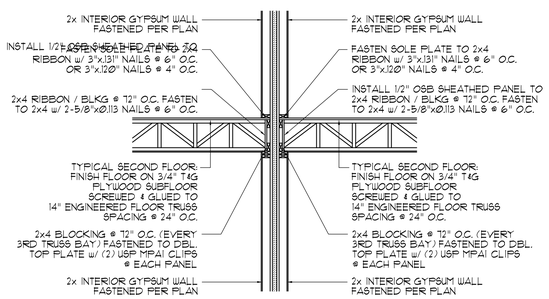
EXTERIOR ELEVATION NOTES

- CONTRACTOR TO VERIFY ALL WINDOW AND DOOR SIZES WITH OWNER BEFORE CONSTRUCTION BEGINS.
- GRADE IS DRAWN FOR ILLUSTRATION PURPOSES ONLY AND VARIES PER SITE CONDITIONS.
- ALL FINISH MATERIALS TO BE VERIFIED WITH OWNER BEFORE CONSTRUCTIONS BEGINS.
- REFER TO TYPICAL WALL DETAILS FOR FRAMING INFORMATION.
- PROVIDE STEPS AND GAURD RAILS AS REQ. PER CODE BASED ON SITE CONDITIONS.
- CONTRACTOR TO PROVIDE ADEQUATE ROOF VENTILATION AS REQUIRED PER CURRENT CODES.



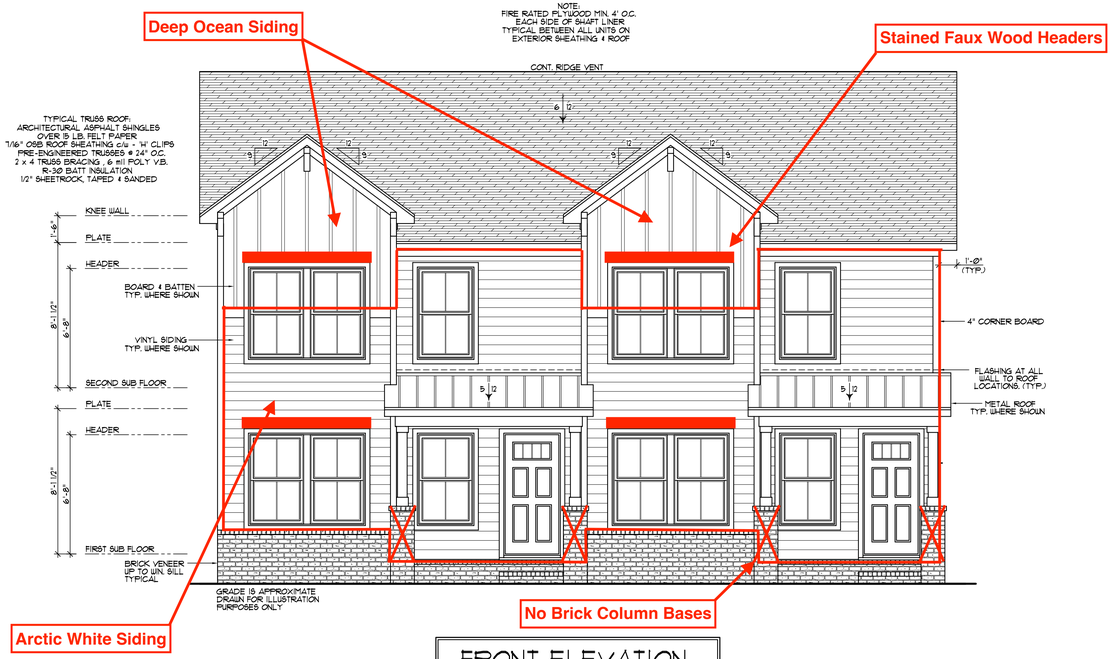
SHEAR TRANSFER DETAIL @ GABLE END PARTY WALL

SCALE: 1/2" = 1'-0"



SHEAR TRANSFER DETAIL BETWEEN FLOORS @ UNIT SEPERATION WALL

SCALE: 1/2" = 1'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

REAR ELEVATION

SCALE: 1/4" = 1'-0"

Custom Residential Design & Cad Services
TRAVIS HARTSELL DESIGN CONCEPTS
www.th-designconcepts.com
Phone: 704 - 467 - 1899
Fax: 704 - 788 - 2634
Email: thdc@th-designconcepts.com

PRESPRO

EASTLAKE DUPLEX - 2 UNIT

REVISION NO.	
JOB NO.	
DRAWN BY:	T.A.H.
CHECKED BY:	T.A.H.
SCALE:	1/4" = 1'-0"
DATE ISSUED:	4-3-2023

All design and plans contained in these documents are the original work, owned and property of Travis Hartsell Design Concepts. Any reuse or reproduction of these documents in part or whole is strictly prohibited by law without prior written consent from Travis Hartsell Design Concepts. Notes and Dimensions are subject to change according to local building codes and the requirements.

FRONT & REAR ELEVATIONS

A1

PRESPRO

HOMES & NEIGHBORHOODS

EASTLAKE

1,392 sq. ft.

13 Powder St NW, Concord NC 28025

Bedrooms	3
Bathrooms	2
Half Baths	1
Heated Sq. Ft.	1,392 sq. ft.
Garage	0

Residential: Single Family Detached

Afton Village Ph 1 Remainder (CN-PSA-2023-00094)

5800 Poplar Tent Rd.

DRC	Entitled	Units	PRS Routed	Technically Approved
	Yes	19	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	No	No	No

Allocation Request

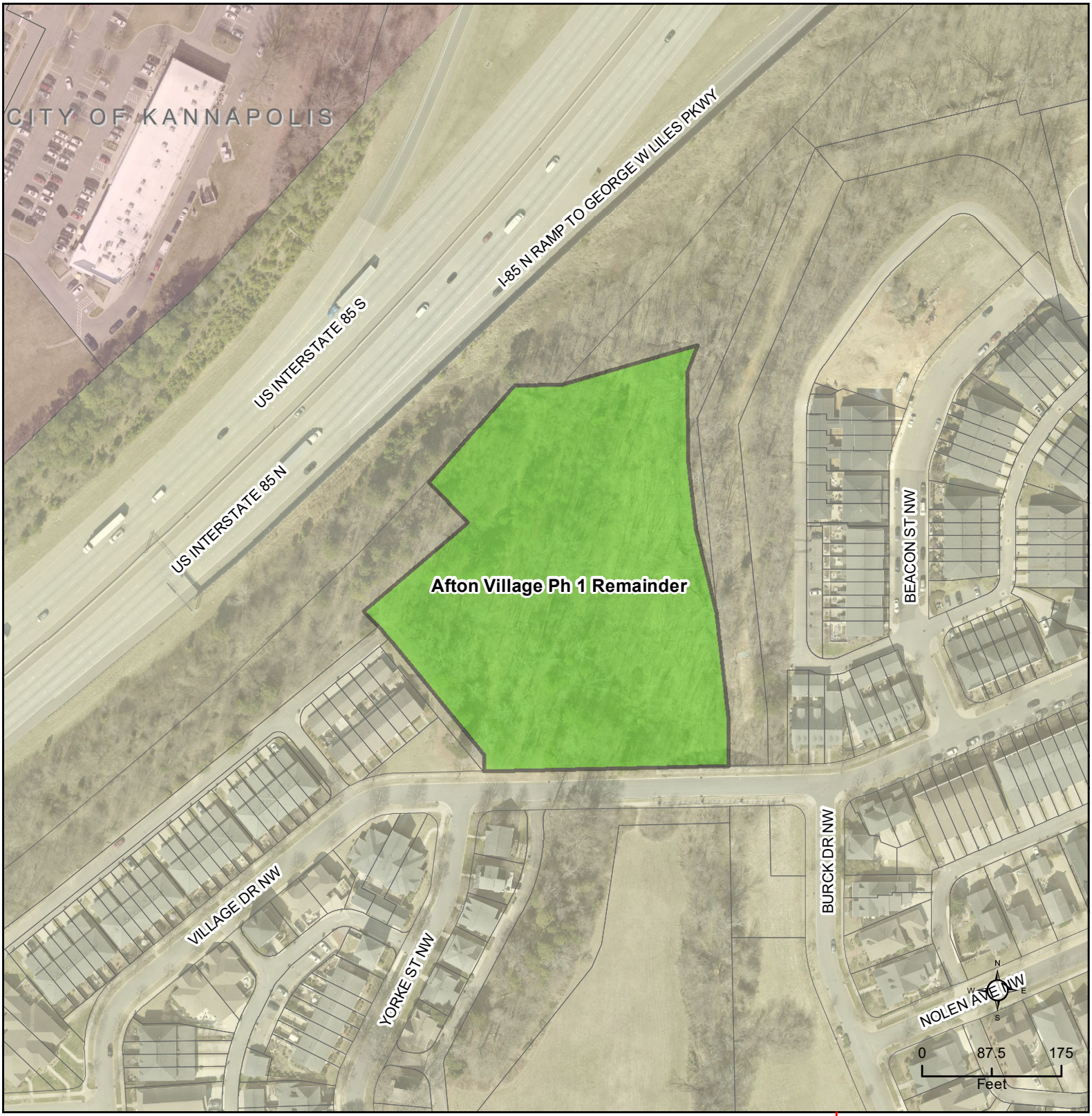
Total	2024
1,875	1,875

Project Scoring

Small Area Plan	Vertical Mixed Use	Redevelopment Site	Horizontal Mixed Use	Downtown (MSD)	Located Adjacent to Existing Sewer	Annex.	Total
0	0	0	0	0	1	0	1

Brief Summary

The applicant is seeking sewer allocation for 19 single family detached residential units at 5800 Poplar Tent Rd. This is part of the original phase one from Afton Village. The preliminary plat was approved on 2/28/21 and it depicted 19 single family homes. The applicant is looking to design three-bedroom cottages and a four bedroom single family detached home.

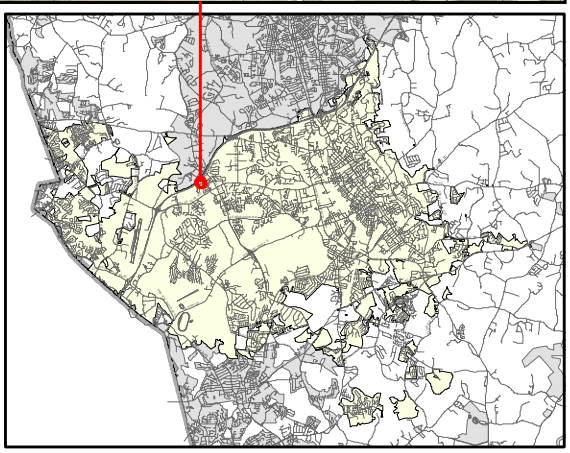


CN-PSA-2023-00094

Type: Residential
SF Detached
19 single family units

Allocation Request: 1,875
Project Score: 1

Developments
Parcels
Rivers
Concord
Cabarrus County
Other Municipalities



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	**Project Title:**	Afton Village Phase 1 Remainder					
2.)	**Description of project location:**	Site located on Village Dr NW approximately 0.45 miles West of the intersection of Village Dr NW and George W Liles Pkwy (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####)					
3.)	**Cabarrus County Parcel Identification Number:**	5600-09-6830	3a.)	**Parcel Acreage:**	1.88 ac		
4.)	**Site Zoning and use:**	TND	5.)	**Area Commercial or Industrial Building (sq. ft.)**	0		
6a.)	**Description of Facility to be served.**	Single Family Residential	**6b.) Number of Lots**	8	**6c.) Number of Units**	8	
7d.)	**Additional description information:**	Afton Village Phase 1 Single Family Subdivision of remaining parcel. Preliminary Plat approval 2001, Engineering Plan and Waste Water Application Submission 2008. Houses will follow the Afton Village Residential Design Guidelines.					

B. Applicant Information

Afton Development Co LLC/NCLLC , (Title) (**Name** of **legal owner, board, council**, and/or **authorized official with title**; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	5570 Village Drive NW (Applicant's Street or Box Number)
Village Development Co LLC/NCLLC (**Name of Applicant's company, city, town, corporation, sanitary district, water company or other** defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	Concord, NC 28027 (Applicant's City, State, Zip Code)
704-791-8220 (Applicant's Phone Number)	 (Applicant's Facsimile Number)
David Mayfield, Manager (Name) dm@mayfielddevelopment.com (Email) (Name with Title and Email of contact person, who can answer questions about application)	dm@mayfielddevelopment.com (Applicant's Email Address)
REQUIRED **Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.**	

C. Design Engineer Information if available

Kate Underwood , PhD, PE (Typed name of North Carolina Professional Engineer)	Daylight Engineering (Company Name)
033470 (NCPE Registration Number)	 (Street or Box Number)
(980) 234-7500 (Phone Number)	Concord, NC, 28026-1804 (City, State, Zip Code)
Kate Underwood, PhD, PE (Name and affiliation of contact person, who can answer questions about **application & designs**)	kate@daylighteng.com (Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

✔	Residential Subdivision		Retail (Stores, shopping centers)
	Apartments/Condominiums		Institution
	Mobile Home Park		Hospital, nursing home, dental
	School, preschool, daycare		Church
	Restaurants (Food or drink facilities)		Sports Centers
	Hotels or motels		Business, offices, factories
	Other (specify):_____		

2.) The type of wastewater is (indicate percentage):

100	**% Domestic**
	% Commercial
	% Industrial
	% Other use (Specify) _____

3.) Pretreatment required:

(●) No

( ) Yes **(Specify or attach effluent documentation)**

_____

4.) **Volume of wastewater flow to be allocated for this particular project**: 1875 gallons per day

*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**

(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**

a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{**Flow rates NOT listed in table 15A NCAC 2T .0114** must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)	No. of Units	Flow
Single Family Homes	75 gal/ bedroom * 4 bedrooms	1	GPD 300
Single Family Homes	75 gal/ bedroom * 3 bedrooms	7	GPD 1,575
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
		Total	GPD 1,875

E. Applicant Acknowledgment

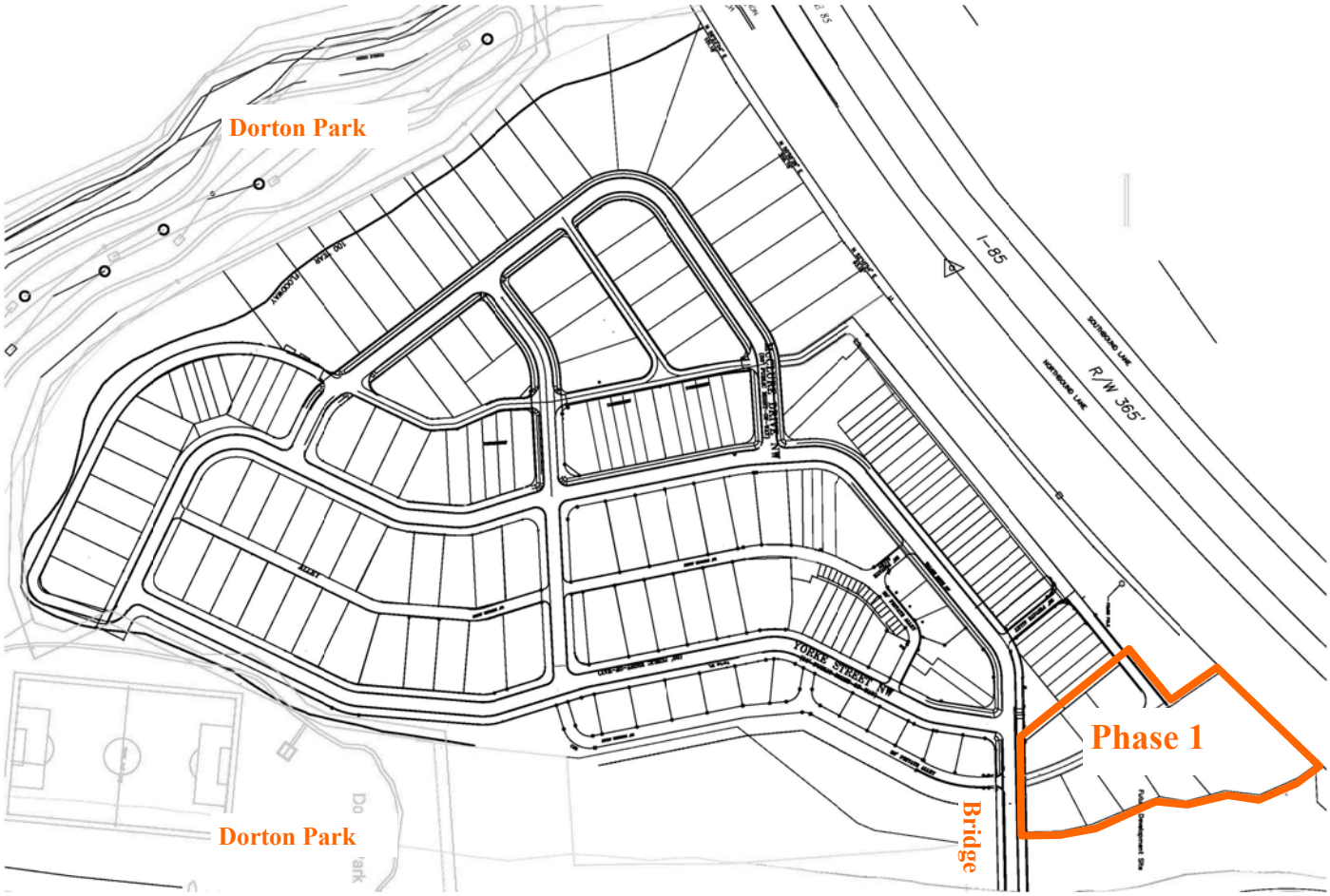
Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I David Mayfield (Printed Name), **the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.**

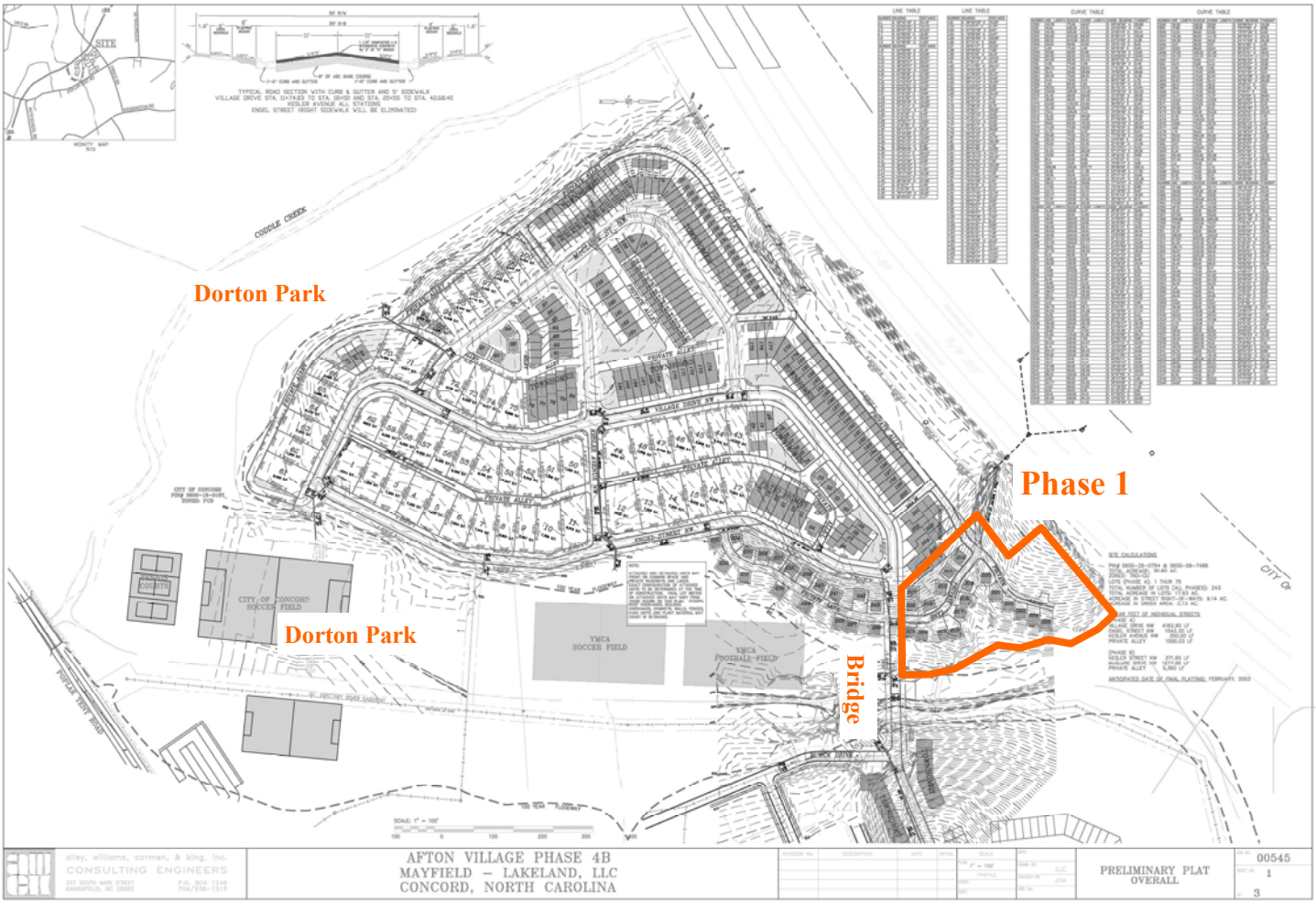
Signature: _____ Date: 10/13/23

Phase 1 Remainder — Single Family Lots for Custom Homes

Phase 1 is a remaining pocket of forested property from the original Phase 1 Development. As shown on the approved Preliminary Plat 2/28/01, it was originally designated for 19 small single family homes, but now we feel that the best use of the parcel would be for 7 @ 3Br cottages and 1 large 4Br home at corner of the roadway. Using the same Afton Village Design Guidelines, these homes would be similar to the single family homes along the eastern side of Yorke Street.



These Afton Village custom homes are similar to those proposed for Phase 1



2/28/01 Approved Preliminary Plat showing this area of Phase 1 with 17 small single family homes.

Photograph of homes along Yorke Street in Afton Village are similar in size and character to those proposed for Phase 1.

Residential: Single Family Detached

Afton Village Ph 3 (CN-PSA-2023-00098)

5830 Kesler Ave. NW

DRC	Entitled	Units	PRS Routed	Technically Approved
	Yes	33	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	No	No	No

Allocation Request

Total	2024
9,900	9,900

Project Scoring

Small Area Plan	Vertical Mixed Use	Redevelopment Site	Horizontal Mixed Use	Downtown (MSD)	Located Adjacent to Existing Sewer	Annex.	Total
0	0	0	0	0	0	0	0

Brief Summary

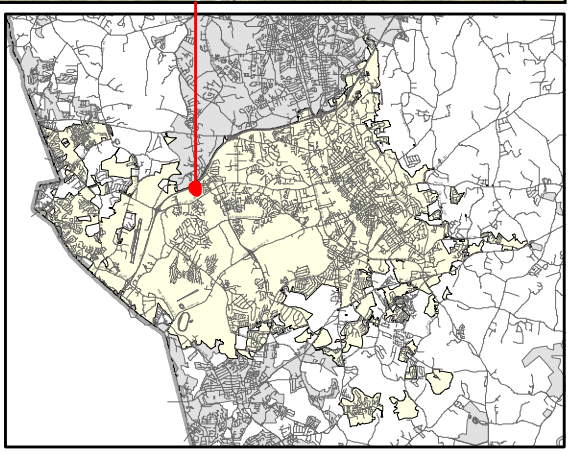
The applicant is seeking sewer allocation for 33 single family detached residential units at 5830 Kesler Ave. NW The original preliminary plat was approved on 2/28/01. It depicted a mix of single family detached as well as townhomes. The applicant is now proposing all single family detached for this phase of their project at Afton Village.

CN-PSA-2023-00098

Type: Residential
SF Detached
33 single family units

Allocation Request: 9,900
Project Score: 0

Developments
Parcels
Rivers
Concord
Cabarrus County
Other Municipalities



Concord
NORTH CAROLINA

PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	**Project Title:**	Afton Village Phase 3					
2.)	**Description of project location:**	Site located on Village Dr NW approximately 0.60 miles West of the intersection of Village Dr NW and George W Liles Pkwy (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####)					
3.)	**Cabarrus County Parcel Identification Number:**	5600-08-1919	3a.)	**Parcel Acreage:**	6.9 ac		
4.)	**Site Zoning and use:**	TND	5.)	**Area Commercial or Industrial Building**	(sq. ft.) 0		
6a.)	**Description of Facility to be served.**	Single Family Residential	**6b.) Number of Lots**	33	**6c.) Number of Units**	33	
7d.)	**Additional description information:**	Afton Village Phase 3 Single Family Subdivision. Preliminary Plat approval 2001, Engineering Plan and Waste Water Application Submission 2008. Houses will follow the Afton Village Residential Design Guidelines.					

B. Applicant Information

Afton Development Co LLC/NCLLC , (Title) (**Name** of **legal owner**, **board**, **council**, and/or **authorized official with title**; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	5570 Village Drive NW (Applicant's Street or Box Number)
Village Development Co LLC/NCLLC (**Name of Applicant's company, city, town, corporation, sanitary district, water company or other** defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	Concord, NC 28027 (Applicant's City, State, Zip Code)
704-791-8220 (Applicant's Phone Number)	 (Applicant's Facsimile Number)
David Mayfield, Manager (Name) dm@mayfielddevelopment.com (Email) (Name with Title and Email of contact person, who can answer questions about application)	dm@mayfielddevelopment.com (Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

Kate Underwood , PhD, PE (Typed name of North Carolina Professional Engineer)	Daylight Engineering (Company Name)
033470 (NCPE Registration Number)	 (Street or Box Number)
(980) 234-7500 (Phone Number)	Concord, NC, 28026-1804 (City, State, Zip Code)
Kate Underwood, PhD, PE (Name and affiliation of contact person, who can answer questions about **application & designs**)	kate@daylighteng.com (Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

✓	Residential Subdivision		Retail (Stores, shopping centers)
	Apartments/Condominiums		Institution
	Mobile Home Park		Hospital, nursing home, dental
	School, preschool, daycare		Church
	Restaurants (Food or drink facilities)		Sports Centers
	Hotels or motels		Business, offices, factories
	Other (specify):____		

2.) The type of wastewater is (indicate percentage):

100	**% Domestic**
	% Commercial
	% Industrial
	% Other use (Specify) ____

3.) Pretreatment required:

(●) No
( ) Yes **(Specify or attach effluent documentation)**

4.) **Volume of wastewater flow to be allocated for this particular project:** 9,900 gallons per day

*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**

(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**

a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)	No. of Units	Flow
Single Family Homes	75 gal/ bedroom * 4 bedrooms	33	GPD 9,900
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
		Total	GPD 9,900

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

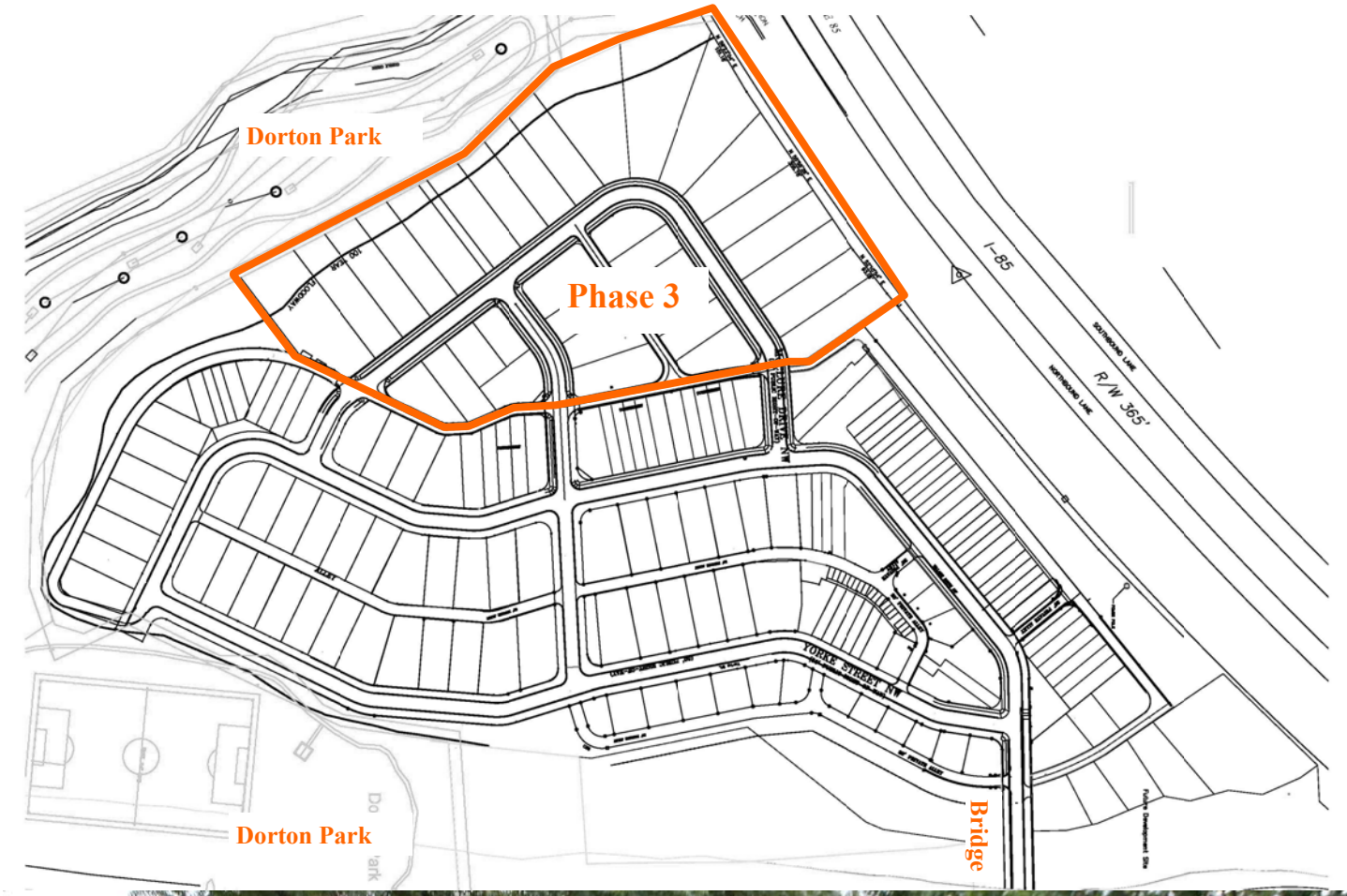
I _ David Mayfield. **the undersigned, do hereby make application for preliminary wastewater**
(Printed Name)

allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.

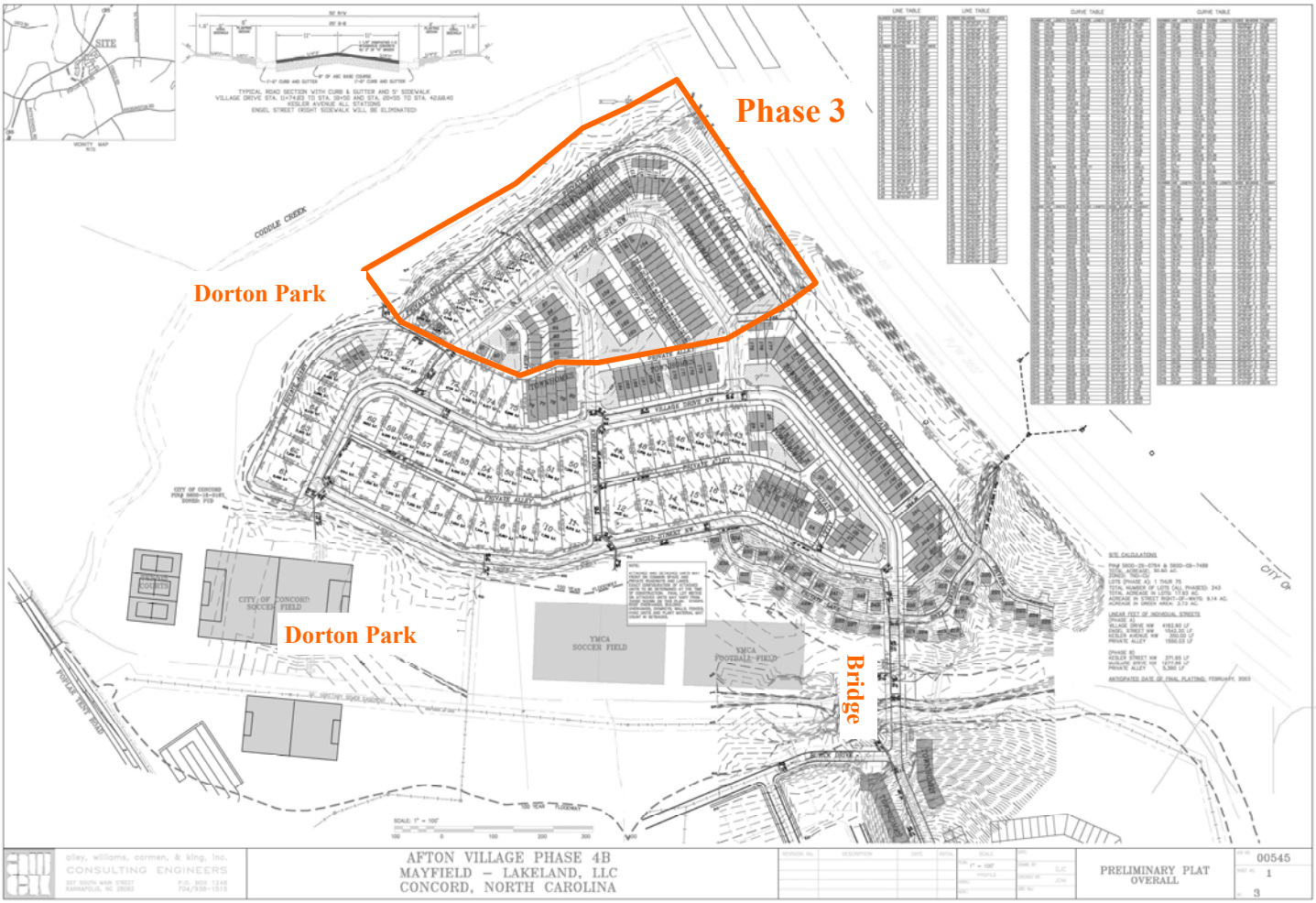
Signature: _____ Date: 10/13/23

Phase 3 Single Family Lots for Custom Homes

Phase 3 is the last remaining large parcel of Afton Village. Although the original approved Preliminary Plat 2/28/01 shows this area with townhomes and a few single family lots, we have determined that the greater need is to develop this parcel as single family lots for custom four bedroom homes. Using the same Afton Village Design Guidelines, the single family character would be similar to the surrounding single family homes. We are requesting an allocation for 33 lots.



These Afton Village custom homes are similar to those proposed for Phase 3



2/28/01 Approved Preliminary Plat showing Phase 3 with 13 single family and 70 townhomes.

Photograph of homes along Yorke Street in Afton Village are similar in size and character to those proposed for Phase 3.

Residential: Single Family Attached (Townhomes)

Skybrook Corners Ph 2 Expansion (CN-PSA-2023-00039)

10601 Poplar Tent Rd.

DRC	Entitled	Units	PRS Routed	Technically Approved
12/16/2021	Yes	19	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	Yes	Yes	Yes	Yes

Allocation Request

Total	2023
4,275	4,275

Project Scoring

Small Area Plan	Vertical Mixed Use	Redevelopment Site	Horizontal Mixed Use	Downtown (MSD)	Located Adjacent to Existing Sewer	Annex.	Total
0	0	0	0	0	1	0	1

Brief Summary

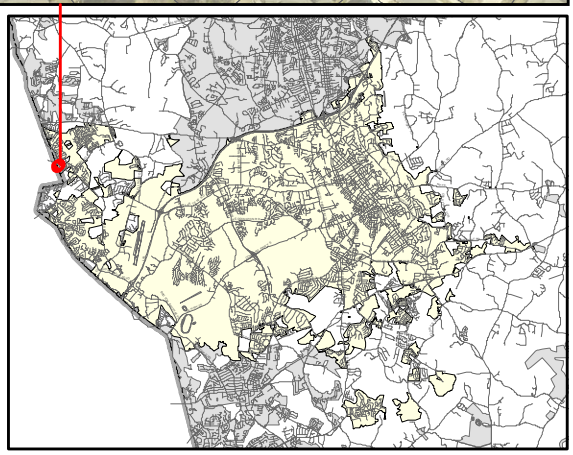
The applicant originally submitted 52 townhomes near the intersection of Poplar Tent Rd. and Huntersville-Concord Rd. The preliminary plat was at technical approval on February 10, 2021. The 52 units received sewer allocation on March 22,2022. The applicant pursued annexation of an adjacent piece of property for a road access, which was approved by City Council on November 10, 2020, and zoned on December 15, 2020. Additional land adjacent to the access was approved for annexation by Council on February 10, 2022. Now the applicant is trying to develop 5 units for Skybrook Corners and 14 for the Stinson Expansion.

CN-PSA-2023-00039

Type: Residential
SF Attached
19 townhome units

Allocation Request: 4,275
Project Score: 1

Developments
Parcels
Rivers
Concord
Cabarrus County



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	Project Title:	Skybrook Corners Expansion					
2.)	Description of project location:	Southwest corner of Hutersville-Concord Road(SR 2426) and Poplar Tent Road (SR 2424) (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####)					
3.)	Cabarrus County Parcel Identification Number:	4671731210000 & 46717396200000	3a.)	Parcel Acreage:	3.108 & 7.01		
4.)	Site Zoning and use:	RV-CD	5.)	Area Commercial or Industrial Building (sq. ft.)			
6a.)	Description of Facility to be served.	residential townhomes	6b.) Number of Lots		6c.) Number of Units	19	
7d.)	Additional description information:	this application is for the addition of 19 townhome units to an existing permitted project					

B. Applicant Information

Brian Pace , Manager (Title) (**Name** of **legal owner**, **board**, **council**, and/or **authorized official with title**; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	6719-C Fairview Road (Applicant's Street or Box Number)
Skybrook, LLC (**Name of Applicant's company, city, town, corporation, sanitary district, water company or other** defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	Charlotte, NC 28210 (Applicant's City, State, Zip Code)
704-365-1208 (Applicant's Phone Number)	704-365-5506 (Applicant's Facsimile Number)
Brian Pace, Manager (Name) bpace@pacedevelop.com (Email) (Name with Title and Email of contact person, who can answer questions about application)	bpace@pacedevelop.com (Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

Steven S. Wilson (Typed name of North Carolina Professional Engineer)	Landworks Design Group, P.A. (Company Name)
15497 (NCPE Registration Number)	1230 W. Morehead, Ste 304 (Street or Box Number)
704-841-1604 (Phone Number)	Charlotte, NC 28208 (City, State, Zip Code)
Steven S. Wilson and Landworks Design Group (Name and affiliation of contact person, who can answer questions about **application & designs**)	swilson@landworkspa.com (Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

✓	Residential Subdivision		Retail (Stores, shopping centers)
	Apartments/Condominiums		Institution
	Mobile Home Park		Hospital, nursing home, dental
	School, preschool, daycare		Church
	Restaurants (Food or drink facilities)		Sports Centers
	Hotels or motels		Business, offices, factories
	Other (specify):_____		

2.) The type of wastewater is (indicate percentage):

100	**% Domestic**
	% Commercial
	% Industrial
	% Other use (Specify) _____

3.) Pretreatment required:
(●) No
( ) Yes **(Specify or attach effluent documentation)**

4.) **Volume of wastewater flow to be allocated for this particular project**: 4560 gallons per day
*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**
(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**

a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)	No. of Units	Flow
Residential	80 gal/ bedX3bed/unit	19	GPD 4560
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
		Total	GPD

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I Brian Pace (Printed Name), **the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.**

Brian Stephen Pace Digitally signed by Brian Stephen Pace Date: 2022.07.22 15:55:01 -04'00' 4-21-2023

Signature: Date:

April 21, 2023

Honorable William C. Dusch & Concord City Council
35 Cabarrus Ave W,
Concord, NC 28025

Dear Mayor Dusch & City Council Members,

Please allow this letter to serve as a narrative regarding our project's request for sewer capacity within the City of Concord. Below is a list of all the pertinent information for our project:

- Project Name: Skybrook Corners Phase 2; Parcel IDs: 46717306200000 & 46717312110000
- Accela #: PRS2021-01595
- Project Owner: Skybrook, LLC (Developer)
- Project Location: Corner of Huntersville-Concord Road and Poplar Tent Road
- Project Zoning & Annexation: CD-RV and currently annexed into the city limits
- Project Use & Density: 71 Townhome Units on 10.46 AC (6.78 DUA)
- Project Open Space: 22.3% (2.34 AC)
- Projected Price Point: Starting in the $300,000s
- **Note: 52 units received approval for sewer allocation on March 22, 2022.**
- **Note: This request is for 19 units (5 for Skybrook Corners & 14 for the Stinson Extension).**

Since 1998, the Skybrook Development team has had the honor in partnering with our local municipalities and creating over 2,000 homes and an 18-hole golf course on 960 acres within Cabarrus County, the Town of Huntersville and the City of Concord. Our goal in developing our communities is to be able to provide a high quality and affordable home for all buyers. We have successfully integrated a high-end product which includes apartments, townhomes and single-family dwellings across all three of our Skybrook communities. We are proud to have worked side by side with city officials in incorporating all elements of design that have made our communities an asset for years to come. In an effort to extend this vision, on October 27, 2020 we formally submitted a new phase of Skybrook to the City of Concord called the Skybrook Corners. This project is an infill development which will complete and connect two existing public streets from two surrounding sides of the Parkside at Skybrook North community. Given that this project is up for capacity review, I want to share with you a brief summary of all the work that has been accomplished and completed to date:

- On October 10, 2006 our development team purchased this property and has maintained ownership through present day.
- On December 31, 2011 the property was annexed into the City of Concord.
- On January 17, 2012 the property was rezoned from County Low Density Residential (LDR) to Concord Residential Village (RV).
- On November 12, 2020 we received annexation and rezoning approval from City Council for the Stinson Right of Way which allowed us to construct the public street connecting the Parkside community.
- On February 10, 2021 we obtained preliminary plat approval from the City of Concord.
- On May 3, 2021 we received sedimentation, erosion control and grading approvals from the NCDEQ.
- On May 26, 2021 we submitted construction drawings for approval.
- On July 1, 2021 we started on-site construction through installation of our erosion control measures including the temporary sediment basin.

- On September 30, 2021 we received approval on the traffic signal plans from NCDOT.
- On October 1, 2021 we received approval on all NCDOT encroachment agreements.
- On October 8, 2021 all construction drawing plan review comments have been addressed pending utility permits including WSACC acceptance.
- On October 14, 2021 water and sewer plans were submitted to WSACC.
- On October 27, 2021 the City of Concord issued the Acknowledgment and Acceptance of Risk letter stipulating WSACC's sewer capacity limitation within the county.
- On November 22, 2021 we received approval on our Early Grading Permit.
- On March 22, 2022 we received approval for sewer allocation for 52 townhome units.
- On June 1, 2022, we started installing our storm drainage pipes and site grading.
- On October 1, 2022, we are finalizing grading, installing utilities, and are anticipating roadway completion by Spring 2023.
- On March 15, 2023, we are anticipating installation all the of roadways with completion by May 1, 2023.

Our plan is to begin home building after road installation with home occupancy taking place in the third quarter of 2023. Skybrook Corners is our 4th townhome project incorporated within our three Skybrook communities, which will provide affordability that complements our existing single-family homes. Although these homes will be owned by individual families, our plan is to provide full HOA maintenance of the home's exteriors and yards in an effort to ensure a professional level of maintenance is provided at all times.

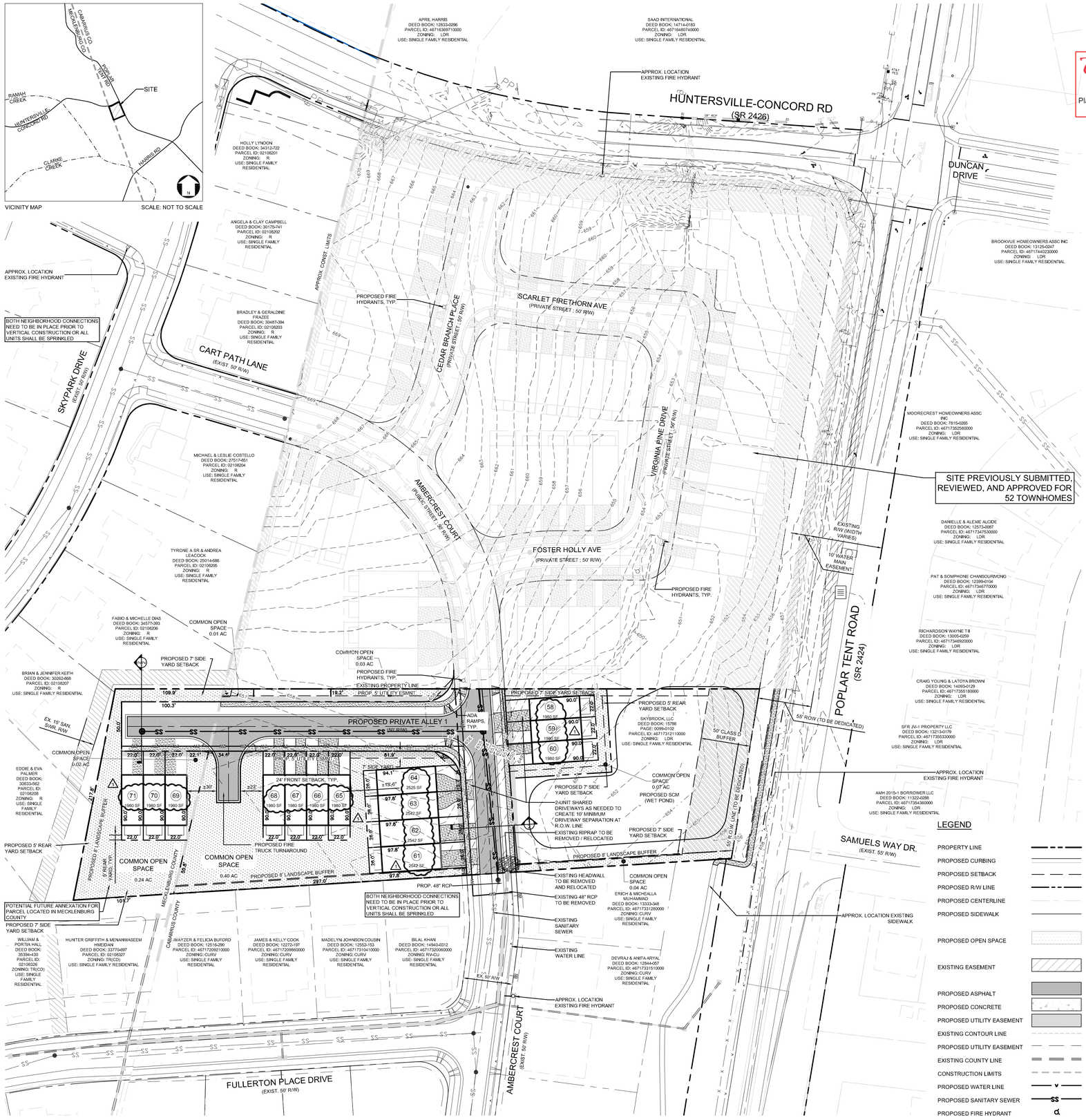
As far as home product, our builder is planning on offering five different floorplans with top quality features such as granite countertops in the kitchen and baths, tile backsplash in the kitchen, stainless steel appliances and Revwood tile and stain resistant flooring. In addition to elegance, our townhomes will also provide efficiency features that contribute to energy savings and water conservation. Our HardiePlank siding resists damage from wind, rain, freezing temps and extreme heat better than your typical vinyl siding; low flow faucets and toilets along with Energy Star rated dishwashers will assist in water conservation; LED lighting will be used throughout our homes which can produce light up to 85% more efficiently than conventional incandescent bulbs and Low E double pane windows will be provided to help reduce heat intrusion into our homes. As with all of our Skybrook communities, Skybrook Corners will have the opportunity to enjoy resort style Swim & Racquet Club amenities in addition to walking trails, ballfields, and playgrounds.

We are extremely thankful for all the effort and time that staff and city council has provided during our reviews. We look forward to completing this project and respectively request that you grant sewer capacity for 19 additional units so that we may complete our project as scheduled. If you have any questions or need additional information, please call me at 704.995.2507 or email me at scott@bpropnc.com. We look forward to seeing you at the city council meeting.

Sincerely,

Scott Moore
Project Manager
Skybrook Subdivision

VICINITY MAP SCALE: NOT TO SCALE



Concord — High Performance Living

Approval
City of Concord - Planning

Planning: Monterai Adams (1/11/2023)

SITE DATA

PIN:	#46717312110000
JURISDICTION:	CITY OF CONCORD, CABARRUS COUNTY
SITE AREA:	±3.108 AC (135,384.48 S.F.) (GROSS)
ESTIMATED FINAL PLAT DATE:	JUNE 2024

CODE REQUIREMENTS (City of Concord Land Development Code):

EXISTING ZONING:	RV-CD
EXISTING USE:	VACANT
PROPOSED USE:	TOWNHOMES
EXISTING WATERSHED:	CLARKE
ALLOWABLE DENSITY:	8 DUA/AC
PROPOSED DENSITY:	14 UNITS (±4.50 DUA) 10 UNITS - 22' WIDE 4 UNITS - 26' WIDE'
PARKING REQUIRED:	21-35 SPACES (1.5 SPACES/UNIT MIN. 2.5 SPACES/UNIT MAX.)
PARKING PROVIDED:	28 SPACES, 2 SPACES PER UNIT (GARAGE AND DRIVEWAY)
MINIMUM LOT SIZE:	7,500 SF
MIN. FRONT SETBACK:	24'
INTERIOR SIDE SETBACK:	7'
SECONDARY FRONT SETBACK (CORNER LOTS)	20'
REAR SETBACK:	5'
THOROUGHFARE BUFFER REQ'D:	25' WITH 6' BERM OR 50' WITHOUT 6' BERM
BLDG HEIGHT MAX. ALLOWED:	35'
BLDG HEIGHT MAX. PROVIDED:	30'-6 3/4" (2 STORIES)
MAX. BLDG. SQFT PROVIDED:	2570 S.F

OPEN SPACE CALCULATIONS:

OPEN SPACE REQUIRED:	20% REQUIRED (±27,077 SF ; 0.62 AC)
OPEN SPACE PROVIDED:	±26.38% (0.82 AC / 3,108 AC)

STREET LENGTH AT CENTERLINE:
PROPOSED PRIVATE ALLEY: ±355 L.F.

ELECTRICAL PROVIDER: DUKE ENERGY

SKY CORNERS / SKYBROOK CORNERS EXPANSION IMPERVIOUS BREAKDOWN

GROSS SITE ACREAGE (INCLUDING SKYBROOK CORNERS): ± 10.468 AC

SKYBROOK CORNERS SITE:

STREETS:	34,832 SF
SIDEWALKS:	17,388 SF
BUILDINGS:	77,094 SF
DRIVEWAYS:	25,192 SF
PATIOS:	5,500 SF
SUBTOTAL:	160,006 SF

STINSON ADDITIONAL:

STREETS, ALLEYS, & FIRE TURNAROUND:	15,368 SF
SIDEWALKS:	5,365 SF
BUILDINGS:	17,460 SF
DRIVEWAYS:	5,957 SF
PATIOS:	2,240 SF
SUBTOTAL:	46,390 SF

OVERALL TOTAL PROPOSED IMPERVIOUS: 45.3% (206,396 SF / 455,986.08 SF)

STINSON ADDITION PROPOSED IMPERVIOUS: 34.3% (46,389 SF / 135,384.48 SF)

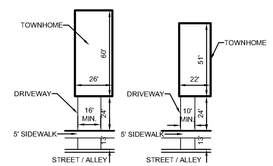
NCDEQ will need to provide feedback on if the wet pond will create a high hazard dam once you have a grading plan in place.

LEGEND

- PROPERTY LINE
- PROPOSED CURBING
- PROPOSED SETBACK
- PROPOSED R/W LINE
- PROPOSED CENTERLINE
- PROPOSED SIDEWALK
- PROPOSED OPEN SPACE
- EXISTING EASEMENT
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED UTILITY EASEMENT
- EXISTING CONTOUR LINE
- PROPOSED UTILITY EASEMENT
- EXISTING COUNTY LINE
- CONSTRUCTION LIMITS
- PROPOSED WATER LINE
- PROPOSED SANITARY SEWER
- PROPOSED FIRE HYDRANT

FIRE SUMMARY

OCCUPANCY CLASSES:	RESIDENTIAL
TYPE OF CONSTRUCTION	V-B
SPRINKLER SYSTEM	NO
FIRE ALARM	YES
SQ FT (LARGEST STRUCTURE)	22' PRODUCT - 6 UNIT BUILDING IS 10,234 HEATED SQ FT 26' PRODUCT - 5 UNIT BUILDING IS 11,797 HEATED SQ FT
HEIGHT OF BUILDING	HEIGHT TO GUTTER LINE IS ±19' FOR EITHER PRODUCT; HEIGHT NOT TO EXCEED 35'



GENERAL NOTES:
1. DRIVEWAYS TO BE A MINIMUM 10' WIDE
2. MINIMUM DRIVEWAY SEPARATION TO BE 10'

TYPICAL LOT DIAGRAM

LOT NUMBER	SF	ACRES
58	1,980	0.045
59	1,980	0.045
60	1,980	0.045
61	2,542	0.06
62	2,542	0.06
63	2,542	0.06
64	2,525	0.06
65	1,980	0.045
66	1,980	0.045
67	1,980	0.045
68	1,980	0.045
69	1,980	0.045
70	1,980	0.045
71	1,980	0.045

This Plan Is A Preliminary Design. NOT Released For Construction.

0' 50' 100' 200'
SCALE: 1" = 50'

REVISIONS:

No.	Date	By	Description
1	12/13/22	SDW	Fixed duplicate lot numbers

Landworks Design Group, PA
CREATING SPACES TO LIVE, WORK AND PLAY
1230 West Morehead Street, Suite 304
Charlotte, NC 28208
tel: 704-841-1604
fax: 704-841-1604

PRELIMINARY PLAT
SKYBROOK CORNERS EXPANSION
CITY OF CONCORD, CABARRUS COUNTY, NORTH CAROLINA
PACE DEVELOPMENT GROUP
CHARLOTTE, NC

PRELIMINARY PLAT

NORTH CAROLINA LANDSCAPE ARCHITECTURE C-253 DESIGN GROUP

NORTH CAROLINA LANDSCAPE ARCHITECTURE 1834 SCOTT D. WILSON 12-13-22

CORPORATE CERTIFICATIONS
NC PE : C--2930 NC LA : C--253
SC ENG : NO. 3599 SC LA : NO. 211

Project Manager: SDW
Drawn By: SDW
Checked By: SSW
Date: 09/29/2022
Project Number: 18018.1

Sheet Number:

L-101

SHEET # 1 OF 2

P:\2018 Jobs\18018.1 - Skybrook Townhome CDs - Pace\CAD\Sketch Planning\Stinson Sketch\Preliminary Plat\PP - skybrook corners_stinson.dwg

Residential: Single Family Attached (Townhomes)

Tuckers Walk Subdivision Ph 3 (CN-PSA-2023-00045)

10216 Meeting House Dr. NW

DRC	Entitled	Units	PRS Routed	Technically Approved
No	Yes	7	Yes	Yes

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	Yes	Yes	Yes

Allocation Request

Total	2023
1,575	1,575

Project Scoring

Small Area Plan	Vertical Mixed Use	Redevelopment Site	Horizontal Mixed Use	Downtown (MSD)	Located Adjacent to Existing Sewer	Annex.	Total
0	0	0		0	1	0	1

Brief Summary

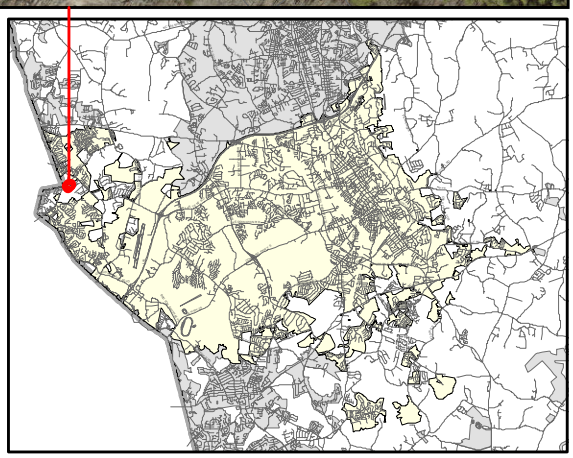
The applicant is requesting sewer allocation for 7 townhomes located at 10216 Meeting House Dr. NW. This project was rezoned to PUD in 2018 and contains townhomes and commercial outparcels. The site is appropriately zoned for the proposed use and is phase three of Tuckers Walk and was preliminary platted in 2018 (PRS2018-01573). Tuckers Walk Phase 1 was platted in 2018 (PRS2018-03090) with a revision to approved plans in 2020. Phase 2 construction documents were submitted in 2019 (PRS2019-00893) and issued 7/28/2020. They are looking to build and final plat the third phase.

CN-PSA-2023-00045

Type: Residential
SF Attached
7 townhome units

Allocation Request: 1,575
Project Score: 1

Developments
Parcels
Rivers
Concord
Cabarrus County



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	Project Title:	TUCKERS WALK SUBDIVISION - PH 3					
2.)	Description of project location:	SOUTH OF INTERSECTION OF HARRIS ROAD AND POPLAR TENT ROAD (Example: Site located on (Road name) SR #####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR #####) and Road Name (SR #####)					
3.)	Cabarrus County Parcel Identification Number:	46719016030000	3a.)	Parcel Acreage:	11.769		
4.)	Site Zoning and use:	PUD - RESIDENTIAL	5.)	Area Commercial or Industrial Building	(sq. ft.) 0		
6a.)	Description of Facility to be served.	SINGLE FAMILY HOME	6b.) Number of Lots	7	6c.) Number of Units	7	
7d.)	Additional description information:	7 SINGLE FAMILY TOWN HOMES TO COMPLETE PHASE 3					

B. Applicant Information

DAVID S. MILLER — MANAGER (Title)	10815 SIKES PLACE SUITE 300
(Name of **legal owner, board, council**, and/or **authorized official with title**; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	(Applicant's Street or Box Number)
STREETSCAPE TW, LLC	CHARLOTTE, NC 28277
(Name of Applicant's company, city, town, **corporation, sanitary district, water company or other** defined in property records and/or as listed in the NC Secretary of State Corporation filings, as applicable.)	(Applicant's City, State, Zip Code)
(704) 321-1000	
(Applicant's Phone Number)	(Applicant's Facsimile Number)
LARISSA COLES (Name) — ENGINEER (Email)	larissa@odomengineering.com
(Name with Title and Email of contact person, who can answer questions about application)	(Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

LARISSA M. COLES, P.E.	ODOM ENGINEERING, PLLC
(Typed name of North Carolina Professional Engineer)	(Company Name)
029478	169 OAK STREET
(NCPE Registration Number)	(Street or Box Number)
(828) 247-4495 EX.18	FOREST CITY, NC 28043
(Phone Number)	(City, State, Zip Code)
Larissa Coles	larissa@odomengineering.com
(Name and affiliation of contact person, who can answer questions about **application & designs**)	(Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

✔	Residential Subdivision		Retail (Stores, shopping centers)
	Apartments/Condominiums		Institution
	Mobile Home Park		Hospital, nursing home, dental
	School, preschool, daycare		Church
	Restaurants (Food or drink facilities)		Sports Centers
	Hotels or motels		Business, offices, factories
	Other (specify):____		

2.) The type of wastewater is (indicate percentage):

100	% Domestic
	% Commercial
	% Industrial
	% Other use (Specify) ____

3.) Pretreatment required:

(●) No
( ) Yes **(Specify or attach effluent documentation)**

4.) **Volume of wastewater flow to be allocated for this particular project:** 1575 gallons per day

*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**

(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**

a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)	No. of Units	Flow
3 BEDROOM RESIDENTIAL	75 gal/ DAY/BEDROOM	7	GPD 1575
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
		Total	GPD 1575

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I David S. Miller (Printed Name), **the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.**

David S Miller, CEO — Signature:

9/20/2023 — Date:

Revised Narrative For Tucker's Walk Phase 3 Sewer Allocation Application (8 lots).

September 20, 2023

Dear Mayor Dusch and Concord City Council,

This application is a resubmittal, for the allocation application initially reviewed on September 20, 2022 and subsequently re-reviewed and partially approved on December 20, 2022. Our last request for 11 of 18 lots in phase 3 was approved as there was sufficient sewer capacity then available to accommodate 11 lots. We were instructed to observe the opportunity for additional capacity to become available in the townhome category as the City was re-reviewing the status of existing permits. I have learned that the possibility exists for some additional capacity to be allocated to the townhome category prior to the next allocation hearing.

Tucker's Walk is a Planned Unit Development at the Southern to Southwestern Corner of Poplar Tent Rd. and Harris Rd. The preliminary plat for the Planned Unit Development was approved by the City of Concord on November 13, 2018. The Planned Unit Development consists of multiple phases including a 38,000 square foot medical office park, 30,000 square feet of commercial development and a 91 single family townhome subdivision. All of the project, except for the final 7 lots in Phase 3 of the PUD, has been permitted and completed. Permits for sewer and water have previously been issued for the Medical office park (PermitWQ0039877 dated 3/28/2018 and Modified Permit WQ0039877 dated 10/8/2021) and the commercial lots and 73 of the 91 residential lots. (Sewer allocations for Phase I of the Tucker's Walk residential subdivision and the commercial lots were approved on 10/14/2019, Project 2019-053 and the sewer allocations were approved for Phase 2 of the Tucker's Walk residential subdivision on 8/27/2020, Project 2019-053. Sewer allocations for 11 of the 17 lots in Phase 3 of the Tucker's Walk subdivision were approved on Project 2022-00138 on December 20,2022. The sewer and water lines have been installed at the subdivision, with the exception of the lateral lines to serve the final 18 lots in Phase 3. Currently, the PUD as designed and completed will represent a total investment by Raley Miller Properties and our homebuilder Meeting Street Homes of approximately $60 Million. The final phase 3 of the project, which is to be constructed, includes 18 homes valued at approximately $7.0 million at completion.

Upon commencement of the development in 2018, we confirmed that sewer and water utilities were available in adequate capacity for the entire development. Our construction plans and preliminary approved plat have always shown the residential development to total 91 lots and to be constructed in multiple phases. We were surprised to learn that after installing all of the infrastructure as approved, we would experience a situation where the final 18 lots could possibly not be allowed sewer entitlements. The remaining final 7 lots only require an additional 1,575 gallons of sewer usage per day. It is my understanding that it is possible that at the next allocation hearing some additional capacity could become available in the townhome category which could accommodate the very minimal remaining requirement for

our Tuckers Walk subdivision. The rest of our project has already been approved and developed for a total of 38,280 gallons per day. The 74 lots in phase 1 and phase 2 of Tucker's Walk have already been sold to the builder and approximately 65 homes have been built and sold to residents. The residents are concerned about the completion of the final phase of the subdivision and the completion of the remaining amenities promised by the builder. Given the success of the project and the near completion of the project, we believe that our request represents the completion of a previously approved and constructed development instead of a new potential project.

The construction drawings for the final 18 lots in phase 3 are currently under City review for permitting.

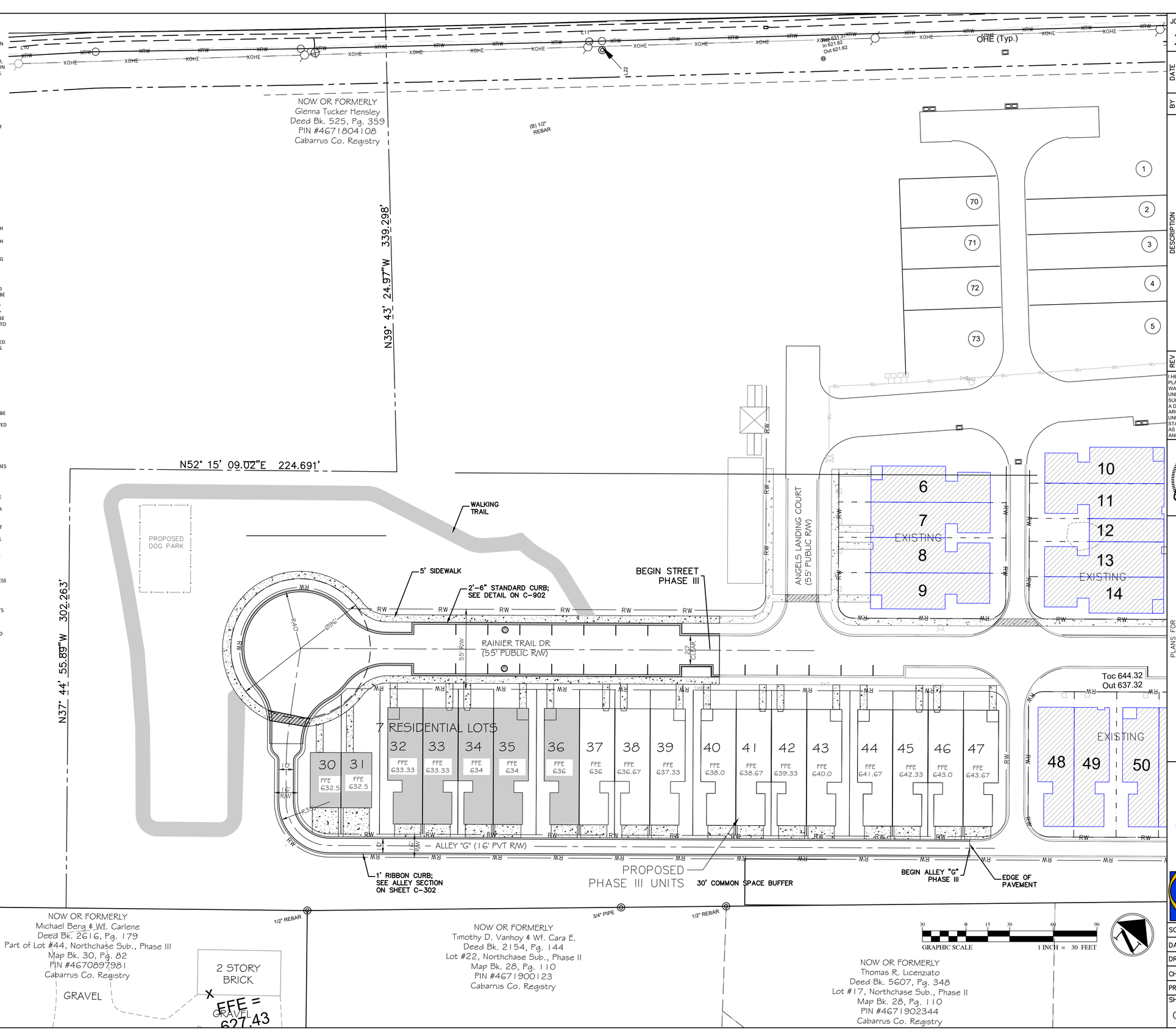
We look forward to your support and approval of our request for 1,575 gallons per day of sewer allocation for the final 7 lots in our final phase of the Tucker's Walk Planned Urban Development, enabling us to complete the Tucker's Walk PUD.

Thank you for your consideration.

Raley Miller Properties, Inc.
David Miller
10815 Sikes Place, Suite 300
Charlotte NC 28277
704-321-1000

CITY OF CONCORD GENERAL NOTES:
-THIS JURISDICTION ABIDES BY AND ENFORCES THE REQUIREMENTS OF NFPA 241 FOR CONSTRUCTION PROJECTS. A DOCUMENT WE REFER TO AS AN NFPA 241 LETTER IS REQUIRED VERIFYING THAT ALL PARTIES INVOLVED IN THIS PROJECT KNOW OF AND AGREE, TO ABIDE BY THE PROVISION REQUIRING WATER, HYDRANTS, AND ACCESS ROADS BE IN OPERATION PRIOR TO VERTICAL COMBUSTIBLE CONSTRUCTION.

1. WHERE FIRE APPARATUS ACCESS ROADS OR A WATER SUPPLY FOR FIRE PROTECTION ARE REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION EXCEPT WHEN APPROVED ALTERNATIVE METHODS OF PROTECTION ARE PROVIDED. TEMPORARY STREET SIGNS SHALL BE INSTALLED AT EACH STREET INTERSECTION WHERE CONSTRUCTION OF NEW ROADWAYS ALLOWS PASSAGE BY VEHICLES IN ACCORDANCE WITH SECTION 505.2. (NCFC 501.4)
2. APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING HEREAFTER CONSTRUCTED OR MOVED INTO OR WITHIN THE JURISDICTION. THE FIRE APPARATUS ACCESS ROAD SHALL COMPLY WITH THE REQUIREMENTS OF THIS SECTION AND SHALL EXTEND TO WITHIN 150 FEET (45 720 MM) OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
   - EXCEPTIONS:
     1 THE FIRE CODE OFFICIAL IS AUTHORIZED TO INCREASE THE DIMENSION OF 150 FEET (45 720 MM) WHERE ANY OF THE FOLLOWING CONDITIONS OCCUR:
       - WHEN THE BUILDING IS EQUIPPED THROUGHOUT WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2, THE DIMENSION SHALL INCREASE TO A MINIMUM OF 200 FEET (60 960 MM).
       - FIRE APPARATUS ACCESS ROADS CANNOT BE INSTALLED BECAUSE OF LOCATION ON PROPERTY, TOPOGRAPHY, WATERWAYS, NONNEGOTIABLE GRADES OR OTHER SIMILAR CONDITIONS, AND AN APPROVED ALTERNATIVE MEANS OF FIRE PROTECTION IS PROVIDED.
       - THERE ARE NOT MORE THAN TWO GROUP R-3 OR GROUP U OCCUPANCIES.
     2 THE FIRE CODE OFFICIAL IS AUTHORIZED TO MODIFY OR EXEMPT FIRE APPARATUS ACCESS ROADS FOR SOLAR PHOTOVOLTAIC POWER GENERATION FACILITIES. (NCFC 503.1.1)
4. FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET (6096 MM), EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES IN ACCORDANCE WITH SECTION 503.6, AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET 6 INCHES (4115 MM).
   - EXCEPTION: FIRE APPARATUS ACCESS ROADS CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH NORTH CAROLINA DOT MINIMUM CONSTRUCTION STANDARDS FOR SUBDIVISION ROADS, WHEN APPROVED BY THE FIRE CODE OFFICIAL. (NCFC 503.2.1)
   - DEAD-END FIRE APPARATUS ACCESS ROADS IN EXCESS OF 150 FEET (45 720 MM) IN LENGTH SHALL BE PROVIDED WITH AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS.
5. DEAD-END FIRE APPARATUS ACCESS ROADS IN EXCESS OF 150 FEET (45 720 MM) IN LENGTH SHALL BE PROVIDED WITH AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS.
6. NEW AND EXISTING BUILDINGS SHALL BE PROVIDED WITH APPROVED ADDRESS IDENTIFICATION. THE ADDRESS IDENTIFICATION SHALL BE LEGIBLE AND PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS IDENTIFICATION CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL NOT BE SPELLED OUT. EACH CHARACTER SHALL BE NOT LESS THAN 6 INCHES (153 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 3/4 INCH (20 MM). WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS IDENTIFICATION SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS IDENTIFICATION SHALL BE MAINTAINED. (NCFC 505.1)
7. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, APPROVED SIGNS OR OTHER APPROVED NOTICES OR MARKINGS THAT INCLUDE THE WORDS NO PARKING--FIRE LANE SHALL BE PROVIDED FOR FIRE APPARATUS ACCESS ROADS TO IDENTIFY SUCH ROADS OR PROHIBIT THE OBSTRUCTION THEREOF. THE MEANS BY WHICH FIRE LANES ARE DESIGNATED SHALL BE MAINTAINED IN A CLEAN AND LEGIBLE CONDITION AT ALL TIMES AND BE REPLACED OR REPAIRED WHEN NECESSARY TO PROVIDE ADEQUATE VISIBILITY.
8. WHERE A PORTION OF THE FACILITY OR BUILDING HEREAFTER CONSTRUCTED OR MOVED INTO OR WITHIN THE JURISDICTION IS MORE THAN 400 FEET (122 M) FROM A HYDRANT ON A FIRE APPARATUS ACCESS ROAD, AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE FACILITY OR BUILDING, ON-SITE FIRE HYDRANTS AND MAINS SHALL BE PROVIDED WHERE REQUIRED BY THE FIRE CODE OFFICIAL.
   - EXCEPTIONS:
     1. FOR GROUP R-3 AND GROUP U OCCUPANCIES, THE DISTANCE REQUIREMENT SHALL BE 600 FEET (183 M).
     2. FOR BUILDINGS EQUIPPED THROUGHOUT WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2, THE DISTANCE REQUIREMENT SHALL BE 600 FEET (183 M). (NCFC 507.5.1)
9. FIRE DEPARTMENT CONNECTIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE NFPA STANDARD APPLICABLE TO THE SYSTEM DESIGN AND SHALL COMPLY WITH SECTIONS 912.2 THROUGH 912.7. (NCFC 912.1)
10. WITH RESPECT TO HYDRANTS, DRIVEWAYS, BUILDINGS AND LANDSCAPING, FIRE DEPARTMENT CONNECTIONS SHALL BE SO LOCATED THAT FIRE APPARATUS AND HOSE CONNECTED TO SUPPLY THE SYSTEM WILL NOT OBSTRUCT ACCESS TO THE BUILDINGS FOR OTHER FIRE APPARATUS. THE LOCATION OF FIRE DEPARTMENT CONNECTIONS SHALL BE APPROVED BY THE FIRE CHIEF. (NCFC 912.2)
11. FIRE DEPARTMENT CONNECTIONS SHALL BE LOCATED ON THE STREET SIDE OF BUILDINGS, FULLY VISIBLE AND RECOGNIZABLE FROM THE STREET OR NEAREST POINT OF FIRE DEPARTMENT VEHICLE ACCESS OR AS OTHERWISE APPROVED BY THE FIRE CHIEF. (NCFC 912.2.1)
12. ON EXISTING BUILDINGS, WHEREVER THE FIRE DEPARTMENT CONNECTION IS NOT VISIBLE TO APPROACHING FIRE APPARATUS, THE FIRE DEPARTMENT CONNECTION SHALL BE INDICATED BY AN APPROVED SIGN MOUNTED ON THE STREET FRONT OR ON THE SIDE OF THE BUILDING. SUCH SIGN SHALL HAVE THE LETTERS "FDC" NOT LESS THAN 6 INCHES (152 MM) HIGH AND WORDS IN LETTERS NOT LESS THAN 2 INCHES (51 MM) HIGH OR AN ARROW TO INDICATE THE LOCATION. SUCH SIGNS SHALL BE SUBJECT TO THE APPROVAL OF THE FIRE CODE OFFICIAL. (NCFC 912.2.2)
13. FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE (UNLESS APPROVED BY THE FIRE CHIEF). (NCFC D103.2)
14. BUILDINGS OR FACILITIES HAVING A GROSS BUILDING AREA OF MORE THAN 62,000 SQUARE FEET (5760 M2) SHALL BE PROVIDED WITH TWO SEPARATE AND APPROVED FIRE APPARATUS ACCESS ROADS.
   - EXCEPTION: PROJECTS HAVING A GROSS BUILDING AREA OF UP TO 124,000 SQUARE FEET (11 520 M2) THAT HAVE A SINGLE APPROVED FIRE APPARATUS ACCESS ROAD WHEN ALL BUILDINGS ARE EQUIPPED THROUGHOUT WITH APPROVED AUTOMATIC SPRINKLER SYSTEMS. (NCFC D104.3)
15. BUILDINGS OR PORTIONS OF BUILDINGS OR FACILITIES EXCEEDING 30 FEET (9144 MM) IN HEIGHT ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT VEHICLE ACCESS SHALL BE PROVIDED WITH APPROVED FIRE APPARATUS ACCESS ROADS CAPABLE OF ACCOMMODATING FIRE DEPARTMENT AERIAL APPARATUS. OVERHEAD UTILITY AND POWER LINES SHALL NOT BE LOCATED WITHIN THE AERIAL FIRE APPARATUS ACCESS ROADWAY. (NCFC D105.1)
16. AERIAL FIRE APPARATUS ACCESS ROADS SHALL HAVE A MINIMUM UNOBSTRUCTED WIDTH OF 26 FEET (7925 MM), EXCLUSIVE OF SHOULDERS, IN THE IMMEDIATE VICINITY OF ANY BUILDING OR PORTION OF BUILDING MORE THAN 30 FEET (9144 MM) IN HEIGHT. (NCFC D105.2)
17. MULTIPLE-FAMILY RESIDENTIAL PROJECTS HAVING MORE THAN 100 DWELLING UNITS SHALL BE EQUIPPED THROUGHOUT WITH TWO SEPARATE AND APPROVED FIRE APPARATUS ACCESS ROADS.
   - EXCEPTION: PROJECTS HAVING UP TO 200 DWELLING UNITS MAY HAVE A SINGLE APPROVED FIRE APPARATUS ACCESS ROAD WHEN ALL BUILDINGS, INCLUDING NONRESIDENTIAL OCCUPANCIES, ARE EQUIPPED THROUGHOUT WITH APPROVED AUTOMATIC SPRINKLER SYSTEMS INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2. (D106.2)
18. DEVELOPMENTS OF ONE- OR TWO-FAMILY DWELLINGS WHERE THE NUMBER OF DWELLING UNITS EXCEEDS 30 SHALL BE PROVIDED WITH SEPARATE AND APPROVED FIRE APPARATUS ACCESS ROADS AND SHALL MEET THE REQUIREMENTS OF SECTION D104.3.
   - EXCEPTIONS:
     1 WHERE THERE ARE MORE THAN 30 DWELLING UNITS ON A SINGLE PUBLIC OR PRIVATE FIRE APPARATUS ACCESS ROAD AND ALL DWELLING UNITS ARE EQUIPPED THROUGHOUT WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1, 903.3.1.2 OR 903.3.1.3 OF THE INTERNATIONAL FIRE CODE, ACCESS FROM TWO DIRECTIONS SHALL NOT BE REQUIRED.
     2 THE NUMBER OF DWELLING UNITS ON A SINGLE FIRE APPARATUS ACCESS ROAD SHALL NOT BE INCREASED UNLESS FIRE APPARATUS ACCESS ROADS WILL CONNECT WITH FUTURE DEVELOPMENT, AS DETERMINED BY THE FIRE CODE OFFICIAL. (D107.1)



JOB NUMBER: 20178

REV	DESCRIPTION	BY	DATE
1	REVIEW COMMENTS	ESB	06-12-23
2			
3			
4			
5			
6			

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT OR ENGINEER UNDER THE LAWS OF THE STATE OF NORTH CAROLINA AS SIGNIFIED BY MY HAND AND SEAL.

NORTH CAROLINA PROFESSIONAL SEAL 22916 ENGINEER MELISSA M. CARTER CERTIFICATION 7/18/2023

PLANS FOR
TUCKERS WALK PHASE 3
HARRIS RD., CONCORD, NORTH CAROLINA
OVERALL SITE PLAN

Odom Engineering PLLC
169 Oak Street, Forest City, N.C. 28043
ph: 828.247.4495 fax: 828.247.4498
NC Firm#: P-0888

SCALE: 1" = 30'
DATE: 03/02/23
DRAWN BY: MJG/EHM
CHECKED BY: LMC
PROJECT MGR: LMC
SHEET: C-300

Drawing name: Z:\2020\20178 - TUCKER'S WALK\DWG\20178 - TUCKER'S WALK PHASE 3 SITE - FOR 7 LOTS SEWER ALLOCATION.dwg Plotted on: Jul 18, 2023 - 2:12pm

Residential: Single Family Attached (Townhomes)

Ervin Property (CN-PSA-2023-00049)

750 Old Charlotte Rd. SW

DRC	Entitled	Units	PRS Routed	Technically Approved
6/24/2021	Yes	81	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	Yes	Yes	Yes	Yes

Allocation Request

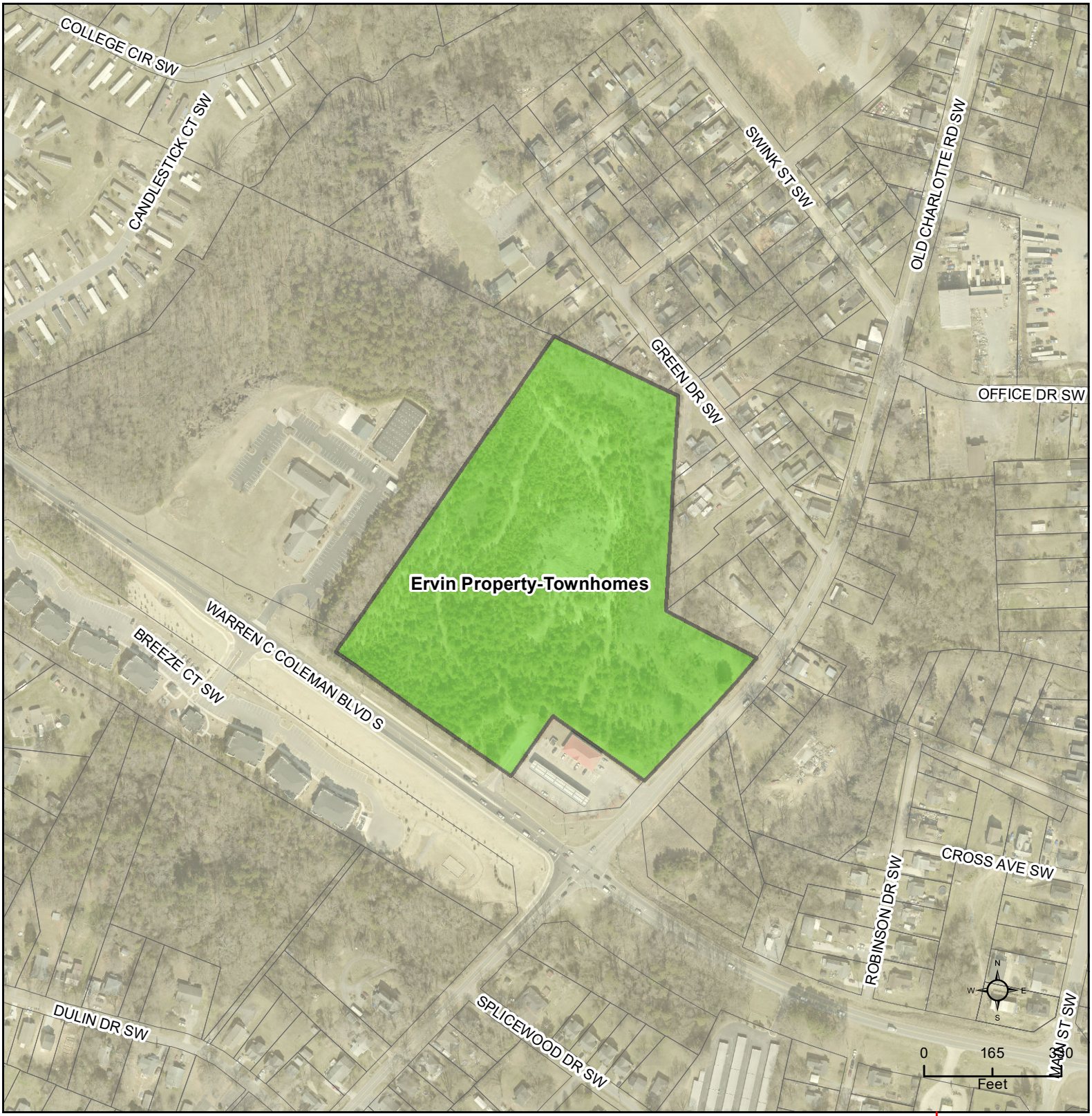
Total	2024	2025
18,225	11,250	6,975

Project Scoring

Small Area Plan	Vertical Mixed Use	Redevelopment Site	Horizontal Mixed Use	Downtown (MSD)	Located Adjacent to Existing Sewer	Annex.	Total
2	0	0	0	0	1	0	3

Brief Summary

The applicant is proposing 81 units at 750 Old Charlotte Rd. The site is already zoned Residential Compact (RC), so the development can proceed by right. The preliminary plat for the site was approved, pending payment on April 5, 2022. The fees were paid and were issued. The property is within the boundaries of the Center City Plan.

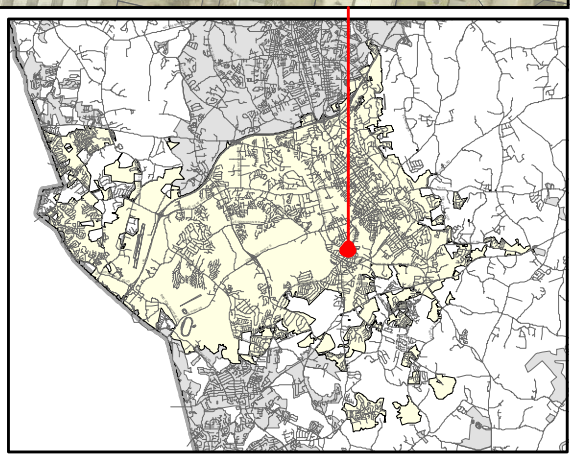


CN-PSA-2023-00049

Type: Residential
SF Attached
81 townhome units

Allocation Request: 18,225
Project Score: 3

Developments
Parcels
Rivers
Concord
Cabarrus County



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	**Project Title:**	Ervin Property - Townhomes					
2.)	**Description of project location:**	Site located on Old Charlotte Rd (SR 1335) approx 400 linear feet north of Warren C Coleman Blvd S (US Hwy 601) (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####)					
3.)	**Cabarrus County Parcel Identification Number:**	5529497904, 5620405037	3a.)	**Parcel Acreage:**	13.07		
4.)	**Site Zoning and use:**	RC, Residential	5.)	**Area Commercial or Industrial Building (sq. ft.)**			
6a.)	**Description of Facility to be served.**	Townhomes	6b.) **Number of Lots**	81	6c.) **Number of Units**	81	
7d.)	**Additional description information:**	Proposed 81 townhomes, mix of 2 & 3 bedrooms units					

B. Applicant Information

David Hughes, Manager (Title) (**Name** of **legal owner**, **board**, **council**, and/or **authorized official with title**; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	800 Westmere Ave, Suite 201 (Applicant's Street or Box Number)
Nest Communities, LLC (**Name of Applicant's company, city, town, corporation, sanitary district, water company or other** defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	Charlotte NC 28208 (Applicant's City, State, Zip Code)
704-787-5622 (Applicant's Phone Number)	 (Applicant's Facsimile Number)
David Hughes (Name) dhughes@nestcommunities.com (Email) (Name with Title and Email of contact person, who can answer questions about application)	dhughes@nestcommunities.com (Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

Josh Butler (Typed name of North Carolina Professional Engineer)	Gateway Design Group, PLLC (Company Name)
048418 (NCPE Registration Number)	15126 Castlebridge Lane (Street or Box Number)
910-840-2661 (Phone Number)	Matthews, NC 28104 (City, State, Zip Code)
Josh Butler (Name and affiliation of contact person, who can answer questions about **application & designs**)	josh@gatewaydesigngroup.com (Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

✔	Residential Subdivision		Retail (Stores, shopping centers)
	Apartments/Condominiums		Institution
	Mobile Home Park		Hospital, nursing home, dental
	School, preschool, daycare		Church
	Restaurants (Food or drink facilities)		Sports Centers
	Hotels or motels		Business, offices, factories
	Other (specify):_____		

2.) The type of wastewater is (indicate percentage):

	% Domestic
	% Commercial
	% Industrial
	% Other use (Specify) _____

3.) Pretreatment required:

○ No

◉ Yes **(Specify or attach effluent documentation)**

4.) **Volume of wastewater flow to be allocated for this particular project**: 18,225 gallons per day

*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**

(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**

a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)	No. of Units	Flow
Residential Multifamily	225 gal/ day	81	GPD 18,225
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
		Total	GPD 18,225

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I Dave Hughes (Printed Name), **the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.**

Signature: _____ Date: 8/25/23

September 6th, 2023

City Council
City of Concord
35 Cabarrus Ave W
Concord North Carolina 28025

Reference: Project Narrative for Preliminary Wastewater Flow Application
Ervin Property – **Townhomes**, PIN 5529497904, 5620405037

Dear Council Members and Staff:

In accordance with the City of Concord's preliminary wastewater flow allocation policy, this letter serves as the project narrative.

LOCATION: The proposed development is a 13-acre parcel existing within the City of Concord. It's located in the northwest quadrant of the intersection between Warren C. Coleman Boulevard South (US Hwy 601) and Old Charlotte Road (SR 1335). Please note that the existing Circle K gas station that's also at this intersection isn't associated with our project.

HISTORY: Our company has been the owner of this property and diligently worked with the planning staff since June 2021. We were granted Preliminary Plat approval in April 2022. Subsequently, we submitted the initial full construction plans for review in May 2022. While we have applied for wastewater allocation on three separate occasions - in July 2022, October 2022, and January 2023 – we have not yet received allocation.

PROPOSED USE: The Ervin Townhomes Development is intended to encompass 81 two-story townhomes. We are excited to present the following features for your consideration:

PROJECT FEATURES:

- The Ervin Property will boast a pedestrian-friendly streetscape, complete with sidewalks and planted medians on both sides of the internal roadway network. Furthermore, the frontage of Warren C. Coleman Boulevard South (US Hwy 601) and Old Charlotte Road (SR 1335) will also have these features.

- Our commitment to promoting an active and safe lifestyle is evident through the inclusion of dedicated bike lanes on one side of the internal roadways, accompanied by on-street parking on the opposite side.

- Each of the residences will feature three bedrooms and two and a half baths, offering a diverse architectural mix that seamlessly complements the surrounding area.

- Our townhomes will cater to a diverse range of housing needs, with values starting in the three-hundred-thousand-dollar range.

- Nest will build our highest energy efficient homes which include the latest technology and green building materials available in our market. The following features will be included:

    - ✓ Energy Star Rated appliances, including kitchen appliances and water heaters, along with an energy-efficient HVAC system.
    - ✓ Honeywell smart thermostats with Zwave technology
    - ✓ Environmentally friendly Freon-Free Air Conditioning.
    - ✓ Water-conserving low-flow toilets (1.6 gallons) as opposed to the older 3-gallon models.
    - ✓ Landscaping with Bermuda grass, which demands less water, fertilizer, and maintenance.
    - ✓ Energy Star Rated LED interior lighting.
    - ✓ Double Pane Low-E windows

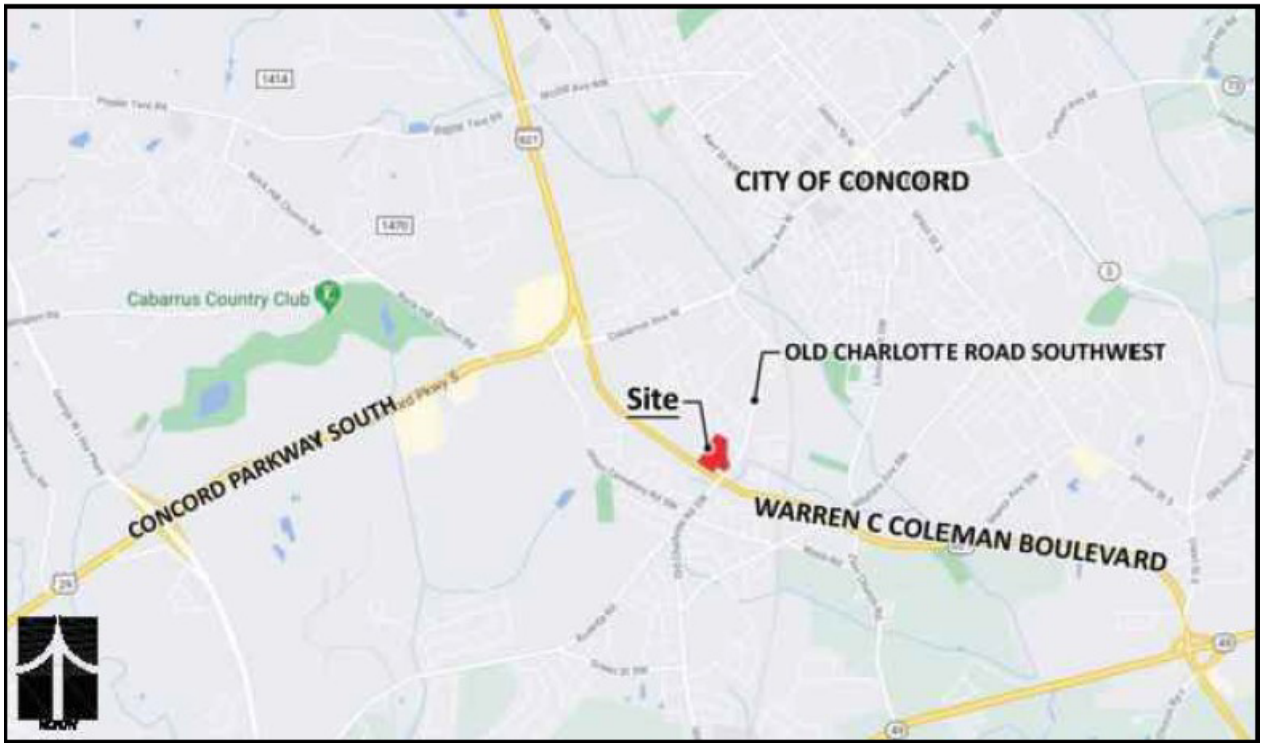
We, at Nest Communities, firmly believe that our innovative layout and commitment to energy efficiency will contribute positively to the community's development.

Thank you for considering our proposal.

Sincerely,

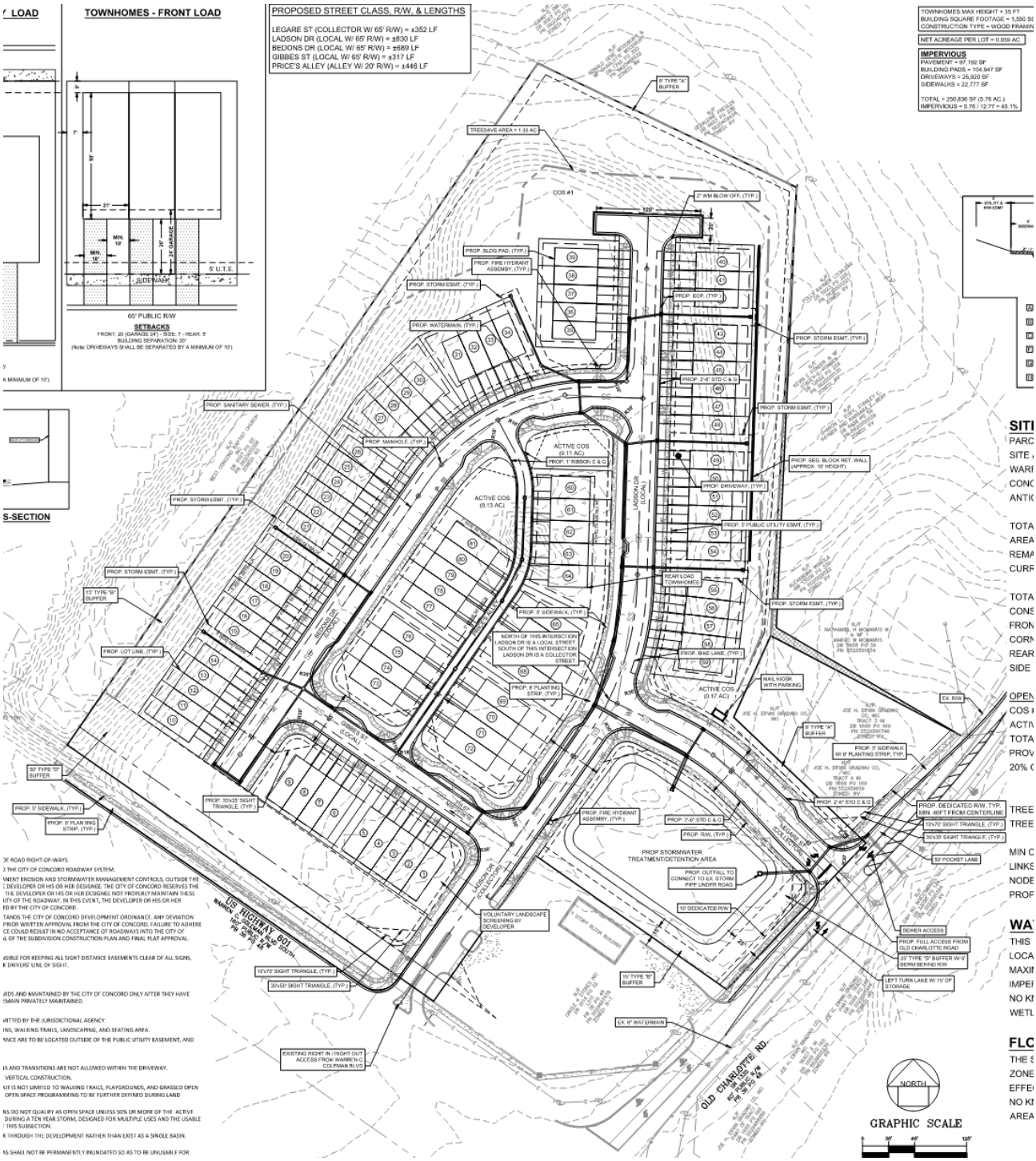
Dave Hughes
Nest Communities, LLC
p 704-787-5622
Dhughes@nestcommunities.com

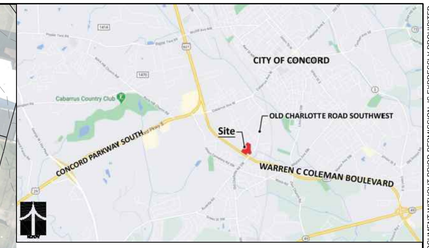
SITE LOCATION MAP



Ervin Townhomes

Proposed Site Plan





SITE INFORMATION:

PARCEL #: 552947904, 5620405037
SITE ADDRESS:
WARREN C COLEMAN BOULEVARD
CONCORD NC

SITE AREA - 13.41 AC
CURRENT ZONING: RC

TOTAL PROPOSED LOTS : 88 (7.15/AC)
FRONT / CORNER SETBACK: 24 / 12 FT
REAR SETBACK: 5 FT
SIDE SETBACK: 7 FT

OPEN SPACE PROVIDED = Approx. 3.843 AC
3.843/13.41 = 28.6% OPEN SPACE (20% REQ.)

BUFFERS REQUIRED AS NOTED

ALL INTERNAL STREETS TO BE MAINTAINED BY THE TOWN OF CONCORD AND BUILT TO TOWN STANDARDS
STREET LIGHTS PROVIDED **PER UDO**

DEVELOPER:

NEST COMMUNITIES, LLC
attn: DAVID HUGHES
236 RACEWAY DRIVE- #7
MOORESVILLE, NC 28117
Email: dhughes@nesthomes.com

DESIGNER:

EASTLAKE ENGINEERING, PLLC
470 NORTH BROAD STREET, SUITE A
MOORESVILLE, NC 28115
PAUL CARTER, P.E.
(865)816-4557
Email: pcartertn@yahoo.com

WATERSHED DATA:

WS-IV PROTECTED
PROPOSED IMPERVIOUS APPROX. : 47.5 %
MAXIMUM 70% IMPERVIOUS (HIGH DENSITY)

FLOOD DATA

THE SUBJECT PROPERTY IS WITHIN ZONE X
PER FEMA MAP 3710562000K
EFFECTIVE DATE 11 - 16 - 2018.

SANITATION COLLECTION:

ROLL OUT CONTAINERS WILL BE PROVIDED

* ALL CONSTRUCTION STANDARDS FOR THIS DEVELOPMENT SHALL ADHERE TO CONCORD UDO AMMENDED

NORTH

GRAPHIC SCALE
0 50' 100' 200'
(IN FEET)
HORIZONTAL 1 inch = 100 ft.

EASTLAKE ENGINEERING
8635-K Lindholm Dr. Huntersville, NC 28078 ph(865) 816-4557
NC FIRM # P-1713

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PRELIMINARY

NOT
FOR CONSTRUCTION

Ervin Property - Townhomes

by: Nest Communities,LLC
Mooresville, NC 28117

NO.	BY	DATE	REVISION

PROJECT #: 21-07 DATE 6-18-21
DRAWN BY: PC CHECKED BY: PC

TITLE
DRC Site Plan

SHEET NO.
SK-1.0

Z:\ELE\Projects\2021\21-07 NEST Ervin Towns Concord\CADD\References\x-Layout Ervin Townhomes.dwg PCART

Residential: Single Family Attached (Townhomes)

Weddington Road Villas (CN-PSA-2023-00050/ PRS2021-03526)

6512 Weddington Rd.

DRC	Entitled	Units	PRS Routed	Technically Approved
12/20/2020	Yes	82	Yes	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	No	No	No

Allocation Request

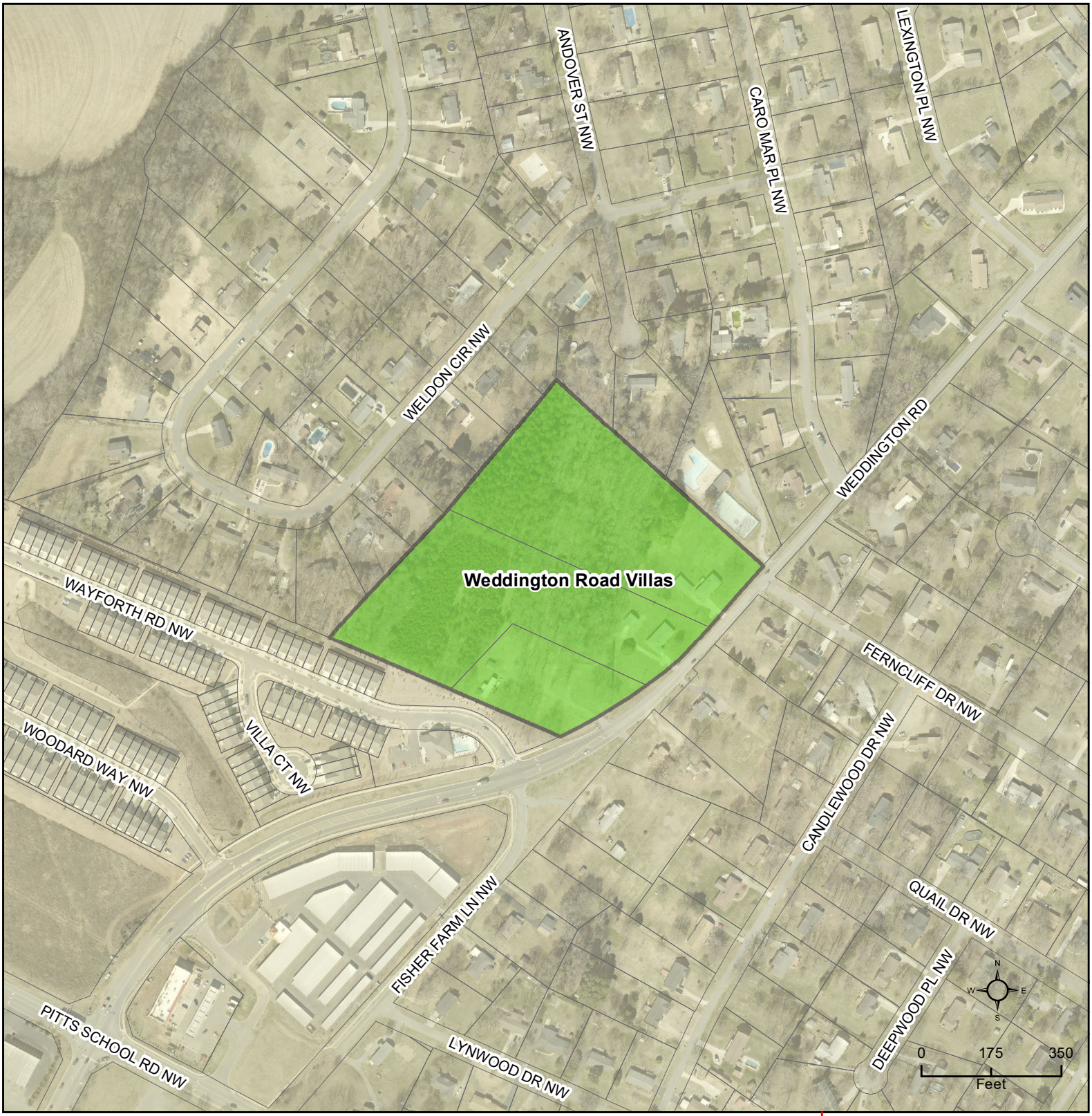
Total	2024	2025
13,800	9,000	4,800

Project Scoring

Small Area Plan	Vertical Mixed Use	Redevelopment Site	Horizontal Mixed Use	Downtown (MSD)	Located Adjacent to Existing Sewer	Annex.	Total
2	0	0	0	0	1	0	3

Brief Summary

The Weddington Road Villas project is an 82-unit expansion of the Wayford(th) project on Weddington Road, and is part of the same Planned Unit Development (PUD) zoning district, which was initially established in 2000, and this particular portion of the site was initially anticipated for 38 patio homes; the zoning was amended on May 18, 2021 (4 in favor, one against), to modify the PUD to permit 82 single family attached dwellings, including 70-two story townhomes and 12 attached single-story ranch houses. This rezoning request is consistent with the preliminary plat that was technically approved on 10/28/21, although payment of $300 is still pending. The construction drawing case, PRS2021-03526, was submitted after the cutoff for consideration at the March 2022 allocation meeting (11/24/21) but prior to the policy cutoff date for construction drawing routing, so the construction drawings have been through three rounds of review, with the latest concluded on 4/5/22. Remaining issues include the NCDOT driveway permit, encroachment requirements, technical issues regarding encroachments, utility crossings, and street transitions, offsite easement requirements, and corrections to utility applications. The site is being considered under single family attached since the lots are platted: Wayford is a subdivided, for rent, single family attached (townhome) subdivision, and Phase 2 is structured in the same manner. The site is redevelopment of mobile homes and single-family residences.

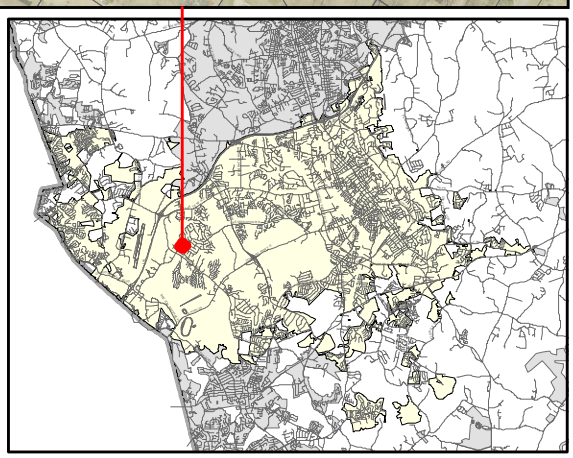


CN-PSA-2023-00050

Type: Residential
Multifamily
82 townhome units

Allocation Request: 13,800
Project Score: 3

Developments
Parcels
Rivers
Concord
Cabarrus County



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	Project Title:	Weddington Road Villas					
2.)	Description of project location:	1500 LF N from intersection of Route 1500 and Route 1431 toward Concord (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####))					
3.)	Cabarrus County Parcel Identification Number:	46907066640000	3a.)	Parcel Acreage:	11.69 AC		
4.)	Site Zoning and use:	PUD	5.)	Area Commercial or Industrial Building (sq. ft.)			
6a.)	Description of Facility to be served.	Townhomes	6b.) Number of Lots	82	6c.) Number of Units	82	
7d.)	Additional description information:	Additional Parcel No 46907051480000 and 46907054010000					

B. Applicant Information

Mallie Colavita, Manager (Title) (**Name** of **legal owner**, **board**, **council**, and/or **authorized official with title**; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	11035 Golf Links Dr P.O. Box 78763 (Applicant's Street or Box Number)
The Intrepid Companies (**Name of Applicant's company, city, town, corporation, sanitary district, water company or other** defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	Charlotte, NC 28277 (Applicant's City, State, Zip Code)
856-296-4407 (Applicant's Phone Number)	(Applicant's Facsimile Number)
Mallie Colavita (Name) (Email) (Name with Title and Email of contact person, who can answer questions about application)	mcolavita@gmail.com (Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

Jonathan Woodard, PE (Typed name of North Carolina Professional Engineer)	McAdams (Company Name)
049168 (NCPE Registration Number)	2100 South Tryon Street, Suite 400 (Street or Box Number)
980-288-1593 (Phone Number)	Charlotte, NC 28203 (City, State, Zip Code)
Jonathan Woodard, PE (Name and affiliation of contact person, who can answer questions about **application & designs**)	jwoodard@mcadamsco.com (Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

☐	Residential Subdivision	☐	Retail (Stores, shopping centers)
☑	Apartments/Condominiums	☐	Institution
☐	Mobile Home Park	☐	Hospital, nursing home, dental
☐	School, preschool, daycare	☐	Church
☐	Restaurants (Food or drink facilities)	☐	Sports Centers
☐	Hotels or motels	☐	Business, offices, factories
☐	Other (specify):_____		

2.) The type of wastewater is (indicate percentage):

100	**% Domestic**
	% Commercial
	% Industrial
	% Other use (Specify) _____

3.) Pretreatment required:

◉ No

○ Yes **(Specify or attach effluent documentation)**

4.) **Volume of wastewater flow to be allocated for this particular project**: 13,800 gallons per day

*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**

(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**

a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)			No. of Units	Flow	
2 Bedroom	150	gal/	2 Bedroom	62	GPD	9,300
3 Bedroom	225	gal/	3 Bedroom	20	GPD	4,500
		gal/			GPD	
		gal/			GPD	
		gal/			GPD	
		gal/			GPD	
				Total	GPD	13,800

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I Mallie Colavita (Printed Name), **the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.**

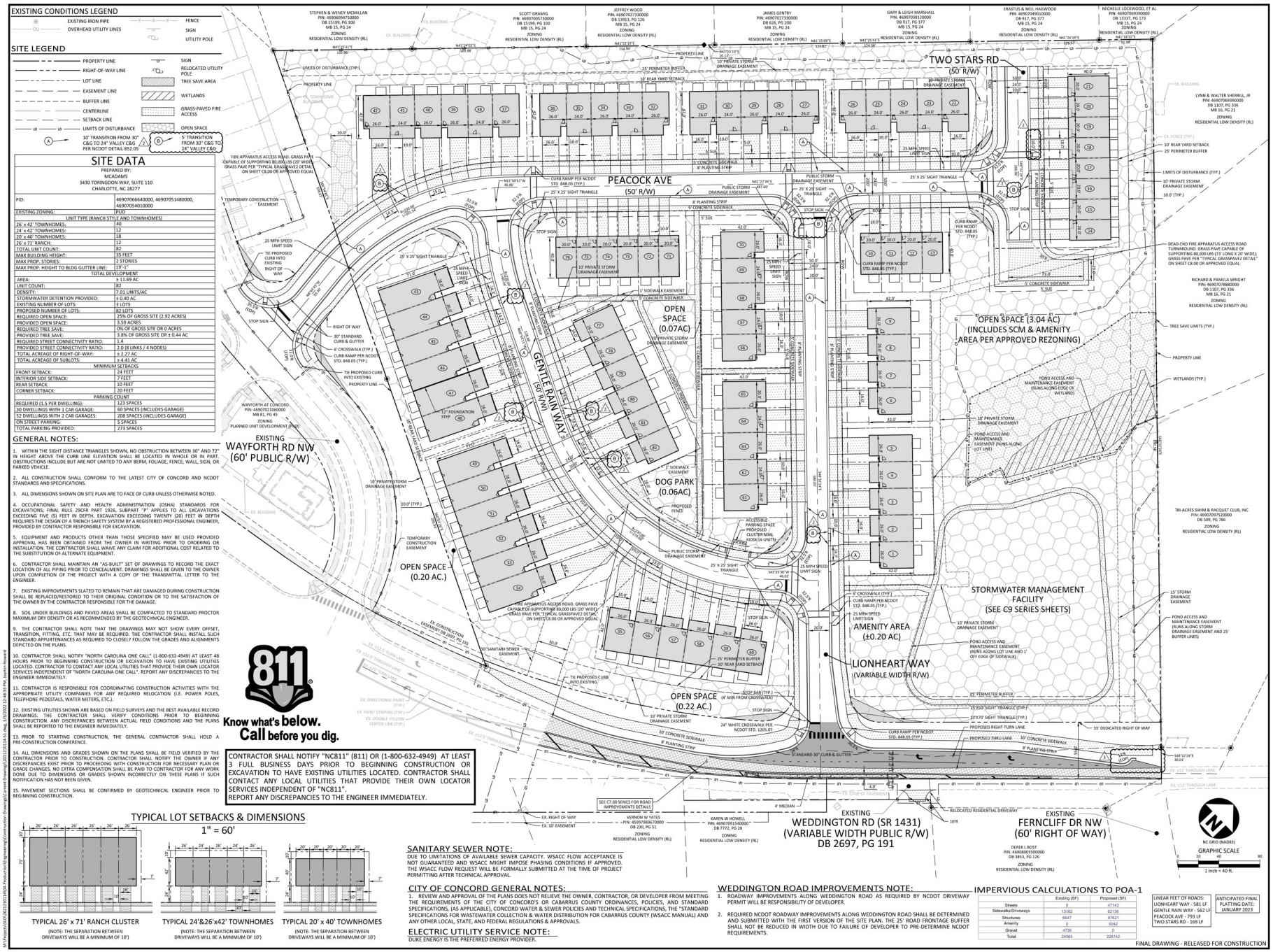
Mallie Colavita

Digitally signed by Mallie Colavita
DN: C=US, E=mcolavita@gmail.com, CN=Mallie Colavita
Reason: I agree to the terms defined by the placement of my signature on this document
Date: 2023.09.01 14:30:55-04'00'

Signature: Date:

The Weddington Road Villas is a proposed affordable townhome development, consisting of 82 units. The purpose of this project is to replace the existing mobile home park and create a small community exclusively focused on selling homes to lower income families. The townhome product will be brick and hardieboard façade with one or two car garages, ranging from 1800sqft to 2600sqft. The community will have sidewalks for connectivity and walkability, as well as a dog park and amenity. The Weddington Road Villas were successfully rezoned and granted preliminary plat approval in 2021. Aside from sewer capacity, the project is fully permitted and fully funded to begin upon sewer approval. We plan on delivering the first townhomes to lower income families as early as Fall 2024.

The Intrepid Companies and its associated partners have been investing in real estate since 2008 in the multifamily and residential sectors. Over the course of the past 15 years, Intrepid has been involved in over $1B worth of acquisition and development. Specific to the needs of low income housing and work force housing, the Intrepid Companies has been heavily focused exclusively in the Carolinas to create affordable communities, entitling and closing on over 20,000 lots, serving the needs of low income families.



McADAMS
The John R. McAdams Company, Inc.
2905 Meridian Parkway
Durham, NC 27713
phone 919. 361. 5000
fax 919. 361. 2269
license number: C-0293, C-187
www.mcadamsco.com

CLIENT
SILVER OAKS, LLC
1600 CAMDEN ROAD, SUITE 100
CHARLOTTE, NORTH CAROLINA 28203

WEDDINGTON ROAD VILLAS
CONSTRUCTION DRAWINGS
WEDDINGTON ROAD
CONCORD, NORTH CAROLINA, 28209

NORTH CAROLINA FIRM NO. C-0293 CERTIFICATE OF AUTHORIZATION
THE JOHN R. McADAMS COMPANY, INC. C-0293
NORTH CAROLINA PROFESSIONAL ENGINEER SEAL 049169 JONATHAN B. WOODARD
3/3/22

REVISIONS

NO.	DATE	
1	01. 11. 2022	REVS PER CITY 1ST COMMENTS
2	02. 23. 2022	REVS PER CITY, NCDOT & NCDEQ
3	03. 03. 2022	REVS PER NCDOT COMMENTS

PLAN INFORMATION

PROJECT NO.	2021210114
FILENAME	2021210114-S1
CHECKED BY	JBW
DRAWN BY	JZH
SCALE	1" = 40'
DATE	11. 19. 2021
SHEET	

SITE PLAN
C2.00

L:\Projects\2021\2021210114\Civil\Production\Engineering\Construction Drawings\Submittal Drawings\2021210114-S1.dwg, 3/3/2022 11:48:33 PM, Jasmin Hameed

Residential: Single Family Attached (Townhomes)

Sunview Subdivision (CN-PSA-2023-00058)

838 Sun View Dr. NW

DRC	Entitled	Units	PRS Routed	Technically Approved
5/22/2022(as multi-family)	Yes	95	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
Yes	Yes	Yes	Yes	Yes

Allocation Request

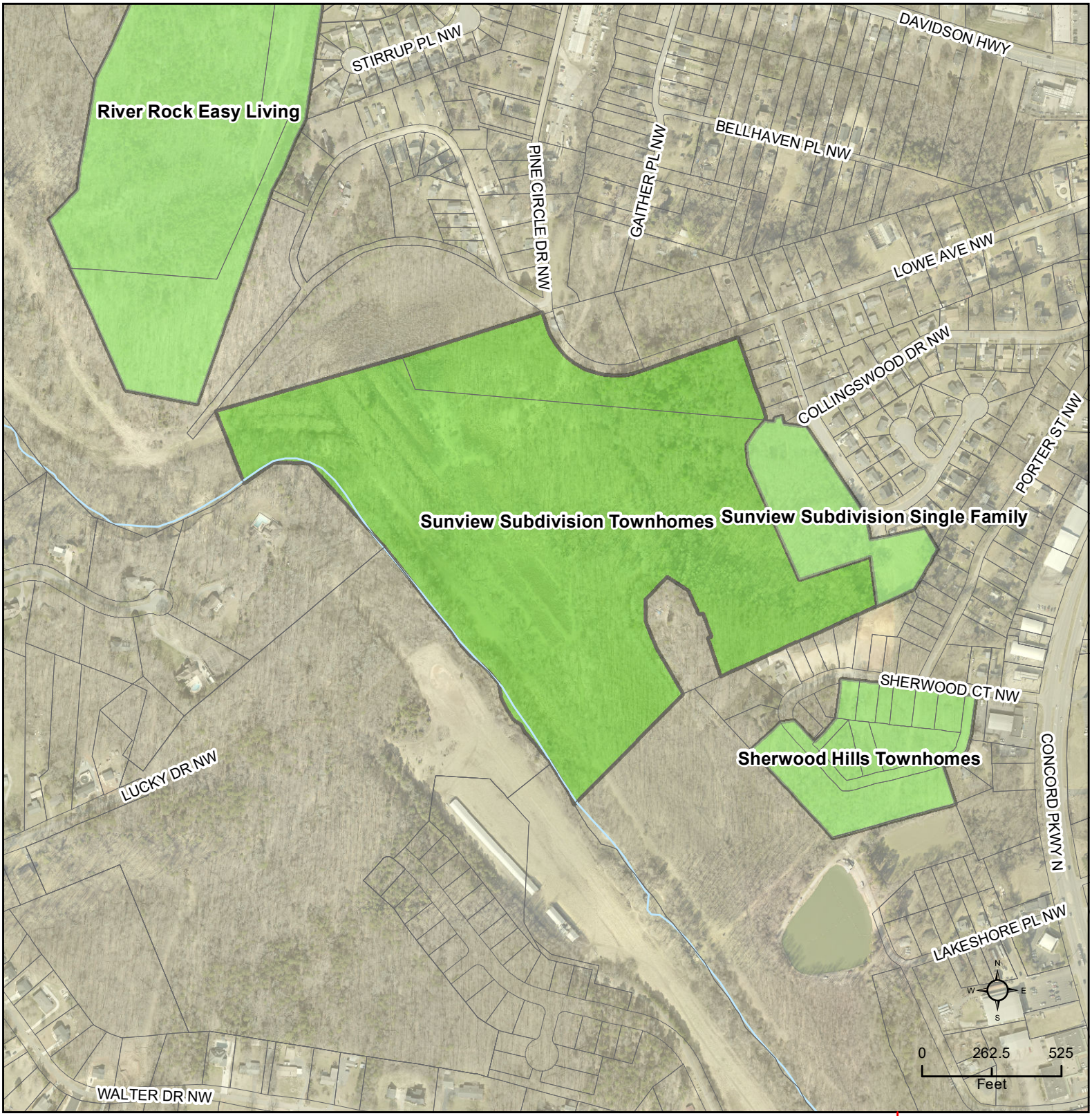
Total	2024	2025
14,250	7,500	6,750

Project Scoring

Small Area Plan	Vertical Mixed Use	Redevelopment Site	Horizontal Mixed Use	Downtown (MSD)	Located Adjacent to Existing Sewer	Annex.	Total
0	0	0	0	0	1	0	1

Brief Summary

This is a project that has been submitted as a townhome style multi-family project for sewer allocation in July 2022. A preliminary plat was approved for a townhome style subdivision on February 4, 2022, but payment of $400 has not been received yet. The narrative now reflects the desire to restructure the project as 24 single family detached units and 95 townhomes.

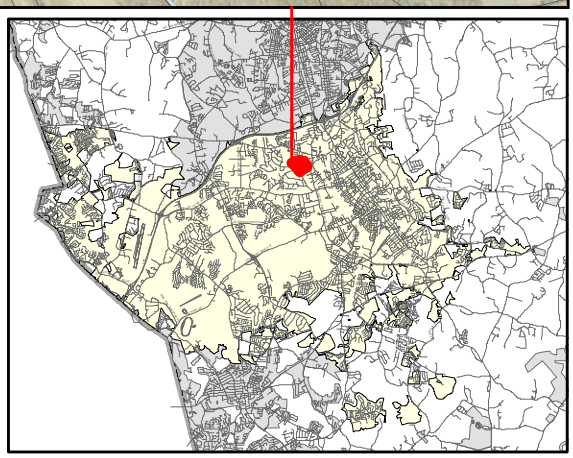


CN-PSA-2023-00058

Type: Residential
SF Attached
95 townhome units

Allocation Request: 14,250
Project Score: 1

Developments
Parcels
Rivers
Concord
Cabarrus County



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	**Project Title:**	Sunview Subdivision					
2.)	**Description of project location:**	Site located at 838 Sunview Dr. NW, approximately 150 ft S of intersection of Collingswood Dr. and Sunview Dr. NW, and 1300 ft E of intersection of Collingswood Dr SW and Central Dr NW (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####))					
3.)	**Cabarrus County Parcel Identification Number:**	5611734751 & 5611740201	3a.)	**Parcel Acreage:**	47.940		
4.)	**Site Zoning and use:**	RC, Residential Homes	5.)	**Area Commercial or Industrial Building (sq. ft.)**	0		
6a.)	**Description of Facility to be served.**	Residential Housing	**6b.) Number of Lots**	119	**6c.) Number of Units**	119	
7d.)	**Additional description information:**	Horizontal Mixed Use Single Family Homes & Townhomes					

B. Applicant Information

Jack Moran , Manager (Title) (**Name** of **legal owner**, **board**, **council**, and/or **authorized official with title**; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	330 Patterson Drive (Applicant's Street or Box Number)
Sapphire Strait, LLC (**Name of Applicant's company, city, town, corporation, sanitary district, water company or other** defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	Myrtle Beach, SC, 29572 (Applicant's City, State, Zip Code)
(704) 574-0316 (Applicant's Phone Number)	 (Applicant's Facsimile Number)
Kate Underwood (Name) kate@daylighteng.com (Email) (Name with Title and Email of contact person, who can answer questions about application)	jmoran@moranbankconsulting.com (Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

Kate Underwood , PhD, PE (Typed name of North Carolina Professional Engineer)	Daylight Engineering (Company Name)
033470 (NCPE Registration Number)	P.O Box 1804 (Street or Box Number)
(980) 234-7500 (Phone Number)	Concord, NC, 28026-1804 (City, State, Zip Code)
Kate Underwood, PhD, PE (Name and affiliation of contact person, who can answer questions about **application & designs**)	kate@daylighteng.com (Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

✓	Residential Subdivision		Retail (Stores, shopping centers)
	Apartments/Condominiums		Institution
	Mobile Home Park		Hospital, nursing home, dental
	School, preschool, daycare		Church
	Restaurants (Food or drink facilities)		Sports Centers
	Hotels or motels		Business, offices, factories
	Other (specify):____		

2.) The type of wastewater is (indicate percentage):

100	**% Domestic**
	% Commercial
	% Industrial
	% Other use (Specify) ____

3.) Pretreatment required:

(●) No

( ) Yes **(Specify or attach effluent documentation)**

____

4.) **Volume of wastewater flow to be allocated for this particular project**: 20,550 gallons per day

*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**

(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**

a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)	No. of Units	Flow
Single Family	75 gal/ bedroom * 4 bedrooms	12	GPD 3,600
Single Family	75 gal/ bedroom * 3 bedrooms	12	GPD 2,700
Townhomes	75 gal/ bedroom * 2 bedrooms	95	GPD 14,250
	gal/		GPD
	gal/		GPD
	gal/		GPD
		Total	GPD 20,550

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I John J. Moran (Printed Name), **the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.**

Signature: _____ Date: 9/26/2023

DAYLIGHT ENGINEERING

57 Union Street South
Concord, NC 28025
980.234.7500
daylighteng.com

Dear Mr. Mayor, City Council and Staff,

Dream Finders Homes (formally H+H Homes) is requesting sewer allocation for Sunview, an integrated housing development of single family residential homes and townhomes. This development is tucked in behind the long-established neighborhood of Collingswood Dr off of Central, in the heart of Concord. In support of this request, please note the following considerations:

1. The developer is committed to Concord, and has ***owned the property since January 2021*** (Saphire Straight LLC).
2. Preliminary Plat approval for a 140 unit townhome development was issued February 4th, 2022, as the sewer restrictions were coming into place.
3. Sewer allocation has been ***requested at every opportunity***, including:

Project Design	City Council Meeting	City Council Results
140 Apartment Townhomes	July 2022	Not Allocated
72 Single Family Residential	September 2022	Not Allocated
72 Single Family Residential	December 2022	Not Allocated
72 Single Family Residential	February 2023	Not Allocated
Horizontal Mixed Use (24 Single Family Residential and 95 Townhomes)	October 2023	

4. The site is located ***less than 2.5 miles from City Hall***, nearby to downtown.
5. There is existing sewer running through the development, and water available at the connection points with city streets.
6. Proposed site amenities include a nature trail that traverses the site. Of the 53 acres on-site, ***approximately 33 acres are proposed to remain natural/undeveloped.***
7. This site is designated as ***Urban Neighborhood*** in the Future Land Use Plan. This site meets the intent of the Future Land Use Plan, section 5.2 bullet 4, which specifies that "***infill is most desirable within identified Mixed-Use Activity Centers, Village Centers, and Urban Neighborhoods***"
8. This proposal also meets the ***Future Land Use Plan Objective 1.6 which guides us to "provide a diverse mix and range of housing options"*** through the guidance of providing mixed-density housing through integrated housing types. This project meets the policy and guidance of the Future Land Use Plan through the proposed mixed single family and single family attached horizontal mixed-use approach.
9. We have investigated other development options but have been informed by Staff that residential development is the only probable and appropriate use for this property.

57 Union Street South
Concord, NC 28025
980.234.7500
daylighteng.com

While Dream Finders Homes appreciates the challenges that restricted sewer availability has caused for Cabarrus County and the City of Concord, we would like to respectfully request your consideration and approval of this project in the heart of Concord.

Respectfully,

09/27/2023

_____

Kate Underwood, PhD, PE
Engineer & Partner, Daylight Engineering
M 980.234.7500 | **E** kate@daylighteng.com
57 Union Street South | Concord, NC 28025

TAX PARCEL NUMBER: 5611-73-4751, 5611-74-0201

PARCEL SIZE: 53.526 ACRES
EXISTING ZONING: RC
PROPOSED ZONING: RC
PROPOSED USES: HORIZONTAL MIXED USE SINGLE FAMILY AND TOWNHOMES

EXISTING LOTS: 2
PROPOSED LOTS: 24 SINGLE FAMILY AND 95 TOWNHOMES
(119 TOTAL UNITS)

ZONING REQUIREMENTS:
MAXIMUM DENSITY: 15 DWELLING UNITS/ACRE
PROPOSED DENISTY: 119/53.526 = 2.22 DWELLING UNITS/ACRE
MINIMUM LOT AREA: N/A
MINIMUM LOT WIDTH: N/A
MINIMUM LOT DEPTH: N/A

MINIMUM SETBACKS REQUIRED AND PROVIDED:
FRONT SETBACK (FRONT-LOADED LOTS): 24'
FRONT SETBACK (ALLEY-LOADED LOTS): 20'
SIDE SETBACK: 7'
REAR SETBACK: 5'
CORNER SETBACK: 20'

NOTE: FRONT SETBACK CAN BE REDUCE TO 20' IF GARAGE IS RECESSED 4' FROM FACE OF BUILDING ON FRONT-LOADED LOTS.
NOTE: INTERNAL SIDE SETBACKS NOT REQUIRED FOR SINGLE FAMILY ATTACHED DEVELOPMENTS

FLOOD ZONE AE (FROM FEMA)
PANEL: 3710561100K

0 50.0001 100.0002 Feet

ZONED RM-2
ZONED RC
ZONED RV
Collingswood Drive 30' Public R/W
Collingswood Dri 40' Public R/W
Sun View Drive NW 60' Public R/W
Valley Glen Ct. NW 50' Public R/W
Potter Street NW 40' Public R/W
Lowe Avenue NW 30' Public R/W
Sherwood Ct. NW 40' Public R/W
(LOWE 50' ROW)
PROPOSED 5' SIDEWALK
5' PUBLIC UTILITY EASEMENT
8' STREET YARD
8' TYPE A BUFFER YARD
2'-6" STANDARD CURB & GUTTER (TYP.)
EXISTING PROPERTY LINE
PRIVATE ALLEY B 20'
PRIVATE ALLEY C 20'
PRIVATE ALLEY A 20'
CLEAR SKY LANE 60' ROW
LOGAN LANE 60' ROW
LOGAN LANE 54' ROW
LOGAN LANE 50' ROW
LOWE AVE EXTENSION 60' ROW
SUN VIEW DRIVE NW
70'X10' SIGHT TRIANGLE
25'X25' SIGHT TRAINGLE
1'-6" STANDARD CURB & GUTTER (TYP.)
60' Proposed Access Easement
Intermittent Stream "C"
Wetlands "A"
Aprrox. 100 Year Flood Line Per FEMA
STUB-OUT FOR FUTURE CONNECTION
NATURAL SURFACE NATURE TRAIL
20' VEGETATED SETBACK
CLASS 2 UNDISTURBED STREAM BUFFER
ZONING: RC

LOT 1 0.143 ACRES 6245 SQ. FT.
LOT 2 0.173 ACRES 7543 SQ. FT.
LOT 3 0.245 ACRES 10671 SQ. FT.
LOT 4 0.255 ACRES 11105 SQ. FT.
LOT 5 0.173 ACRES 7538 SQ. FT.
LOT 6 0.149 ACRES 6480 SQ. FT.
LOT 7 0.204 ACRES 8873 SQ. FT.
LOT 8 0.163 ACRES 7113 SQ. FT.
LOT 9 0.149 ACRES 6480 SQ. FT.
LOT 10 0.149 ACRES 6480 SQ. FT.
LOT 11 0.149 ACRES 6480 SQ. FT.
LOT 12 0.149 ACRES 6480 SQ. FT.
LOT 13 0.149 ACRES 6480 SQ. FT.
LOT 14 0.274 ACRES 11946 SQ. FT.
LOT 15 0.212 ACRES 9225 SQ. FT.
LOT 16 0.152 ACRES 6606 SQ. FT.
LOT 17 0.156 ACRES 6801 SQ. FT.
LOT 18 0.140 ACRES 6119 SQ. FT.
LOT 19 0.143 ACRES 6216 SQ. FT.
LOT 20 0.145 ACRES 6315 SQ. FT.
LOT 21 0.149 ACRES 6461 SQ. FT.
LOT 22 0.152 ACRES 6606 SQ. FT.
LOT 23 0.209 ACRES 9099 SQ. FT.
LOT 24 0.222 ACRES 9653 SQ. FT.
0.144 ACRES PASSIVE COMMON OPEN SPACE
0.017 ACRES PASSIVE COMMON OPEN SPACE
0.011 ACRES PASSIVE COMMON OPEN SPACE
0.011 ACRES PASSIVE COMMON OPEN SPACE
0.144 ACRES PASSIVE COMMON OPEN SPACE

NOTE:
LIGHTING TO BE PROVIDED @ INTERSECTION OF SUNVIEW DR. NW & LOGAN LANE

REVISION	DATE	DESCRIPTION

SUNVIEW SUBDIVISION

SITE LAYOUT

838 SUNVIEW DR. NW, CONCORD, NC 28027
DREAM FINDERS HOMES - 301 MCCULLOUGH DRIVE STE. 109, CHARLOTTE, NC 28262
PROJECT NO. 23005
PROJECT MANAGER: NICK BUYSSE, PE

DAYLIGHT ENGINEERING
57 UNION STREET SOUTH, CONCORD, NC 28025 · (980) 234-7500 · WWW.DAYLIGHTENG.COM
NCBELS LICENSE: P-2772

ENGINEERS SEAL

PRELIMINARY NOT FOR CONSTRUCTION
09/27/2023

C200

The **Amber**

2 Bedrooms
2.5 Bathrooms
1,698 - 1,709 sq ft

The specific features in a home may vary from home to home and from one community to another. Square footage and dimensions are estimated and may vary in actual construction. We reserve the right to substitute equipment, material, appliances and brand names with items of equal or higher value at our sole discretion. As we continue to improve our customer satisfaction we occasionally make changes to specific floor plans. This flyer, which is for marketing purposes only, reflects changes made as of 5/1/2020. Homes built prior to that date may have slight variations.

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The **Sunstone**

2 Bedrooms
2.5 Bathrooms
1,511-1840 sq ft

The specific features in a home may vary from home to home and from one community to another. Square footage and dimensions are estimated and may vary in actual construction. We reserve the right to substitute equipment, material, appliances and brand names with items of equal or higher value at our sole discretion. As we continue to improve our customer satisfaction we occasionally make changes to specific floor plans. This flyer, which is for marketing purposes only, reflects changes made as of 04/01/2020 Homes built prior to that date may have slight variations. Floor plans are the copyrighted property of H&H Homes. ©2020 H&H Homes.

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HHhomes.com

H&H HOMES

The **Amber**

2 Bedrooms
2.5 Bathrooms
1,698 - 1,709 sq ft

The specific features in a home may vary from home to home and from one community to another. Square footage and dimensions are estimated and may vary in actual construction. We reserve the right to substitute equipment, material, appliances and brand names with items of equal or higher value at our sole discretion. As we continue to improve our customer satisfaction we occasionally make changes to specific floor plans. This flyer, which is for marketing purposes only, reflects changes made as of 5/1/2020. Homes built prior to that date may have slight variations.

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EQUAL HOUSING OPPORTUNITY

HHhomes.com

H&H HOMES

THE CARDINAL

4 BEDROOM | 2.5 BATH | 2 CAR GARAGE | 2,235 SQ. FT. LIVING AREA

ELEVATION A

ELEVATION B

ELEVATION C

REV. 11/16/18

DREAMFINDERSHOMES.COM
Site maps, floor plans and elevations are artist's rendering only and are subject to change without notice. Dimensions, plans and specifications are not to scale. Contact your new home sales associate for more details. Dream Finders Homes CBC1252734

THE RIVERBIRCH

3 BEDROOM | 2.5 BATH | 2 CAR GARAGE | 1,712 SQ. FT. LIVING AREA

ELEVATION A

ELEVATION B

ELEVATION C

REV. 4/1/20

Site maps, floor plans and elevations are artist's rendering only and are subject to change without notice. Dimensions, plans and specifications are not to scale. Contact your new home sales associate for more details. Dream Finders Homes CBC1252734

THE WAYFARE

3-5 BEDROOM | 2.5-3 BATH | 2 CAR GARAGE | 2,267 SQ. FT. LIVING AREA

ELEVATION A

ELEVATION B

ELEVATION D

REV. 4/8/20

DREAMFINDERSHOMES.COM
Site maps, floor plans and elevations are artist's rendering only and are subject to change without notice. Dimensions, plans and specifications are not to scale. Contact your new home sales associate for more details. Dream Finders Homes CBC1252734

Residential: Single Family Attached (Townhomes)

Weddington Rd. Site (CN-PSA-2023-00061)

4460 Weddington Rd.

DRC	Entitled	Units	PRS Routed	Technically Approved
9/23/2021	Yes	166	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	Yes	No	No

Allocation Request

Total	2024	2025	2026	2027
37,350	11,250	11,250	11,250	3,600

Project Scoring

Small Area Plan	Vertical Mixed Use	Redevelopment Site	Horizontal Mixed Use	Downtown (MSD)	Located Adjacent to Existing Sewer	Annex.	Total
2	0	1	0	0	1	0	4

Brief Summary

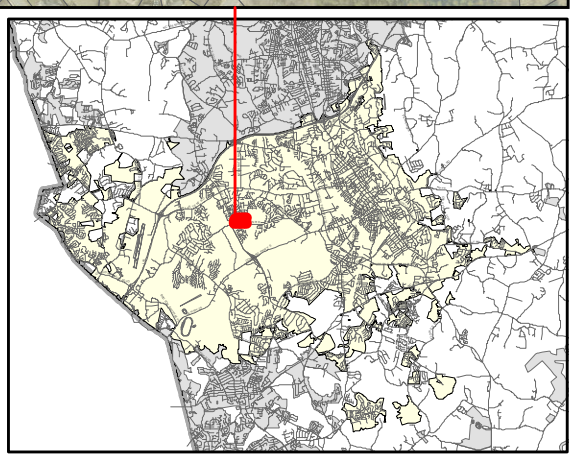
This is a project that has been submitted as a townhome style multi-family project for sewer allocation in July 2022. A preliminary plat was approved for a townhome style subdivision on February 4, 2022, but payment of $400 has not been received yet. The narrative now reflects the desire to restructure the project as 65 single family detached units and 166 townhomes.

CN-PSA-2023-00061

Type: Residential
SF Detached
65 single family units

Allocation Request: 19,500
Project Score: 4

Developments
Parcels
Rivers
Concord
Cabarrus County



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	**Project Title:**	Weddington Road Site					
2.)	**Description of project location:**	Directly West of West Cabbarus High School, Near Weddington Rd and George Lyles Pkwy Intersection (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####)					
3.)	**Cabarrus County Parcel Identification Number:**	56007478020000	3a.)	**Parcel Acreage:**	75.83		
4.)	**Site Zoning and use:**	RV	5.)	**Area Commercial or Industrial Building (sq. ft.)**	N/A		
6a.)	**Description of Facility to be served.**	Residential Neighborhood	6b.)	**Number of Lots**	231	6c.) **Number of Units**	231
7d.)	**Additional description information:**	Mixed Residential Neighborhood with single family homes and attached townhomes.					

B. Applicant Information

Brian Johnson, Vice President (Title) (Name of legal owner, board, council, and/or authorized official with title; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	2025 Ayrsley Town Boulevard, Ste 1104 (Applicant's Street or Box Number)
Mattamy Carolina Corporation (Name of Applicant's company, city, town, corporation, sanitary district, water company or other defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	Charlotte, NC 28273 (Applicant's City, State, Zip Code)
704.507.7547 (Applicant's Phone Number)	N/A (Applicant's Facsimile Number)
Brian Johnson (Name) BA.johnson@mattamycorp.com (Email) (Name with Title and Email of contact person, who can answer questions about application)	BA.Johnson@mattamycorp.com (Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

Matthew R. Reiking (Typed name of North Carolina Professional Engineer)	ESP Associates, Inc. (Company Name)
038830 (NCPE Registration Number)	P.O. Box 7030 (Street or Box Number)
803.802.2440 (Phone Number)	Charlotte, NC 28241 (City, State, Zip Code)
Matt Reiking (Name and affiliation of contact person, who can answer questions about application & designs)	mreiking@espassociates.com (Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

✔	Residential Subdivision		Retail (Stores, shopping centers)
	Apartments/Condominiums		Institution
	Mobile Home Park		Hospital, nursing home, dental
	School, preschool, daycare		Church
	Restaurants (Food or drink facilities)		Sports Centers
	Hotels or motels		Business, offices, factories
	Other (specify):____		

2.) The type of wastewater is (indicate percentage):

100	**% Domestic**
	% Commercial
	% Industrial
	% Other use (Specify) ____

3.) Pretreatment required:
(●) No
( ) Yes **(Specify or attach effluent documentation)**
____

4.) **Volume of wastewater flow to be allocated for this particular project:** 56,850 gallons per day
*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**
(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**
a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).
b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**
{**Flow rates NOT listed in table 15A NCAC 2T .0114** must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)	No. of Units	Flow	
Single Family Homes (Assumed 4 Br)	75gal/day/bedroom x 4 = 300 gal/ day	65	GPD	19,500
Townhomes (Assumed 3 Br)	75gal/day/bedroom x 3 = 225 gal/ day	166	GPD	37,350
	gal/		GPD	
	gal/		GPD	
	gal/		GPD	
	gal/		GPD	
		Total	GPD	56,850

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I Brian Johnson (Printed Name) **the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.**

Signature: Date: 10-2-23

October 3, 2023

City of Concord
Engineering Department
P.O. Box 308
Concord, NC 28026-0308

RE: Weddington Road Site
Concord, NC
Preliminary Wastewater Flow Narrative

To Whom It May Concern;

A proposed residential development, currently referred to as the Weddington Road Site is being proposed by Mattamy Homes as generally shown in the "Weddington Road Site Preliminary Concept Plan" last dated March 7, 2023, prepared by ESP Associates, Inc. The project encompasses approximately 75.8 acres within Tax Parcel ID#56007478020000. The proposed development is located directly South and West of the West Cabarrus High School along Weddington Road near the intersection of Weddington Road and George Lyles Parkway and consists of approximately:

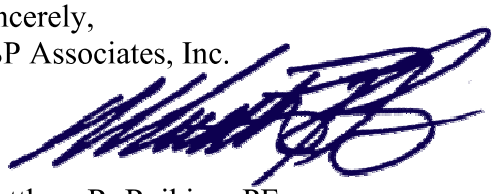
- +/-231 Total Units:
  - 166 Townhome Front-Loaded Units, assumed to be an average of 3 bedrooms per unit.
  - 65 Single Family Detached Residential Lots, assumed to be an average of 4 bedrooms per home.
- Utilization of Existing RV Zoning.
- Three (3) tie ins of proposed streets to existing public roadways.
- Tie-in to existing City of Concord public water and sewer infrastructure.
- Water quality areas to manage and control stormwater runoff from the proposed development.
- Grading to minimize impacts to protected streams/wetlands, as feasible.
- Incorporation of at least 15% of the total site areas as shared public spaces and open areas for use by the residents.
- Incorporation of tree save equal to or greater than 50% required common open space.
- No industrial development.

This proposed development is estimated to produce 56,850 gal/day of wastewater flow, assuming 75gal/day/bedroom. Wastewater is currently anticipated to be managed by tying into and utilizing the existing City's sanitary sewer system surrounding the site.

ESP Associates, Inc.
P.O. Box 7030 ▪ Charlotte, NC 28241
1.800.960.7317 ▪ NC: 704.583.4949, fax 704.583.4950 ▪ SC: 803.802.2440, fax 803.802.2515
www.espassociates.com

If you have any questions or require any additional information, please do not hesitate to contact me by phone at 704-654-5336 or via email at mreiking@espassociates.com.

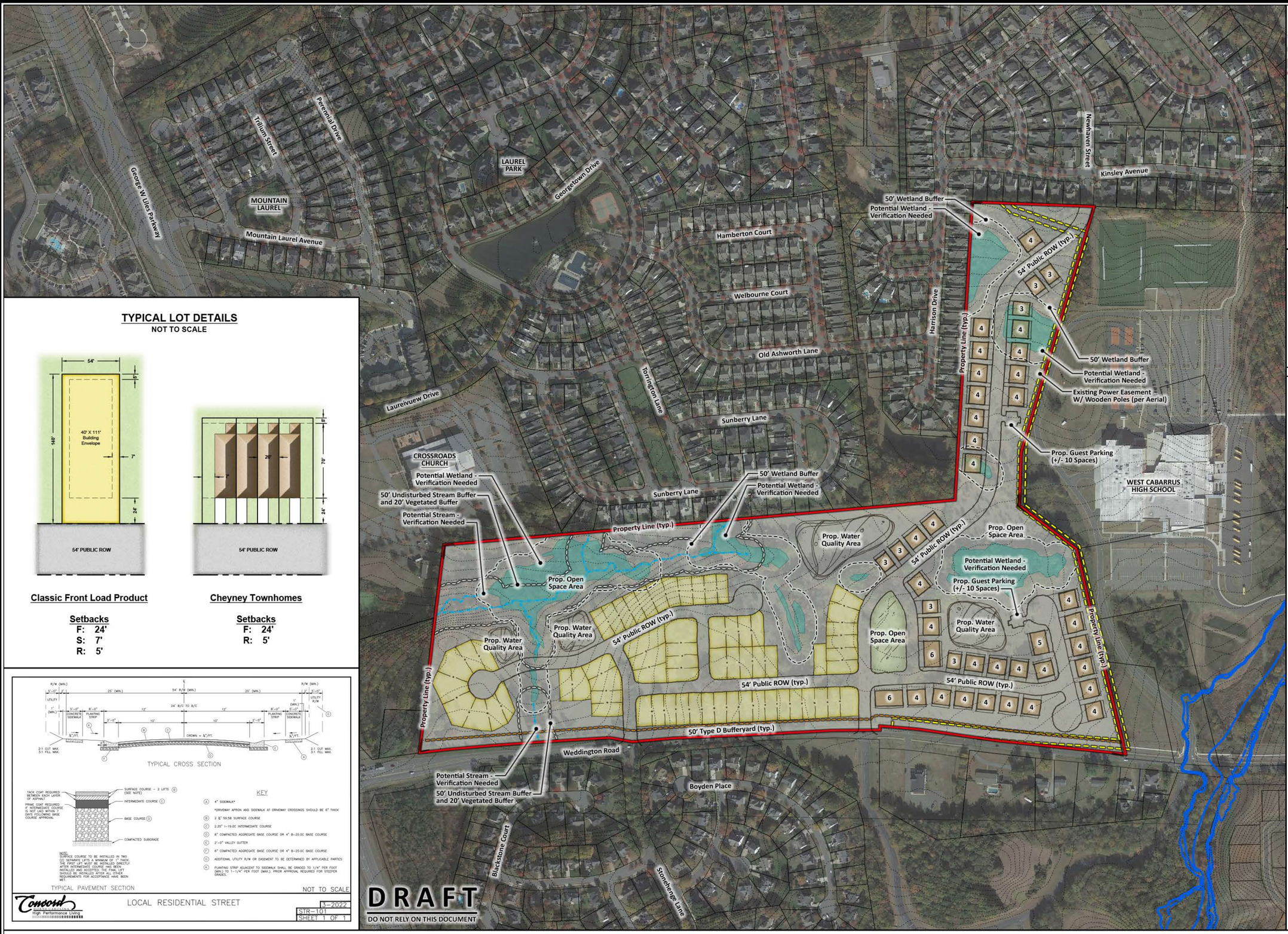
Sincerely,
ESP Associates, Inc.



Matthew R. Reiking, PE
Civil Engineering Department Manager

cc: Brian Johnson – Vice President Mattamy Carolinas Corp.

ESP Associates, Inc.
P.O. Box 7030 ▪ Charlotte, NC 28241
1.800.960.7317 ▪ NC: 704.583.4949, fax 704.583.4950 ▪ SC: 803.802.2440, fax 803.802.2515
www.espassociates.com



DRAFT
DO NOT RELY ON THIS DOCUMENT

Vicinity Map

Not To Scale

NORTH

Site Data:

Tax Parcels:	56007478020000
Total Acreage:	+/- 75.83 Acres (per GIS)
Location:	City of Concord, North Carolina
Zoning:	
Existing:	RV
Total Potential Lots:	+/- 231 Units
Cheyney Townhomes:	+/- 166 Units (20' x 60')
Classic Product:	+/- 65 Units (54' x 140')
Potential Density:	+/- 3.05 DU/AC
Open Space:	
Required:	+/- 11.37 Acres (15%) Min.
Proposed:	+/- 11.37 Acres (15%)
Tree Save:	
Required:	50% of Required Open Space
Proposed:	50% of Required Open Space
Connectivity:	
Required:	1.4 (Links/Nodes)
Proposed:	1.33 (16 Links/12 Nodes)
Road Length:	
54' Public ROW:	+/- 7,700 LF

General Notes

1. Base information provided by Cabarrus County GIS Data and should be verified for accuracy.
2. All site plan, zoning, and wetland information utilized in the preparation of this plan is considered to be preliminary in nature and subject to change and final verification.
3. Draft - Do not rely on this document.

Floodplain Information

Floodplain information obtained from FEMA FIRM Panel 3710561100K effective date of study 11/16/2018.

Stream/Wetland Information

Stream/Wetland information is based on preliminary information provided to ESP by Cabarrus County GIS data. For purposes of preparation of this Preliminary Concept Plan, any potential wetland areas and stream features depicted on the plan are considered to be preliminary in nature and approximate in location. The Preliminary Concept Plan will need to be revised once all agencies approved on-site wetland/stream and appropriate jurisdictional boundaries are surveyed and verified with acceptable levels of accuracy- unit loss may occur.

Access Points/Driveways/Streets

1. Proposed project site entrance locations are considered preliminary in nature and need to be verified for adequate sight distance.
2. All roadway and street systems are considered to be preliminary and will need to be verified for sufficiency to satisfy or exceed minimum requirements established in the City of Concord Development Ordinance and applicable standards identified by NCDOT. Street connections are conceptual and may be subject to change based on agency input and review.

Open Space /Tree Save

Open Space and Tree Save areas are conceptual and preliminary. The exact location of these areas may change as the client finalizes decisions regarding final layout, product allocation, and as other spatially dependent project components such as stormwater areas, wetland areas, utility features, and buffers, (as applicable) for this project are better defined.

Potential Stormwater Quality Areas

Location of proposed stormwater areas are conceptual and preliminary and still need to be determined. The exact size and location of these areas will change as the client finalizes decisions regarding final layout, product allocation, and as other proposed changes to the project are better defined. Layout and unit count subject to change based on final design of stormwater areas.

Public Information

ESP Associates is not responsible for plan deficiencies created by incorrect, incomplete, missing or outdated information derived from public sources such as GIS, Planning and Zoning departments.

TYPICAL LOT DETAILS

NOT TO SCALE

Classic Front Load Product

Setbacks
F: 24'
S: 7'
R: 5'

Cheyney Townhomes

Setbacks
F: 24'
R: 5'

Weddington Road Site

Preliminary Concept Plan

ESP Job #23-00015 March 7, 2023

GRAPHIC SCALE
200 0 100 200 400
1 INCH = 200 FT.

ESP Associates, Inc.
P.O. Box 7030
Charlotte, NC 28241
803.802.2440
www.espassociates.com

2127 Ayrsley Town Boulevard, Suite 201
Charlotte, NC 28273

Residential: Single Family Attached (Townhomes)

Poplar Mills (Park Place) (CN-PSA-2023-00062)

1200 Cox Mill Road

DRC	Entitled	Units	PRS Routed	Technically Approved
7/2/2020	Yes	154	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	Yes	No	Yes	Yes

Allocation Request

Total	2024	2025	2026	2027
35,150	11,250	11,250	11,250	1,400

Project Scoring

Small Area Plan	Vertical Mixed Use	Redevelopment Site	Horizontal Mixed Use	Downtown (MSD)	Located Adjacent to Existing Sewer	Annex.	Total
0	0	0	1	0	0	0	1

Brief Summary

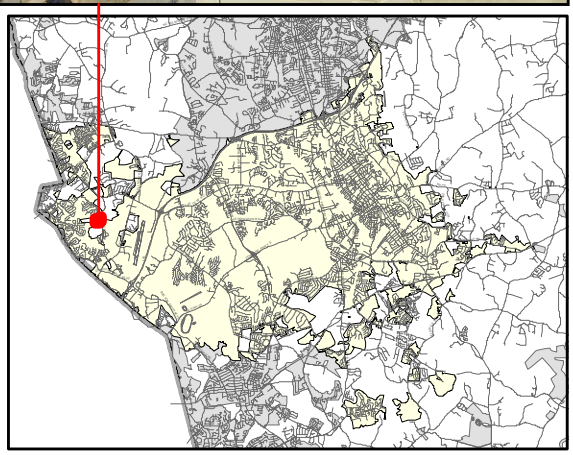
The applicant is seeking sewer allocation for 154 single family attached residential units at 1200 Cox Mill Rd. NW. This site was heard and approved for rezoning on June 15, 2021. This is part of a larger mixed-use project with 14 units of single family detached and approximately 25,000 square feet of commercial space including restaurant, retail, and daycare. This site is adjacent to Jim Ramseur Park. The applicant has a preliminary plat in the system for review and is record number CN-PLP-2022-00006. The applicant is proposing to rezone the parcel to change the layout of the single-family parcels as well as increase the commercial square footage.

CN-PSA-2023-00062

Type: Residential
SF Attached
141 townhome units

Allocation Request: 35,150
Project Score: 1

Developments
Parcels
Rivers
Concord
Cabarrus County



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	Project Title:	Poplar Mills				
2.)	Description of project location:	LOCATED ON COX MILL RD (SR-1448), APPROX 3500 LF SOUTH OF THE INTERSECTION OF POPLAR TENT RD (SR-1394) AND COX MILL RD (SR-1448) (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####)				
3.)	Cabarrus County Parcel Identification Number:	468033-8708	3a.)	Parcel Acreage:	28.03	
4.)	Site Zoning and use:	PUD	5.)	Area Commercial or Industrial Building (sq. ft.)	32,000	
6a.)	Description of Facility to be served.	SINGLE FAMILY/TOWNHOMES/COMMERCIAL	6b.) Number of Lots	56	6c.) Number of Units	165
7d.)	Additional description information:	ALSO INCLUDES PARCELS: 468034-8230, 468043-1923, 468044-0386, 468044-0585, 468034-8660, 468034-3187, 468034-1315				

B. Applicant Information

HARI VUPPALA (Title)	407 SUTRO FOREST DR. NW
(Name of legal owner, board, council, and/or authorized official with title; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	(Applicant's Street or Box Number)
AVA GLOBAL, LLC	CONCORD, NC, 28027
(Name of Applicant's company, city, town, corporation, sanitary district, water company or other defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	(Applicant's City, State, Zip Code)
704-488-3290	N/A
(Applicant's Phone Number)	(Applicant's Facsimile Number)
HARI VUPPALA (Name) AVAGLOBALLLC@GMAIL.COM (Email)	AVAGLOBALLLC@GMAIL.COM
(Name with Title and Email of contact person, who can answer questions about application)	(Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

HY NGUYEN	DPR DESIGN
(Typed name of North Carolina Professional Engineer)	(Company Name)
NC PE 030523	919 BERRYHILL RD. SUITE 101
(NCPE Registration Number)	(Street or Box Number)
704-332-1204	CHARLOTTE, NC 28208
(Phone Number)	(City, State, Zip Code)
BEN LAWRENCE	HNGUYEN@DPR.DESIGN
(Name and affiliation of contact person, who can answer questions about application & designs)	(Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

✓	Residential Subdivision	✓	Retail (Stores, shopping centers)
	Apartments/Condominiums		Institution
	Mobile Home Park		Hospital, nursing home, dental
✓	School, preschool, daycare		Church
✓	Restaurants (Food or drink facilities)		Sports Centers
	Hotels or motels		Business, offices, factories
	Other (specify):____		

2.) The type of wastewater is (indicate percentage):

70	% Domestic
30	% Commercial
	% Industrial
	% Other use (Specify) ____

3.) Pretreatment required:
(●) No
( ) Yes **(Specify or attach effluent documentation)**
____

4.) **Volume of wastewater flow to be allocated for this particular project:** 57,775 gallons per day
*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**
(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**

a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)			No. of Units	Flow	
SINGLE FAMILY DETACHED	300	gal/	UNIT/DAY	14	GPD	4,200
TOWNHOMES	225	gal/	UNIT/DAY	154	GPD	34,650
RESTAURANT	40	gal/	DAY/SEAT	220	GPD	8,800
RETAIL	100	gal/	DAY/1000 SF	11250	GPD	1,125
DAYCARE	25	gal/	DAY/CHILD+STAFF	340	GPD	8,500
POOL/CLUBHOUSE	10	gal/	PERSON	50	GPD	500
				Total	GPD	57,775

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I Hari Vuppala (Printed Name), **the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.**

Hari Vuppala Digitally signed by Hari Vuppala Date: 2022.12.22 11:25:01 -05'00' 10-03-2023

Signature: Date:

Poplar Mills Narrative

Due October 16, 2023, for consideration December 2023

Site Development Data:

--Acreage: ± 28.03 acres

--Tax Parcel #: 4680-34-1315, 4680-34-3187, 4680-34-8660, 4680-44-0585, 4680-44-0386, 4680-33-8708, 4680-43-1923, and 4680-34-8230

--Existing Zoning: LDR

--Proposed Zoning: PUD

--Existing Uses: Residential/Vacant

--Proposed Uses: 14 single-family detached dwelling units and 154 single family attached units. 2 commercial use buildings.

General:

Poplar Mills is a mixed-use development located on Cox Mill Road in Concord, NC approximately 3500' south of the intersection of Cox Mill Rd and Poplar Tent Rd. It will consist of 14 detached single-family units, 154 attached townhome units and 2 commercial buildings totaling 32,000 sf. Building 1 has been proposed for restaurant and retail use. Building 2 has been proposed for daycare use. Community amenities will include bench seating, walking trails, play areas as well as a community pond.

Project Description:

The site development plan concept will create a mixed use, pedestrian friendly community with a sustainable mix of residential and commercial land uses and intensities containing neighborhood services surrounded by sustainable neighborhood housing with diverse housing types, natural resources, open space areas, and connectivity to the planned community park as well as elementary and high school facilities in walking distance.

This planned development is consistent with the City's 2030 Land Use Plan in accordance with maintaining a sustainable balance of residential and commercial land uses, ensuring compatibility between neighboring land uses, protecting natural resources, retaining open space, connecting mixed uses by way of an integrated network of streets, bike paths and pedestrian access, among other plan goals.

In the event this development receives preliminary sewer capacity allocation for one or more uses, but not all proposed uses, the project will proceed with the approved use(s) and the developer will reapply until all proposed uses have been approved.

Consistent with Purposes of Planned Unit Development:

The proposed planned development will provide for the orderly development of land with a mix of land uses and PUD zoning district to permit flexibility in certain site design features and processing of this quality mixed-use development in exchange for enhanced design elements such as enhanced open space areas and multi-modal connectivity within the community. The proposed planned development promotes the most appropriate use of parcels on the Site, facilitates interconnected streets, substantial open spaces, unified signage/wayfinding, sidewalks, and bike paths with connectivity to the planned community park and nearby schools. The plan preserves/enhances open space and natural features that also offer recreational opportunities to residents. The proposed plan also supports neighborhood services uses for the broader community within walking or biking distances reducing vehicle trips to other commercial nodes.

Design Intent Statement:

Poplar Mills is a proposed walkable residential community where the residents of the community will have convenient and easy access to a series of passive and active open spaces that are interconnected by a network of streets, sidewalks, and trails.

Environmental Features:

The Site will comply with Stormwater and Water Quality requirements as set forth in the Ordinance and applicable NCDEQ Design Manual.

The Site is located outside of any FEMA 100-yr floodway and floodplain.

Price Points for Homes:

$400k+ for Townhomes and $450K+ for Single Family Detached homes.

SCALE: 1" = 100'
0 50' 100' 200'

1 SCHEMATIC ILLUSTRATIVE SITE PLAN

PLAN

SCALE: 1" = 100'

2 ARCHITECTURE PRECEDENT IMAGERY

Park View Commercial View 1
04/29/2021

Park View Commercial View 2
04/29/2021

Park View Commercial View 3
04/29/2021

Park View Commercial View 4
04/29/2021

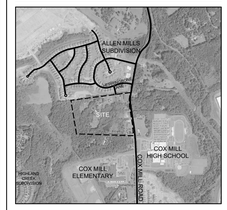
3 OPEN SPACE PRECEDENT IMAGERY

dpr design
master planning . civil engineering
urban design . landscape architecture
919 berryhill rd. ste 101 . charlotte, nc 28208
704.332.1204 . www.dpr.design
NC Eng. Firm #C-0650 | LA Firm #C-032

CLIENT / OWNER

AVA GLOBAL, LLC
407 SUTRO FOREST DR NW
CONCORD, NORTH CAROLINA, 28027
704.488.3290

KEY MAP



PROJECT

POPLAR MILLS

COX MILL ROAD
CONCORD, NORTH CAROLINA

PROJECT NUMBER
22005

DATE
08.14.2023

ISSUED FOR
REZONING

REVISIONS

NO.	DATE	DESCRIPTION	BY

PROJ. MANAGER: HN
DRAWN BY: AF
CHECKED BY: HN

SEAL

SCALE
AS INDICATED

DRAWING
ILLUSTRATIVE SITE PLAN

RZ-1

Plotted: 22005-RZ1.dwg / 8/14/2023 9:09 AM

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ORIGINAL SHEET SIZE: 24" X 36"

Park View Commercial View 1
04/29/2021

REDLINE | DESIGN GROUP
ARCHITECTURE | INTERIOR DESIGN | PLANNING | GRAPHIC DESIGN

Park View Commercial View 2
04/29/2021

REDLINE | DESIGN GROUP
ARCHITECTURE | INTERIOR DESIGN | PLANNING | GRAPHIC DESIGN

Park View Commercial Aerial View
04/29/2021

REDLINE | DESIGN GROUP
ARCHITECTURE | INTERIOR DESIGN | PLANNING | GRAPHIC DESIGN

Park View Commercial View 3
04/29/2021

REDLINE | DESIGN GROUP
ARCHITECTURE | INTERIOR DESIGN | PLANNING | GRAPHIC DESIGN

Park View Commercial View 4
04/29/2021

REDLINE | DESIGN GROUP
ARCHITECTURE | INTERIOR DESIGN | PLANNING | GRAPHIC DESIGN

Park View Commercial Material Palette
04/29/2021

REDLINE | DESIGN GROUP
ARCHITECTURE | INTERIOR DESIGN | PLANNING | GRAPHIC DESIGN

1A | OFFICE / COMMERCIAL
CONCEPTUAL ELEVATION

ARCHITECTURE TO MATCH STYLE/INTENT OF COMMERCIAL PRECEDENT.

1B | CLUB/AMENITY
CONCEPTUAL ELEVATION

- BEIGE WINDOW FRAMES, MULLIONS
- STANDARD GREY MODULAR BRICK
- GREY CMU
- 2 COLORS OF CEMENTIOUS EXTERIOR ('HARDIE') BOARD, BOARD & BATTEN, AND CLAPBOARD SIDING
- GUNMETAL GREY POWDER COATED ALUMINUM HANDRAILS AT BALCONIES
- ALUMINUM GUTTERS/DOWNSPOUTS
- METAL TRIM/COPING TO MATCH GUTTERS/DOWNSPOUTS
- CHARCOAL 20 YEAR ASPHALT SHINGLES

2 | SINGLE FAMILY HOME EXTERIOR MATERIALS
CONCEPTUAL ELEVATION

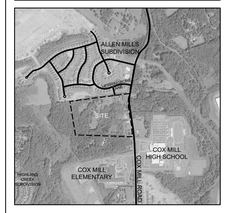
- BRICK/STONE
- VINYL SIDING
- CEMENTIOUS EXTERIOR ('HARDIE') BOARD SIDING
- BOARD AND BATTEN

3 | TOWNHOMES (SINGLE FAMILY ATTACHED) EXTERIOR MATERIALS
CONCEPTUAL ELEVATION

dpr design
master planning . civil engineering
urban design . landscape architecture
919 berryhill rd. ste 101 . charlotte, nc 28208
704.332.1204 . www.dpr.design
NC Eng. Firm #C-0650 | LA Firm #C-032

CLIENT / OWNER
AVA GLOBAL, LLC
407 SUTRO FOREST DR NW
CONCORD, NORTH CAROLINA, 28027
704.488.3290

KEY MAP



PROJECT
POPLAR MILLS
COX MILL ROAD
CONCORD, NORTH CAROLINA

PROJECT NUMBER
22005

DATE
08.14.2023

ISSUED FOR
REZONING

REVISIONS

NO.	DATE	DESCRIPTION	BY

PROJ. MANAGER: HN
DRAWN BY: AF
CHECKED BY: HN

SEAL

SCALE
AS INDICATED

DRAWING
ARCHITECTURAL CHARACTER

RZ-5

Plotted: 22005-RZ1.dwg / 8/14/2023 9:10 AM

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ORIGINAL SHEET SIZE: 24" X 36"

Residential: Single Family Attached (Townhomes)

Weddington Ridge Phase 3 (CN-PSA-2023-00073/PRS2021-03324)

7515 Ruben Linker Rd. NW

DRC	Entitled	Units	PRS Routed	Technically Approved
	Yes	137	Yes	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	Yes	Yes	Yes	Yes

Allocation Request

Total	2024	2025	2026
32,175	12,600	11,250	8,325

Project Scoring

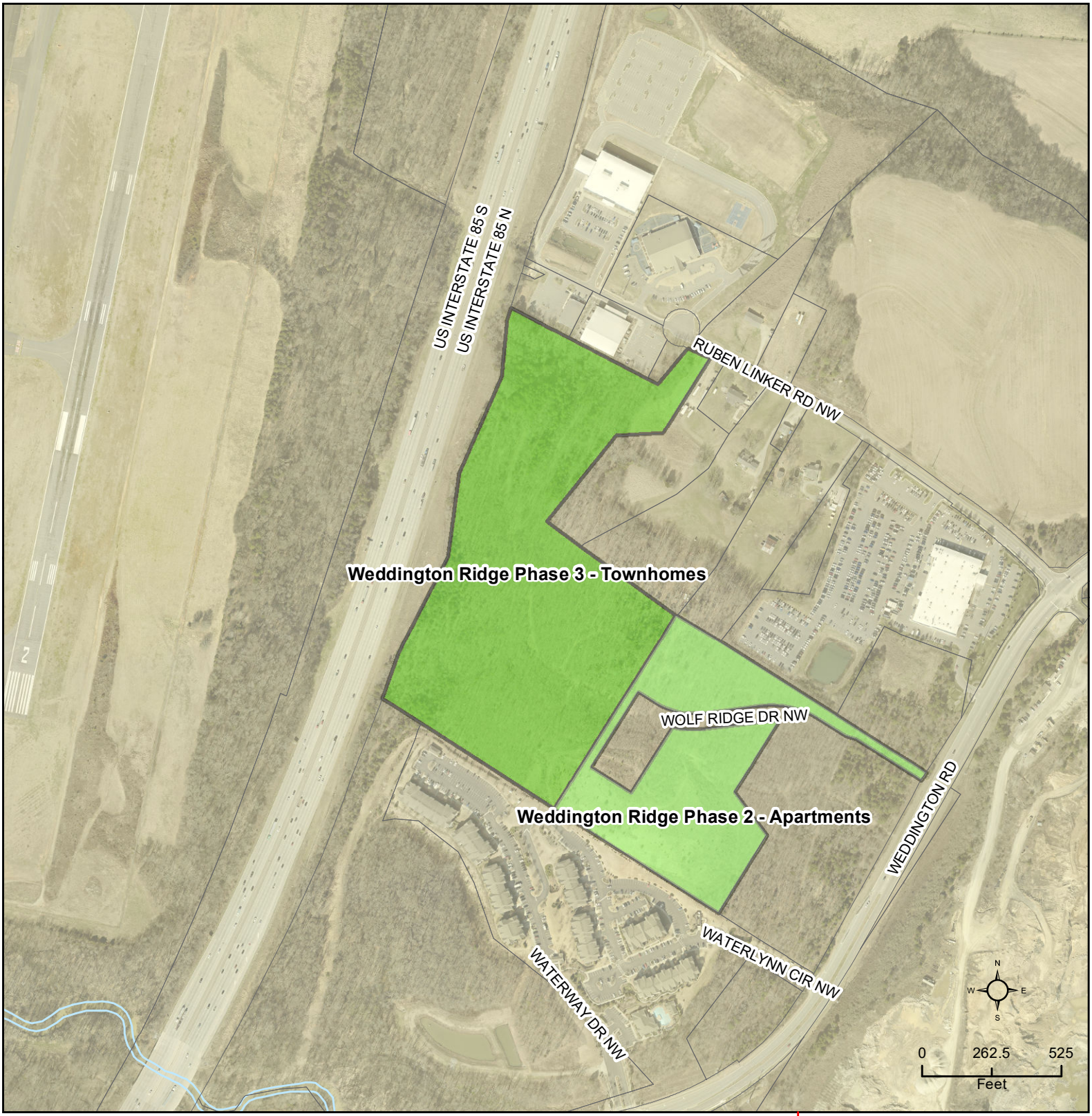
Small Area Plan	Vertical Mixed Use	Redevelopment Site	Horizontal Mixed Use	Downtown (MSD)	Located Adjacent to Existing Sewer	Annex.	Total
2	0	0		0	1	0	3

Brief Summary

137 townhomes located on Ruben Linker Rd. City Council considered this case in March of 2022, and did not allocate sewer for the project at that time. This project has also come before City Council for sewer allocation in July of 2022 and September of 2022, and did not allocate sewer for this project at that time. This is the back half of a Special Use Permit that was granted by Planning and Zoning Commission on June 19, 2018. At the time of the special use permit, townhomes were permitted in the C-2 zoning district by right, so the area was not included within the bounds of the special use permit. The applicant pursued an amendment to the special use permit to go to 648 apartments over the entire site, which was denied by the Planning and Zoning Commission on December 17, 2019.The applicant then proceeded with the development of the apartment units under the entitlements granted by SUP 05-18 in two phases. City Staff has administratively authorized the townhomes to proceed under the former entitlements although townhomes were removed as a permitted use from the C-2 zoning district on December 12, 2019.The preliminary plat is pending payment of $400 in fees as of May 16, 2022. A 30’ greenway easement is being dedicated as part of this project. This site is part of the Weddington Road Corridor Plan.

Outstanding Items

On the last round of review, there are several technical requirements not met that will require a few adjustments. An approved copy of the NCDEQ erosion control permit has not been received by the City.

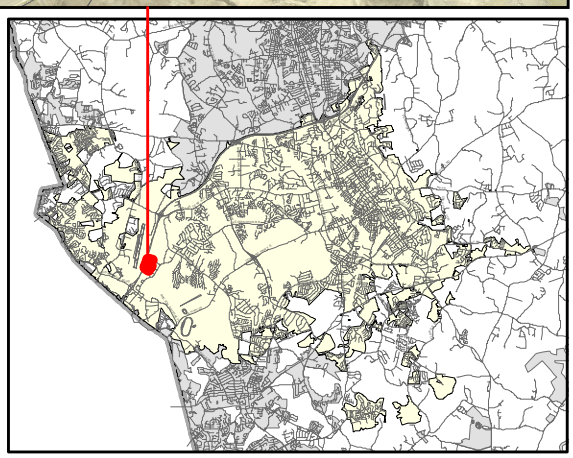


CN-PSA-2023-00073

Type: Residential
SF Attached
137 townhome units

Allocation Request: 32,175
Project Score: 3

Developments
Parcels
Rivers
Concord
Cabarrus County



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	Project Title:	Weddington Ridge Phase 3					
2.)	Description of project location:	8150 Weddington Riad, Concord NC (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####)					
3.)	Cabarrus County Parcel Identification Number:	45991783680000	3a.)	Parcel Acreage:	25.66		
4.)	Site Zoning and use:	C-2	5.)	Area Commercial or Industrial Building (sq. ft.)			
6a.)	Description of Facility to be served.	Townhomes	6b.) Number of Lots	NA	6c.) Number of Units	137	
7d.)	Additional description information:	Phase 3 is 137 Townhome Units					

B. Applicant Information

Tony Chen , Managing Director (Title) (**Name** of **legal owner**, **board**, **council**, and/or **authorized official with title**; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	601 S. Tryon St, Suite 800 (Applicant's Street or Box Number)
Crescent Acquisitions, LLC (**Name of Applicant's company, city, town, corporation, sanitary district, water company or other** defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	Charlotte, NC 28202 (Applicant's City, State, Zip Code)
(315) 480-2883 (Applicant's Phone Number)	 (Applicant's Facsimile Number)
Dan (Name) Gualtieri (Email) (Name with Title and Email of contact person, who can answer questions about application)	dgualtieri@crescentcommunities.com (Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

Robert Cash (Typed name of North Carolina Professional Engineer)	CESO, Inc (Company Name)
033448 (NCPE Registration Number)	4601 Park Road, Suite 650 (Street or Box Number)
(803) 802-1459 (Phone Number)	Charlotte, NC 28209 (City, State, Zip Code)
Peter Day (Name and affiliation of contact person, who can answer questions about **application & designs**)	bob.cash@cesoinc.com (Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

✓	Residential Subdivision		Retail (Stores, shopping centers)
	Apartments/Condominiums		Institution
	Mobile Home Park		Hospital, nursing home, dental
	School, preschool, daycare		Church
	Restaurants (Food or drink facilities)		Sports Centers
	Hotels or motels		Business, offices, factories
	Other (specify):_____		

2.) The type of wastewater is (indicate percentage):

100	**% Domestic**
	% Commercial
	% Industrial
	% Other use (Specify) _____

3.) Pretreatment required:
(●) No
( ) Yes **(Specify or attach effluent documentation)**

4.) **Volume of wastewater flow to be allocated for this particular project**: 32,175 gallons per day
*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**
(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**

a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)			No. of Units	Flow	
3-Bedroom Residential Unit	225	gal/	unit	119	GPD	26,775
4-Bedroom Residential Unit	300	gal/	unit	18	GPD	5,400
		gal/			GPD	
		gal/			GPD	
		gal/			GPD	
		gal/			GPD	
				Total	GPD	32,175

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I Tony Chen **, the undersigned, do hereby make application for preliminary wastewater**
(Printed Name)

allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.

Signature: Date: 10/10/23

4601 Park Road, Suite 650
Charlotte, NC 28209
(704) 521-7898
www.cesoinc.com

October 16, 2023

M. Sue Hyde, PE
City of Concord Engineering Department
PO Box 308
Concord, NC 28026

RE: Weddington Ridge Phase 3
Sanitary Sewer System

Crescent Communities, LLC is proposing to develop a residential community on Weddington Road, in Concord, North Carolina. The development is located on three parcels totaling approximately 48.7 acres and will consist of both multifamily apartments and townhomes to provide high quality, new construction housing to over 400 households who will contribute to the long-term economic growth of Concord. The project includes 297 apartments and 137 townhomes. Crescent Communities projects a total investment of over $120 million in the development of this neighborhood, including nearly $90 million of construction work. The project is located withing the Weddington Road Area Plan and includes the construction of a new public street connecting Weddington Road and Ruben Linker Road, improving connectivity in this area.

Although the project is broken up into three phases for permitting, Crescent intends to develop this project all at once due to the substantial earthwork and infrastructure required to develop this site.

In general, the subject site is located on the west side of Weddington Road, in Concord, North Carolina. The rectangular-shaped site is bounded by Weddington Road to the East, I-85 to the West, a multi-family development to the South, and both single family homes and businesses to the north. The existing zoning is C-2, a SUP was obtained in 2018 to allow for the development of multifamily in the C-2 zoning. The approved SUP proposed townhomes on the western half of the site (Phase 3) which allows the townhomes to be developed in the existing C-2 zoning.

The townhomes of this development will include a mix of 3- and 4-bedroom units with private garages and backyard space. Site amenities will include nature walking trails, outdoor gathering areas, as well as an easement dedication for a future greenway connection.

A willingness to serve letter was obtained for Phase 1 of the development on 11/17/2020 and renewed 10/24/2022 (requires that the project commence construction within two years, 10/24/24 expire) as well as a private sewer permit from NCDEQ on 7/13/2021. The approved allocation was to serve Phase I consisting of multifamily apartment buildings. Crescent Communities is requesting sewer allocation for the townhome portion of the development (32,175 gpd).

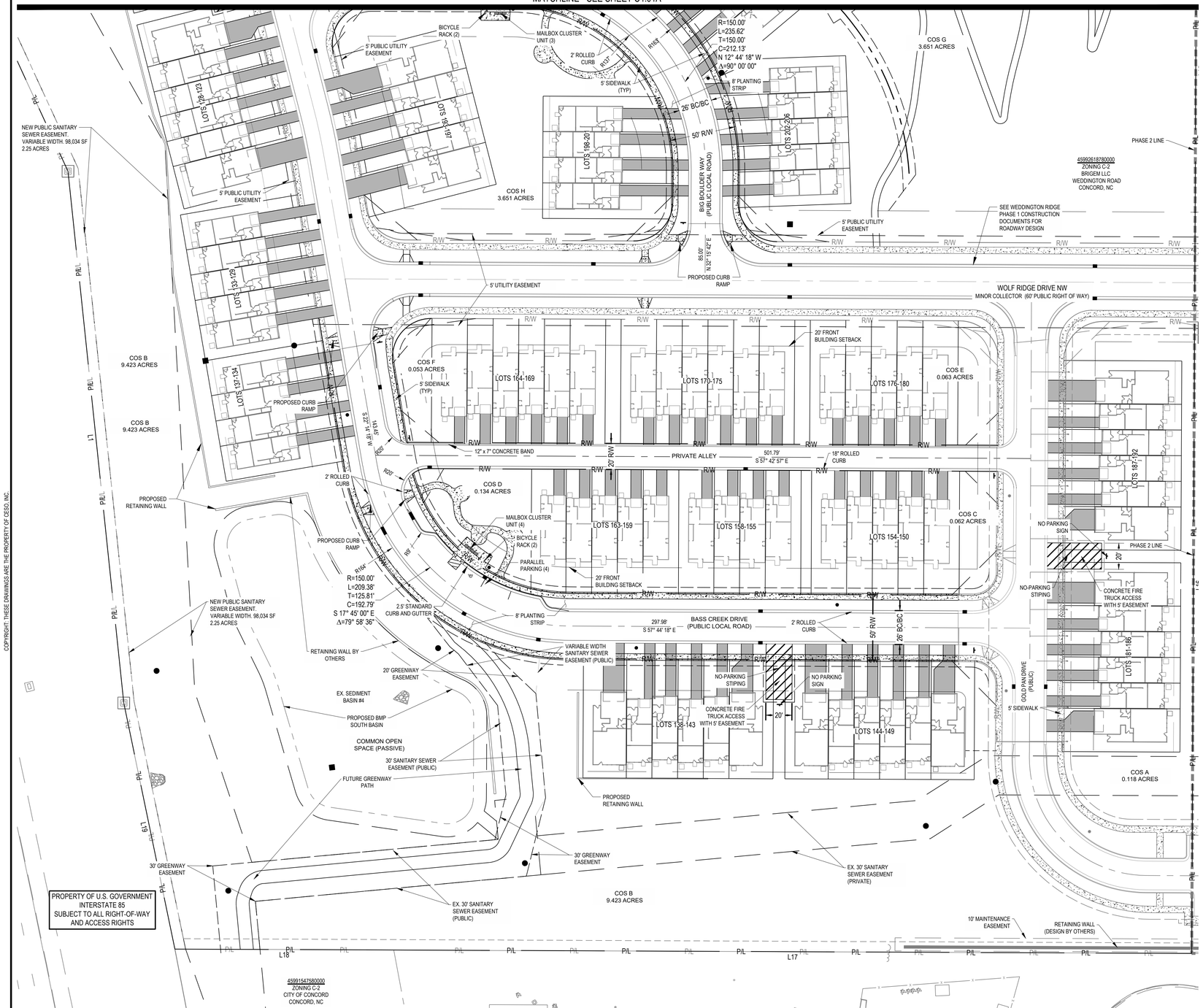
We are nearing approval of our land development plans for Phase I-III. Construction is anticipated to commence for all three portions of the development once we receive the remaining sewer capacity allocation needed for the entire project (as defined as “Phase II” and “Phase III” for planning and permitting purposes).

We believe this development will be a great location for new and existing Concord residents to call home as it provides a convenient location to access the jobs, amenities and community that the City of Concord has to offer.

Respectfully,

Robert Cash, PE
Senior Program Director, Civil Engineering

Initials: RLC



LEGEND

- SIGN
- CATCH BASIN
- STORM CURB INLET
- STORM WINGWALL
- STORM MANHOLE
- SANITARY MANHOLE
- SANITARY & STORM CLEANOUTS
- FIRE HYDRANT (W/ TEE & VALVE)
- EX. FIRE HYDRANT

- CONCRETE CURB
- PAVEMENT/WALK
- EX. PAVEMENT/WALK
- R/W — RIGHT-OF-WAY
- RETAINING WALL
- ROAD CENTERLINE
- W — WATER MAIN
- STM — STORM SEWER
- SAN — SANITARY SEWER
- LOD — LOD — LOD — LIMITS OF DISTURBANCE
- PROPOSED CONCRETE SIDEWALK (4" THICK)
- PROPOSED CONCRETE DRIVEWAY (6" THICK)

GRAPHIC SCALE (IN FEET)
1 in. = 40 ft.

BENCHMARK	DATUM: NAVD'88
BM "A":	PK NAIL IN ASPHALT 677.56'
BM "B":	PK NAIL IN ASPHALT 641.29'

SEVENTY-TWO (72) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NORTH CAROLINA UTILITIES PROTECTION SERVICE AT 811 OR (800) 632-4949 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF NORTH CAROLINA UTILITIES PROTECTION SERVICE

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CESO
WWW.CESOINC.COM

NO.	DATE	REVISION DESCRIPTION

CESO NC, Co.
3601 RIGBY ROAD, STE 300
MIAMISBURG, OH 45342
(937) 435-8584
COA: C-4740

ROBERT CASH, PE
BOB.CASH@CESOINC.COM

NORTH CAROLINA PROFESSIONAL SEAL 033448 ENGINEER ROBERT L. CASH
Digitally signed by Robert L. Cash
Date: 2022.03.01 17:22:28-05'00'

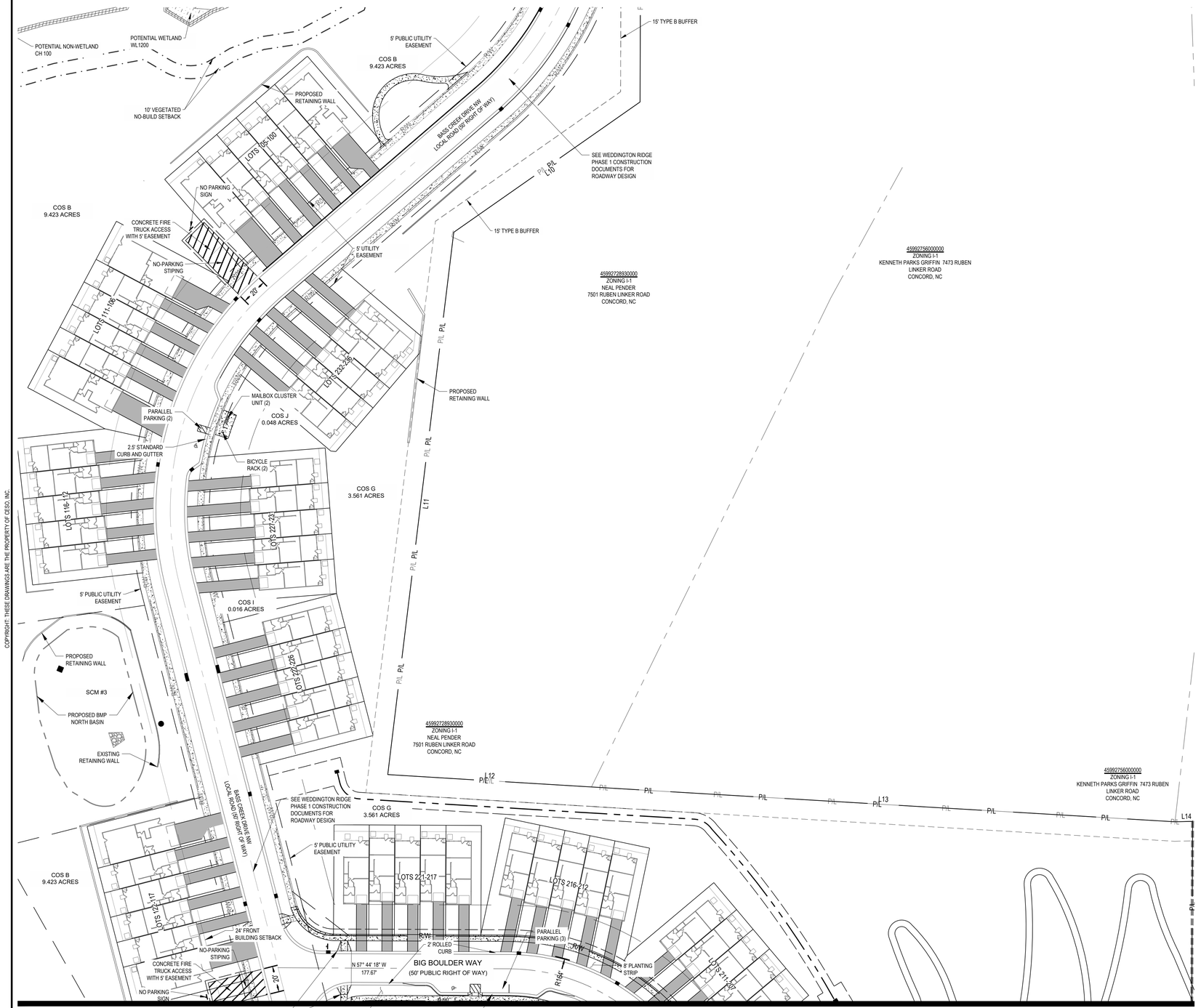
CRESCENT ACQUISITIONS, LLC

WEDDINGTON RIDGE PHASE 3 - TOWNHOMES

WEDDINGTON ROAD, CONCORD, NC

SITE PLAN

ISSUE:	NOT FOR CONSTRUCTION
DATE:	OCTOBER 21, 2021
JOB NO.:	759758-01
DESIGN:	C. GRAMMIER
DRAWN:	J. TEW
CHECKED:	P. DAY
SHEET NO.	C4.01



LEGEND

- SIGN
- CATCH BASIN
- STORM CURB INLET
- STORM WINGWALL
- STORM MANHOLE
- SANITARY MANHOLE
- SANITARY & STORM CLEANOUTS
- FIRE HYDRANT (W/ TEE & VALVE)
- EX. FIRE HYDRANT
- CONCRETE CURB
- PAVEMENT/WALK
- EX. PAVEMENT/WALK
- RIGHT-OF-WAY
- RETAINING WALL
- ROAD CENTERLINE
- WATER MAIN
- STORM SEWER
- SANITARY SEWER
- LIMITS OF DISTURBANCE
- PROPOSED CONCRETE SIDEWALK (4" THICK)
- PROPOSED CONCRETE DRIVEWAY (6" THICK)

GRAPHIC SCALE (IN FEET)
1 in. = 40 ft.

BENCHMARK	DATUM: NAVD'88
BM "A":	PK NAIL IN ASPHALT 677.56'
BM "B":	PK NAIL IN ASPHALT 641.29'

SEVENTY-TWO (72) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NORTH CAROLINA UTILITIES PROTECTION SERVICE AT 811 OR (800) 632-4949 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF NORTH CAROLINA UTILITIES PROTECTION SERVICE

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CESO
WWW.CESOINC.COM

NO.	DATE	REVISION DESCRIPTION

CESO NC, Co.
3601 RIGBY ROAD, STE 300
MIAMISBURG, OH 45342
(937) 435-8584
COA: C-4740

ROBERT CASH, PE
BOB.CASH@CESOINC.COM

NORTH CAROLINA PROFESSIONAL ENGINEER SEAL 033448 ROBERT L. CASH

Digitally signed by Robert L. Cash
Date: 2022.03.01 17:22:29-05'00'

CRESCENT ACQUISITIONS, LLC

WEDDINGTON RIDGE PHASE 3 - TOWNHOMES

WEDDINGTON ROAD, CONCORD, NC

SITE PLAN

ISSUE:	NOT FOR CONSTRUCTION
DATE:	OCTOBER 21, 2021
JOB NO.:	759758-01
DESIGN:	C. GRAMMIER
DRAWN:	J. TEW
CHECKED:	P. DAY

SHEET NO.
C4.02

Residential: Single Family Attached (Townhomes)

Wallace Meadows (CN-PSA-2023-00074/PRS2018-02493)

10560 Harris Rd.

DRC	Entitled	Units	PRS Routed	Technically Approved
3/8/2018	Yes	80	Yes	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
Yes	No	No	No	Yes

Allocation Request

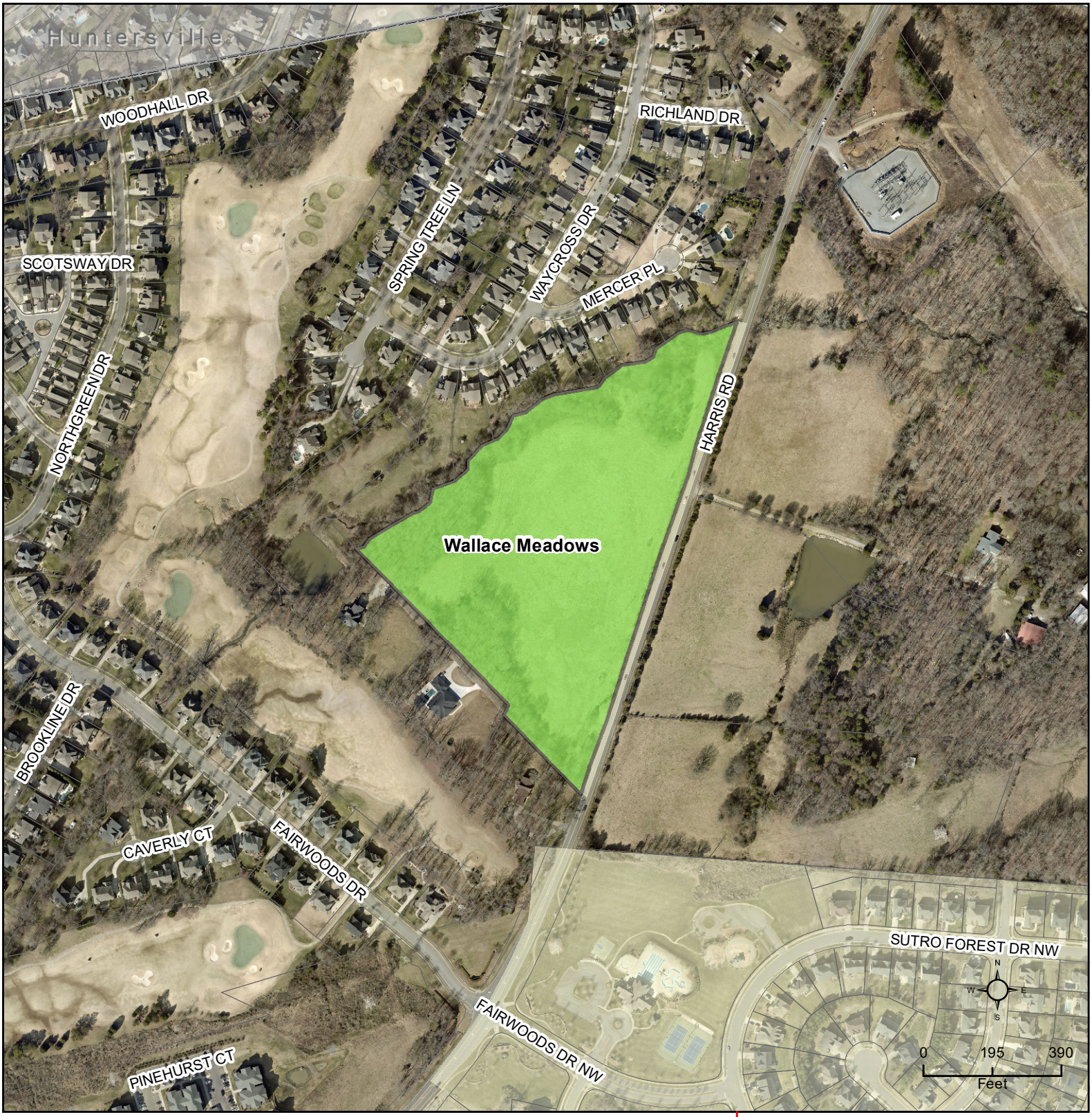
Total	2024	2025
18,225	11,250	6,975

Project Scoring

Small Area Plan	Vertical Mixed Use	Redevelopment Site	Horizontal Mixed Use	Downtown (MSD)	Located Adjacent to Existing Sewer	Annex.	Total
0	0	0	0	0	0	0	0

Brief Summary

The Wallace Meadows project was rezoned in 2018 for 121 townhome units. This parcel is zoned RV-CD and is located near the Town of Huntersville. This project submitted a preliminary plat in 2018 and it was approved but wasn't paid for and issued until 2022 (CN-PLP-2018-00024). The applicant also submitted construction documents for 81 units in 2018 under record PRS2018-02493. As of June 2021, the system is waiting for a resubmittal.

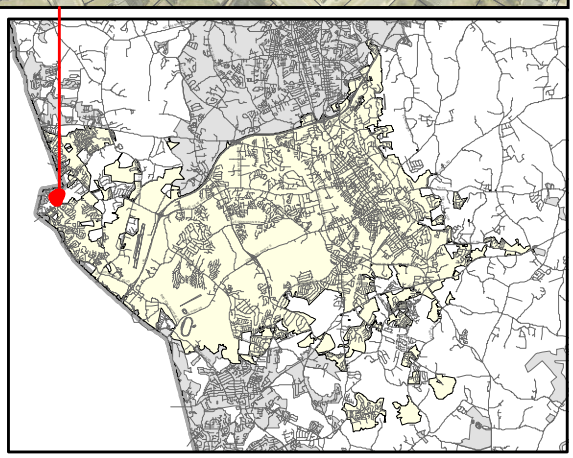


CN-PSA-2023-00074

Type: Residential
SF Attached
80 townhome units

Allocation Request: 18,225
Project Score: 0

Developments
Parcels
Rivers
Concord
Cabarrus County



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	**Project Title:**	Wallace Meadows					
2.)	**Description of project location:**	10560 Harris Rd. Concord, NC 28027 (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####)					
3.)	**Cabarrus County Parcel Identification Number:**	46706884640000	3a.)	**Parcel Acreage:**	15.20		
4.)	**Site Zoning and use:**	RV-CD-Vacant	5.)	**Area Commercial or Industrial Building (sq. ft.)**	N/A		
6a.)	**Description of Facility to be served.**	Residential Subdivison	6b.) **Number of Lots**	81	6c.) **Number of Units**	80	
7d.)	**Additional description information:**						

B. Applicant Information

Brad Dyer — Project Manager (Title) (**Name** of **legal owner**, **board**, **council**, and/or **authorized official with title**; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	2857 Westport Road (Applicant's Street or Box Number)
Eastwood Homes (**Name of Applicant's company, city, town, corporation, sanitary district, water company or other** defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	Charlotte, NC 28208 (Applicant's City, State, Zip Code)
(980) 721-0919 (Applicant's Phone Number)	(Applicant's Facsimile Number)
Brad Dyer- Project Manager (Name) — bdyer@eastwoodhome.com (Email) (Name with Title and Email of contact person, who can answer questions about application)	(Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

Robert Cash (Typed name of North Carolina Professional Engineer)	CESO (Company Name)
033448 (NCPE Registration Number)	4601 Park Road, Suite 650 (Street or Box Number)
704-521-7898 (Phone Number)	Charlotte, NC 28031 (City, State, Zip Code)
Robert Cash (Name and affiliation of contact person, who can answer questions about **application & designs**)	bob.cash@cesoinc.com (Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

✓	Residential Subdivision		Retail (Stores, shopping centers)
	Apartments/Condominiums		Institution
	Mobile Home Park		Hospital, nursing home, dental
	School, preschool, daycare		Church
	Restaurants (Food or drink facilities)		Sports Centers
	Hotels or motels		Business, offices, factories
	Other (specify):____		

2.) The type of wastewater is (indicate percentage):

100	**% Domestic**
	% Commercial
	% Industrial
	% Other e (Specify) ____

3.) Pretreatment required:
- (●) No
- ( ) Yes **(Specify or attach effluent documentation)**

4.) **Volume of wastewater flow to be allocated for this particular project**: 18,225 gallons per day
*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**
(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T . 114**
a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).
b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T. 14] shall be determined using available flow data, water using fix ures, occupancy or operation pat erns, and other measured data.**
{Flow rates NOT listed in table 5A NCAC 2T .0114 must be suppo ted with a ual wa r use or was ewater dis harg da a in accordance wi h 15A NCAC 2T .0114 (f) and must be at ached o this application and sealed by a NC licensed p ofessional ngine r.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)	No. of Units	Flow
Dwelling Unit (3bdrm)	225 gal/	81	GPD 18,225
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
		Total	GPD 18,225

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I Brad Dyer (Printed Name), **the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.**

Signature: _____ Date: Oct 18, 2022

4601 Park Road, Suite 650
Charlotte, NC 28209
(704) 521-7898
www.cesoinc.com

October 16, 2023

M. Sue Hyde, PE
City of Concord Engineering Department
PO Box 308
Concord, NC 28026

RE: Wallace Meadows
Sanitary Sewer System

Eastwood Homes is proposing to develop a residential community on Harris Road, in Concord, North Carolina. The development is located on one parcel and totals approximately 15.20 acres and will consist of townhomes to provide high quality, new construction housing to 81 households who will contribute to the long-term economic growth of Concord. Eastwood Homes projects a total investment of over $7,500,000.00 in the development of this neighborhood, including nearly $17,000,000.00 of construction work. The price point for the townhomes will be starting in the high $300k range.

In general, the subject site is located on the north side of Harris Road, in Concord, North Carolina. The triangular-shaped site is bounded by Harris Road to the East, an existing gravel driveway with single-family homes to the south, and a stream to the west. The property was is zoned as City of Concord RV-CD.

The townhomes proposed for this development will include of 3-bedroom units, with private garages. Site amenities include a tot lot playground area by others and a 5-foot nature trail.

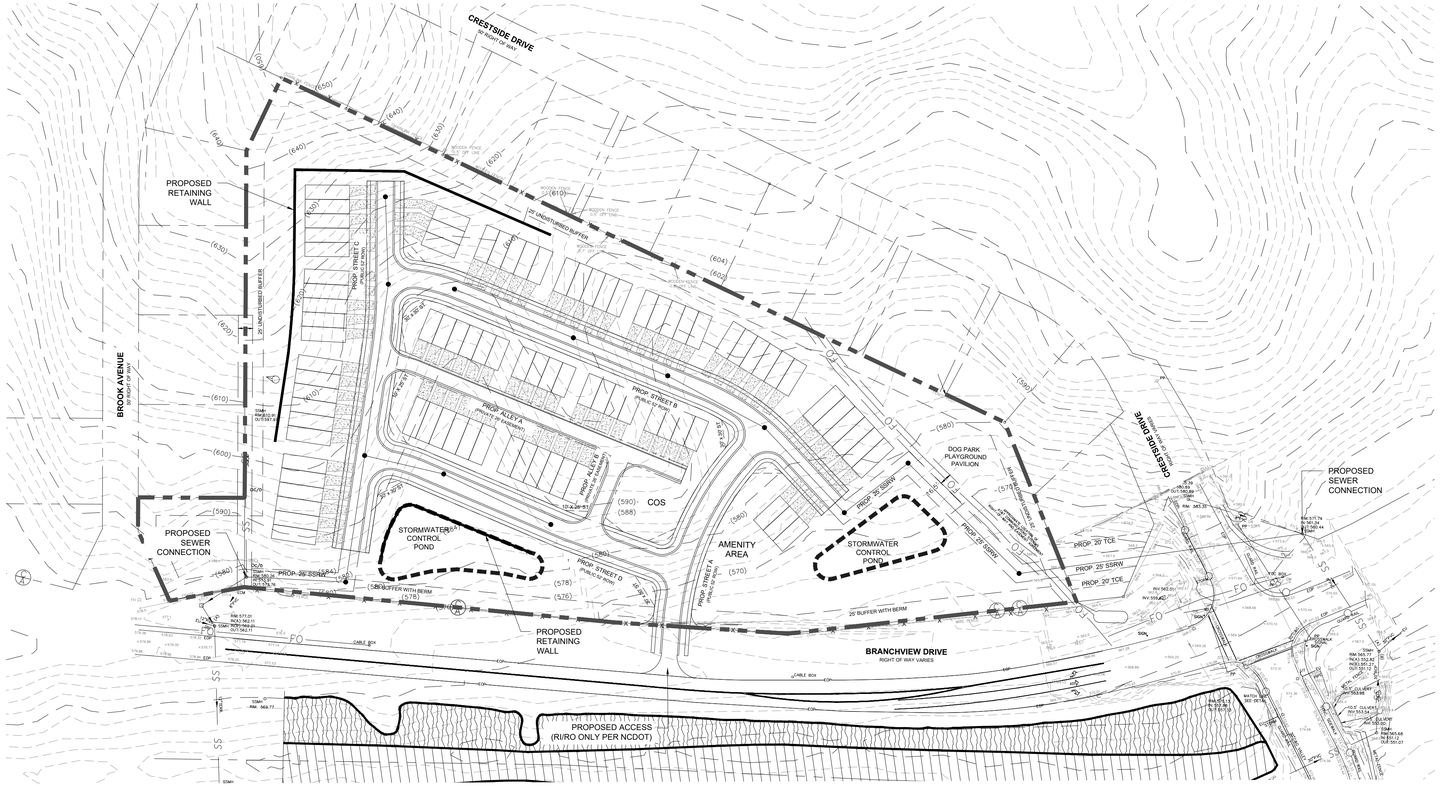
The project is being converted to a private sewer system. The construction documents and permitting applications to NCDEQ are completed at this time and ready for review.

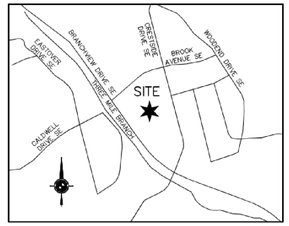
We believe this development will be a great location for new and existing Concord residents to call home as it provides a convenient location to access the jobs, amenities and community that the City of Concord has to offer.

Respectfully,

Robert Cash, PE
Senior Program Director, Civil Engineering

Initials: RLC





VICINITY MAP
NOT TO SCALE

SITE DEVELOPMENT DATA:

SITE :

TOTAL SITE AREA :	± 13.03 AC.
TAX PARCEL #:	56305536900000
EXISTING ZONING:	RM-1
PROPOSED ZONING:	RV-CD
PROPOSED USE:	NOT TO EXCEED 85 ATTACHED DWELLING UNITS
PROPOSED DENSITY:	85 DU / 13.03 AC. = 6.5 DU PER AC. (MAXIMUM)
PARKING RATIO:	2 PER UNIT

SETBACKS:

TOWNHOMES:

FRONT LOADED:

FRONT YARD:	24' FROM R/W
SIDE YARD:	6' MIN.
CORNER LOT:	6' (REQUESTED DEVIATION)
REAR YARD:	15'

REAR LOADED:

FRONT YARD:	10' (REQUESTED DEVIATION)
SIDE YARD:	6' MIN.
CORNER LOT:	6' (REQUESTED DEVIATION)
REAR YARD:	20'

REQUESTED DEVIATIONS TO STANDARDS:

THE FOLLOWING MODIFICATIONS TO MINIMUM STANDARDS ARE REQUIRED FOR THE SUCCESSFUL DEVELOPMENT OF THIS PROPERTY. OTHER MODIFICATIONS MAY BE REQUESTED DURING THE FINAL DESIGN OF THE PROJECT:

A. THE MINIMUM SIDE YARD FOR EXTERIOR TOWNHOME UNITS SHALL BE 6' WITH MINIMUM 12' BUILDING SEPARATION.

B. THE MINIMUM DRIVEWAY SEPARATION FOR REAR LOAD TOWNHOMES SHALL BE 4' IN ALLEYS. FOR FRONT LOADED TOWNHOMES THE MINIMUM DRIVEWAY SEPARATION SHALL BE 10' WITHIN THE PUBLIC STREET R/W, AND MINIMUM DRIVEWAY WIDTH SHALL BE 12'.

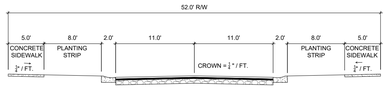
C. MAXIMUM IMPERVIOUS AREA FOR THE PROJECT SHALL BE 60%.

D. 6' CORNER LOT SIDE YARD FOR TOWNHOMES

E. FRONT SETBACK ON REAR LOAD TOWNHOMES SHALL BE 10' FROM ROW

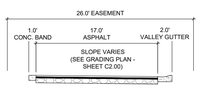
NOTES:

A. ALLEYWAYS NEED TO BE CONSTRUCTED TO LOAD BEARING STANDARDS TO SUPPORT SOLID WASTE VEHICLES, AS WELL AS A DAMAGE WAIVER PROVIDED.
B. PROJECT PHASING MAY BE REQUIRED DUE TO LIMITATIONS OF AVAILABLE SEWER CAPACITY ALLOCATION. FLOW ACCEPTANCE IS NOT GUARANTEED UNTIL PROJECT PERMITTING.
C. 25% OF THE STORMWATER GENERATED FROM THE SITE SHALL BE MANAGED WITH LID MEASURES AS INDICATED IN SECTION 9.11 IN THE DEVELOPMENT ORDINANCE. POTENTIAL ELEMENTS COULD BE BIO-RETENTION BASINS, SAND FILTERS, FILTER STRIPS OR PERVIOUS PAVING. THESE ELEMENTS WOULD BE INCLUDED IN LOW AREAS OF THE SITE TO ALLOW FOR NATURAL DRAINAGE TO THE LID MEASURE.
D. MAXIMUM IMPERVIOUS AREA IN RESIDENTIAL SHALL BE 60% TO ACCOMODATE THE ADDITIONAL IMPERVIOUS AREA NEEDED TO DEVELOP REAR LOAD PRODUCT.
E. REQUIRED SITE DISTANCE SHALL BE MAINTAINED AT ALL INTERSECTIONS, INCLUDING ALLEYS



1 **TYPICAL 52' R/W CROSS SECTION**

SCALE: 1" = 10'



2 **TYPICAL ALLEY CROSS SECTION**

SCALE: 1" = 10'

TOWNHOME EXTERIOR MATERIALS:
BRICK/STONE
CEMENTITIOUS EXTERIOR ("HARDIE") BOARD SIDING

SCALE: 1" = 100'
0 50' 100' 200'

dpr design
master planning . civil engineering
urban design . landscape architecture
919 berryhill rd. ste 101 . charlotte, nc 28208
704.332.1204 . www.dpr.design
NC Firm License # C-0560

CLIENT / OWNER

CAPITAL LAND PARTNERS, LLC
2907 PROVIDENCE ROAD, SUITE 250
CHARLOTTE, NC 28211
704.516.4138

LAND USE ATTORNEY

VICINITY MAP

PROJECT

BRANCHVIEW TOWNHOMES

BRANCHVIEW DRIVE
CONCORD, NC 28025

PROJECT NUMBER
23001

DATE
08/18/2023

ISSUED FOR
REZONING

REVISIONS

NO.	DATE	DESCRIPTION	BY

PROJ. MANAGER: HN
DRAWN BY: RT
CHECKED BY: HN

SEAL

SCALE
AS INDICATED

DRAWING
SCHEMATIC SITE PLAN

RZ-1

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ORIGINAL SHEET SIZE: 24" X 36"

Plotted: C:\DPR Dropbox_Projects\Active\2023\23001 Branchview TH-Capital Land-Concord\Dwg\Sheets\Rezoning\23001-Rezoning.dwg / 8/18/2023 12:07 PM

DEVELOPMENT STANDARDS:

1. GENERAL PROVISIONS:

a) SITE LOCATION. THESE DEVELOPMENT STANDARDS, THE SCHEMATIC SITE PLAN, AND RELATED GRAPHICS FORM THE REZONING PLAN (COLLECTIVELY REFERRED TO AS THE "REZONING PLAN") ASSOCIATED WITH THE REZONING PETITION FILED BY CAPITAL LAND PARTNERS, LLC (THE "PETITIONER") TO ACCOMMODATE THE DEVELOPMENT OF A RESIDENTIAL COMMUNITY ON THE APPROXIMATELY 13.44 ACRE SITE LOCATED OFF OF BRANCHVIEW DRIVE (THE "SITE").

b) ZONING DISTRICTS/ORDINANCE. DEVELOPMENT OF THE SITE WILL BE GOVERNED BY THE REZONING PLAN AS WELL AS THE APPLICABLE PROVISIONS OF THE CONCORD DEVELOPMENT ORDINANCE (THE "ORDINANCE"). UNLESS THE REZONING PLAN ESTABLISHES MORE STRINGENT STANDARDS THE REGULATIONS ESTABLISHED UNDER THE ORDINANCE FOR THE RV-CD ZONING CLASSIFICATION SHALL GOVERN.

c) GRAPHICS AND ALTERATIONS. THE SCHEMATIC DEPICTIONS OF LOTS, SIDEWALKS, STRUCTURES AND BUILDINGS, BUILDING ELEVATIONS, DRIVEWAYS, STREETS, BUFFERS, STORM WATER FACILITIES, TRAILS, AND OTHER DEVELOPMENT MATTERS AND SITE ELEMENTS (COLLECTIVELY THE "DEVELOPMENT/SITE ELEMENTS") SET FORTH ON THE REZONING PLAN SHOULD BE REVIEWED IN CONJUNCTION WITH THE PROVISIONS OF THESE DEVELOPMENT STANDARDS. THE LAYOUT, LOCATIONS, SIZES, AND FORMULATIONS OF THE DEVELOPMENT/SITE ELEMENTS DEPICTED ON THE REZONING PLAN ARE GRAPHIC REPRESENTATIONS OF THE DEVELOPMENT/SITE ELEMENTS PROPOSED. SINCE THE PROJECT HAS NOT UNDERGONE THE DESIGN DEVELOPMENT AND CONSTRUCTION PHASES, IT IS INTENDED THAT THIS REZONING PLAN PROVIDES FOR SIGNIFICANT FLEXIBILITY IN ALLOWING ALTERATIONS OR MODIFICATIONS FROM THE GRAPHIC REPRESENTATIONS OF THE DEVELOPMENT/SITE ELEMENTS. THEREFORE, THERE MAY BE INSTANCES WHERE MODIFICATIONS WILL BE ALLOWED WITHOUT REQUIRING AMENDMENTS TO THE REZONING PETITION, AND THESE INSTANCES GENERALLY INCLUDE CHANGES TO GRAPHICS IF THEY ARE MINOR AND DON'T MATERIALLY CHANGE THE OVERALL DESIGN INTENT DEPICTED ON THE REZONING PLAN.

d) ANY TECHNICAL ISSUES NOT ADDRESSED WITH THE REZONING SITE PLAN SHALL BE SUBJECT TO THE CONSTRUCTION DOCUMENT APPROVAL AND COMPLIANCE WITH THE CITY'S SUBDIVISION AND LAND DEVELOPMENT STANDARDS.

2. PERMITTED USES & DEVELOPMENT AREA:

a) THE DEVELOPMENT AREA MAY BE DEVELOPED WITH UP TO 99 RESIDENTIAL TOWNHOME UNITS, AS ALLOWED BY RIGHT AND UNDER PRESCRIBED CONDITIONS, TOGETHER WITH ACCESSORY USES, AS PERMITTED IN THE RV-CD ZONING DISTRICT, INCLUDING, WITHOUT LIMITATION, RECREATION, OPEN SPACE AND RELATED USES (E.G. IMPROVED PASSIVE AND ACTIVE OPEN SPACES, /GATHERING SHELTERS, GAZEBOS, DOG PARKS, MAINTENANCE BUILDINGS, OUTDOOR RECREATIONAL USES, AND/OR OTHER USES TYPICALLY ASSOCIATED WITH RESIDENTIAL COMMUNITIES).

b) TOTAL NUMBER OF LOTS IS APPROXIMATE. FINAL COUNTS FOR EACH SIZE MAY VARY BUT THE TOTAL LOT YIELD SHALL NOT EXCEED 99 LOTS.

3. ACCESS AND TRANSPORTATION:

a) ACCESS. ACCESS TO THE SITE WILL BE FROM BRANCHVIEW DRIVE, AS GENERALLY DEPICTED ON THE REZONING PLAN. THE PLACEMENT AND CONFIGURATION OF THE VEHICULAR ACCESS POINTS ARE SUBJECT TO ANY MINOR MODIFICATIONS REQUIRED TO ACCOMMODATE FINAL SITE DEVELOPMENT AND CONSTRUCTION PLANS AND TO ANY ADJUSTMENTS REQUIRED FOR APPROVAL BY THE CITY OF CONCORD AND/OR NCDOT IN ACCORDANCE WITH APPLICABLE PUBLISHED STANDARDS.

b) IMPROVEMENTS AND PHASING. THE PETITIONER SHALL INSTALL PHASED TRANSPORTATION IMPROVEMENTS PER THE APPROVED TRAFFIC IMPACT ANALYSIS (TIA) SUBJECT TO THE FOLLOWING:

i. **PHASING.** THE IMPROVEMENTS SET FORTH IN THE TIA SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF FORTIETH (40TH) CERTIFICATE OF OCCUPANCY ASSOCIATED WITH THE RESIDENTIAL UNITS.

ii. **SUBSTANTIAL COMPLETION.** REFERENCE TO "SUBSTANTIAL COMPLETION" FOR CERTAIN IMPROVEMENTS AS SET FORTH IN THE PROVISIONS OF THE APPROVED TIA SHALL MEAN COMPLETION OF THE ROADWAY IMPROVEMENTS IN ACCORDANCE WITH THE STANDARDS SET FORTH IN THE APPROVED TIA PROVIDED, HOWEVER, IN THE EVENT CERTAIN NON-ESSENTIAL ROADWAY IMPROVEMENTS (AS REASONABLY DETERMINED BY THE CITY OF CONCORD) ARE NOT COMPLETED AT THE TIME THAT THE PETITIONER SEEKS TO OBTAIN A CERTIFICATE OF OCCUPANCY FOR BUILDING(S) ON THE SITE IN CONNECTION WITH RELATED DEVELOPMENT PHASING DESCRIBED ABOVE, THEN THE CITY OF CONCORD WILL INSTRUCT APPLICABLE AUTHORITIES AND/OR DEPARTMENTS TO ALLOW THE ISSUANCE OF CERTIFICATES OF OCCUPANCY FOR THE APPLICABLE BUILDINGS, AND IN SUCH EVENT THE PETITIONER MAY BE ASKED TO POST A LETTER OF CREDIT OR A BOND FOR ANY IMPROVEMENTS NOT IN PLACE AT THE TIME SUCH A CERTIFICATE OF OCCUPANCY IS ISSUED TO SECURE COMPLETION OF THE APPLICABLE IMPROVEMENTS.

iii. **RIGHT-OF-WAY AVAILABILITY.** IT IS UNDERSTOOD THAT SOME OF THE PUBLIC ROADWAY IMPROVEMENTS REFERENCED IN THE APPROVED TIA MAY NOT BE POSSIBLE WITHOUT THE ACQUISITION OF ADDITIONAL RIGHT OF WAY. IF AFTER THE EXERCISE OF DILIGENT GOOD FAITH EFFORTS OVER A MINIMUM OF A 60-DAY PERIOD, THE PETITIONER IS UNABLE TO ACQUIRE ANY LAND NECESSARY TO PROVIDE FOR ANY SUCH ADDITIONAL RIGHT OF WAY UPON COMMERCIALLY REASONABLE TERMS AND AT MARKET PRICES, THEN THE CITY OF CONCORD, NCDOT OR OTHER APPLICABLE AGENCY, DEPARTMENT OR GOVERNMENTAL BODY MAY AGREE TO PROCEED WITH ACQUISITION OF ANY SUCH LAND. IN SUCH EVENT, THE PETITIONER SHALL REIMBURSE THE APPLICABLE AGENCY, DEPARTMENT OR GOVERNMENTAL BODY FOR THE COST OF ANY SUCH ACQUISITION INCLUDING COMPENSATION PAID BY THE APPLICABLE AGENCY, DEPARTMENT OR GOVERNMENTAL BODY FOR ANY SUCH LAND AND THE EXPENSES OF SUCH PROCEEDINGS. FURTHERMORE, IN THE EVENT PUBLIC ROADWAY IMPROVEMENTS REFERENCED IN THE APPROVED TIA ARE DELAYED BECAUSE OF DELAYS IN THE ACQUISITION OF ADDITIONAL RIGHT-OF-WAY AS CONTEMPLATED HEREIN AND SUCH DELAY EXTENDS BEYOND THE TIME THAT THE PETITIONER SEEKS TO OBTAIN A CERTIFICATE OF OCCUPANCY FOR BUILDING(S) ON THE SITE IN CONNECTION WITH RELATED DEVELOPMENT PHASING DESCRIBED ABOVE, THEN THE CITY OF CONCORD WILL INSTRUCT APPLICABLE AUTHORITIES AND/OR DEPARTMENTS TO ALLOW THE ISSUANCE OF CERTIFICATES OF OCCUPANCY FOR THE APPLICABLE BUILDINGS; PROVIDED, HOWEVER, PETITIONER CONTINUES TO EXERCISE GOOD FAITH EFFORTS TO COMPLETE THE APPLICABLE ROAD-WAY IMPROVEMENTS; IN SUCH EVENT THE PETITIONER MAY BE ASKED TO POST A LETTER OF CREDIT OR A BOND FOR ANY IMPROVEMENTS NOT IN PLACE AT THE TIME SUCH A CERTIFICATE OF OCCUPANCY IS ISSUED TO SECURE COMPLETION OF THE APPLICABLE IMPROVEMENTS.

iv. **ALTERNATIVE IMPROVEMENTS.** CHANGES TO THE ABOVE-REFERENCED ROADWAY IMPROVEMENTS CAN BE APPROVED THROUGH THE PERMITTING PROCESS UPON THE DETERMINATION AND MUTUAL AGREEMENT OF PETITIONER AND THE CITY OF CONCORD PROVIDED, HOWEVER, THE PROPOSED ALTERNATE TRANSPORTATION IMPROVEMENTS PROVIDE (IN THE AGGREGATE) COMPARABLE TRANSPORTATION NETWORK BENEFITS TO THE IMPROVEMENTS IDENTIFIED IN THIS PETITION IN THE OVERALL AREA OF THE REZONING. IN ADDITION TO THE FOREGOING, IN THE EVENT THE RIGHT OF WAY IS NOT AVAILABLE FOR ANY REASON AFTER THE GOOD FAITH EFFORTS OF THE PETITIONER, THE PETITIONER WILL WORK WITH THE CITY OF CONCORD AND/OR NCDOT AS APPLICABLE TO EITHER (I)IDENTIFY ALTERNATIVE IMPROVEMENTS TO IMPLEMENT TRAFFIC MITIGATION IN LIEU OF THE IMPROVEMENTS IMPACTED BY THE LACK OF RIGHT OF WAY; OR (II) CONTRIBUTE TO THE CITY OF CONCORD AND/OR NCDOT AS APPLICABLE, AN AMOUNT EQUAL TO THE ESTIMATED COST OF THE ROAD IMPROVEMENTS NOT COMPLETED DUE TO THE LACK OF AVAILABLE RIGHT OF WAY, SUCH FUNDS TO BE USED TO COMPLETE SUCH ALTERNATIVE ROADWAY IMPROVEMENTS IN THE GENERAL AREA OF THE SITE IN A MANNER REASONABLE AGREEABLE TO THE PETITIONER, THE CITY OF CONCORD AND/OR NCDOT AS APPLICABLE.

c) STREET NETWORK. THE OVERALL STREET NETWORK IS CONCEPTUAL IN NATURE AND MAY BE ADJUSTED DURING THE PERMITTING PROCESS SO LONG AS THE PROVISIONS OF THE ORDINANCE RELATED TO CONNECTIVITY, BLOCK LENGTHS AND LINKS ARE ADHERED TO.

4. DESIGN INTENT STATEMENT:

a) THE PETITIONER PROPOSES TO DEVELOP A WALKABLE RESIDENTIAL COMMUNITY WHERE THE RESIDENTS OF THE COMMUNITY WILL HAVE CONVENIENT AND EASY ACCESS TO A SERIES OF PASSIVE AND ACTIVE OPEN SPACES THAT ARE INTERCONNECTED BY A NETWORK OF STREETS, SIDEWALKS, AND TRAILS.

b) RESIDENTIAL VILLAGE. THE REZONING SITE AND EACH DEVELOPMENT AREA AND PARCEL CREATED THEREIN SHALL BE VIEWED AS A RESIDENTIAL VILLAGE DEVELOPMENT PLAN AS TO THE DEVELOPMENT/SITE ELEMENTS AS MAY BE GENERALLY DEPICTED ON THE REZONING PLAN AND SHALL BE VIEWED AS A RESIDENTIAL VILLAGE DEVELOPMENT; AS SUCH, EXCEPT WHERE DESIGN GUIDELINES OR STANDARDS ARE SET FORTH IN THE REZONING PLAN, SIDE AND REAR YARDS, BUFFERS, BUILDING HEIGHT SEPARATION STANDARDS, FAR REQUIREMENTS, AND OTHER SIMILAR ZONING STANDARDS WILL NOT BE REQUIRED INTERNALLY BETWEEN IMPROVEMENTS AND OTHER DEVELOPMENT/SITE ELEMENTS LOCATED WITHIN THE REZONING SITE. FURTHERMORE, THE PETITIONER AND/OR OWNER OF THE APPLICABLE PORTION OF THE REZONING SITE RESERVE THE RIGHT TO SUBDIVIDE PORTIONS OR ALL OF THE REZONING SITE AND CREATE LOTS WITHIN THE INTERIOR OF THE PORTION OF THE REZONING SITE WITHOUT REGARD TO ANY SUCH INTERNAL SEPARATION STANDARDS AND FAR REQUIREMENTS; PROVIDED, HOWEVER, ALL SUCH SEPARATION STANDARDS APPLIED TO THE REZONING SITE ALONG THE EXTERIOR BOUNDARY OF THE REZONING SITE (EXCEPT WHERE ADJACENT TO THE EXCLUDED PARCELS) SHALL BE ADHERED TO. IN ADDITION, ANY FAR REQUIREMENTS, IF APPLICABLE, WILL BE REGULATED BY ANY DEVELOPMENT LIMITATIONS SET FORTH IN THIS REZONING PLAN FOR THE REZONING SITE TAKEN AS A WHOLE AND NOT INDIVIDUAL PORTIONS OR LOTS LOCATED THEREIN.

c) LOT LINES SHALL BE SUBJECT TO THE LATEST CITY OF CONCORD LAND DEVELOPMENT DESIGN GUIDELINES AND ORDINANCE.

d) LOCATION OF ADDITIONAL PARKING SHOWN ON SITE PLAN IS FOR REFERENCE ONLY. ACTUAL LOCATIONS MAY VARY BASED ON ENGINEERING DESIGN.

e) ALL PARKING AREAS NOT INCORPORATED INTO THE LOTS SHALL BE MAINTAINED BY THE HOA AND NOT THE CITY OF CONCORD.

f) THE PROPOSED DEVELOPMENT SHALL BE SUBJECT TO THE CITY OF CONCORD FIRE MARSHALL APPROVAL AND 2018 NC FIRE CODE.

g) THE FOLLOWING MINIMUM STANDARDS ARE REQUIRED FOR THE SUCCESSFUL DEVELOPMENT OF THIS PROPERTY. OTHER MODIFICATIONS MAY BE REQUESTED DURING THE FINAL DESIGN OF THE PROJECT AS PROVIDED IN THE CONCORD DEVELOPMENT ORDINANCE:

i. TRANSITION FROM VERTICAL CURB AT INLETS TO VALLEY CURB MAY BE MADE WITHIN THREE (3) FEET ON EACH SIDE OF THE CURB INLETS.

ii. THE MINIMUM HORIZONTAL CENTERLINE SEPARATION BETWEEN DOMESTIC WATER LINES AND SANITARY SEWER LATERALS SHALL BE FIVE (5) FEET.

iii. THE MINIMUM DRIVEWAY SEPARATION FOR FRONT LOAD TOWNHOMES SHALL BE EIGHT (8) FEET.

iv. THE MINIMUM SIDE YARD FOR EXTERIOR TOWNHOME UNITS SHALL BE SIX (6) FEET WITH A MINIMUM TWELVE (12) FOOT BUILDING SEPARATION. **(SHOULD IT BE 6' AND 12' OR 5' AND 10')**

v. THE MINIMUM DRIVEWAY SEPARATION FOR REAR LOAD TOWNHOMES SHALL BE FOUR (4) FEET.

vi. DRIVEWAYS SHALL BE SEPARATED FROM THE INTERIOR PROPERTY LINES BY A MINIMUM OF ONE (1) FOOT FOR BOTH FRONT AND REAR LOADED TOWNHOMES.

vii. THE MINIMUM FRONT SETBACK AND DRIVEWAY LENGTH SHALL BE TWENTY (20) FEET FOR FRONT LOADED TOWNHOMES AND DETACHED SINGLE FAMILY LOTS.

viii. THE MINIMUM FRONT SETBACK SHALL BE FIVE (5) FEET AND THE MINIMUM DRIVEWAY LENGTH SHALL BE TWENTY (20) FEET FROM THE CENTER LINE OF THE ALLEY

5. STREETSCAPE, LANDSCAPING, AND OPEN SPACE:

a) A THIRTY (30) FOOT PERIMETER BUFFER SHALL BE PROVIDED AS GENERALLY DEPICTED ON THE REZONING PLAN.

b) SETBACKS AND YARDS AS REQUIRED BY ORDINANCE WILL BE PROVIDED.

c) THE PETITIONER SHALL PROVIDE AN EIGHT (8) FOOT PLANTING STRIP AND SIX (6) FOOT SIDEWALK ALONG THE SITE'S FRONTAGE ON BRANCHVIEW DRIVE, EXTENDING TO CRESTVIEW DRIVE.

d) COMMUNITY GATHERING SPACE SHALL BE PROVIDED AS GENERALLY DEPICTED ON THE REZONING PLAN AND IS INTENDED TO PROVIDE POCKETS OF OPEN SPACE THROUGHOUT THE DEVELOPMENT. COMMUNITY GATHERING SPACES MAY INCLUDE BENCHES, PLAY STRUCTURES, TRAILS, SIGNATURE LANDSCAPING, COURTYARDS, LAWNS AND/OR OTHER FEATURES THAT PROVIDE OPPORTUNITIES TO RECREATE OR FOSTER COMMUNITY ENGAGEMENT.

e) STORMWATER AREAS ARE INCLUDED IN OPEN SPACE AND MEET REQUIREMENTS SET FORTH IN ARTICLE 10.5.4.

f) A SIX (6) FOOT PRIVACY FENCE SHALL BE INSTALLED ALONG THE REAR AND SIDE 30' BUFFER BOUNDARIES ABUTTING EXISTING HOMES.

g) ALL CLUSTER MAILBOXES SHALL BE SUBJECT TO THE LATEST USPS CLUSTER MAILBOX GUIDELINES AND CITY OF CONCORD ORDINANCE.

h) THE PETITIONER AGREES TO SUBMIT A LANDSCAPE PLAN AND LIGHTING PLAN WITH THE CONSTRUCTION DOCUMENTS.

i) ALL STREET TREES SHALL BE MAINTAINED BY THE PROPERTY OWNER OR THE HOMEOWNERS ASSOCIATION. THE MAINTENANCE OF STREET TREES IN PLANTING STRIPS BETWEEN CURBS AND SIDEWALKS WHICH ARE WITHIN THE STREET RIGHT-OF-WAY SHALL BE THE RESPONSIBILITY OF THE RESPECTIVE HOMEOWNERS ASSOCIATION.

j) SIGNAGE WITHIN THE DEVELOPMENT SHALL MEET THE REQUIREMENTS OF THE ORDINANCE.

6. ENVIRONMENTAL FEATURES:

a) THE SITE SHALL COMPLY WITH STORMWATER AND WATER QUALITY REQUIREMENTS AS SET FORTH IN THE ORDINANCE AND APPLICABLE NCDEQ DESIGN MANUAL.

b) THE LOCATION, SIZE, AND TYPE OF STORM WATER MANAGEMENT SYSTEMS DEPICTED ON THE REZONING PLAN ARE SUBJECT TO REVIEW AND APPROVAL AS PART OF THE FULL DEVELOPMENT PLAN SUBMITTAL AND ARE NOT IMPLICITLY APPROVED FROM AND ENGINEERING PERSPECTIVE WITH THIS REZONING. ADJUSTMENTS MAY BE NECESSARY IN ORDER TO ACCOMMODATE ACTUAL STORM WATER TREATMENT REQUIREMENTS AND NATURAL SITE DISCHARGE POINTS.

c) ANY JURISDICTIONAL STREAMS PRESENT ON THE SITE SHALL BE SUBJECT TO REQUIRED STREAM BUFFERS AS SET FOR IN THE ORDINANCE.

d) ANY IMPACTS TO JURISDICTIONAL STREAMS AND/OR WETLANDS ONSITE, SHALL REQUIRE APPROPRIATE PERMIT(S) WITH THE CORPS OF ENGINEERS AND OTHER AUTHORITIES HAVING JURISDICTION OVER SUCH IMPACT. THE APPLICANT SHALL PROVIDE CITY OF CONCORD WITH SUCH PERMIT PRIOR TO CONSTRUCTION DRAWING APPROVAL. **(REFER TO DETERMINATION)**

7. LIGHTING AND ELECTRICAL:

a) ANY MOVEMENT OF EXISTING CITY OF CONCORD ELECTRIC UTILITIES CAN BE AT THE OWNER/DEVELOPER COST.

b) ALL ELECTRICAL INSTALLATIONS MUST COMPLY CITY OF CONCORD TECHNICAL STANDARDS MANUAL.

8. WASTEWATER:

a) PROPOSED SITE IS TO BE SERVED WITH PUBLIC PORTABLE WATER AND GRAVITY SANITARY SEWER. ONSITE PUBLIC PUMP STATION IS AN OPTION. ALL PUBLIC SEWER/WATER AND/OR PUMP STATION SHALL BE DESIGNED IN ACCORDANCE WITH THE CITY'S STANDARDS.

b) IF APPLICABLE, COPIES OF ALL CORRESPONDING SEWER EASEMENT AGREEMENTS AND PLAT MAPS WILL BE SUBMITTED TO THE CITY PLANNING DEPARTMENT FOR REVIEW AND COMMENTS; FINAL VERSIONS OF THESE DOCUMENTS WILL BE RECORDED AT THE REGISTER OF DEEDS AND THEN SENT TO THE WATER RESOURCE DEPARTMENT FOR FILING.

c) IF APPLICABLE, ALL PROPOSED GREASE LINES AND SANITARY SEWER LINES WITHIN THE BUILDING FOOTPRINT AND EXTENDING OUT TO THE GREASE INTERCEPTOR SHALL BE SHOWN WITHIN THE PLUMBING SECTION OF THE ARCHITECTURAL DRAWINGS. IN ADDITION, ALL GREASE INTERCEPTOR DESIGN CALCULATION FOR THE SIZING OF THE INTERCEPTOR SHALL BE SHOWN WITHIN THESE ARCHITECTURAL DRAWINGS, ALONG WITH A CORRESPONDING DETAIL OF THE INTERCEPTOR STRUCTURE ITSELF WITH ACTUAL DIMENSIONS; THIS INCLUDES ANY REFERENCING TO THE LATEST VERSION OF THE PLUMBING CODE. **(NEED TO DISCUSS APPLICABILITY)**

d) PROPOSED GRAVITY SEWER SYSTEM AND POTABLE WATER MAIN SYSTEMS SHALL BE DEDICATED TO THE CITY OF CONCORD OR WSACC **(DPR TO CONFIRM)** FOR OWNERSHIP AND MAINTENANCE.

e) THIS PROJECT CONTRIBUTES SEWAGE TO THE ROCKY RIVER WASTE WATER TREATMENT PLANT

9. WATER

a) THE APPLICANT SHALL LOOP THE WATER MAIN FROM THE TOWNHOME SECTOR TO THE WATER MAIN IN BRANCHVIEW DRIVE. **(DPR TO CONFIRM)**

10. AMENDMENTS TO THE REZONING PLAN:

a) FUTURE AMENDMENTS TO THE REZONING PLAN (WHICH INCLUDES THESE DEVELOPMENT STANDARDS) MAY BE APPLIED FOR BY THE THEN OWNER OR OWNERS OF THE APPLICABLE PORTION OF THE SITE AFFECTED BY SUCH AMENDMENT IN ACCORDANCE WITH THE PROVISIONS OF THE ORDINANCE.

11. BINDING EFFECT OF THE REZONING APPLICATION:

a) IF THIS REZONING PETITION IS APPROVED, ALL CONDITIONS APPLICABLE TO THE DEVELOPMENT OF THE SITE IMPOSED UNDER THE REZONING PLAN WILL, UNLESS AMENDED IN THE MANNER PROVIDED UNDER THE ORDINANCE, BE BINDING UPON AND INSURE TO THE BENEFIT OF THE PETITIONER AND SUBSEQUENT OWNERS OF THE SITE AND THEIR RESPECTIVE HEIRS, DEVISEES, PERSONAL REPRESENTATIVES, SUCCESSORS IN INTEREST OR ASSIGNS.

12. RECORDATION OF THE REZONING PLAN:

a) THE ZONING PLAN SHALL BE RECORDED WITH CABARRUS COUNTY REGISTER OF DEEDS ONCE APPROVED BY THE CITY.

CHARCTER IMAGERY:

1 DOG PARK:

2. PLAYGROUND:

3. MAIL KIOSK / PAVILLION:

4. COMMUNITY ENTRANCE:

5. BUFFER FENCING:

dpr design
master planning . civil engineering
urban design . landscape architecture
919 berryhill rd. ste 101 . charlotte, nc 28208
704.332.1204 . www.dpr.design
NC Firm License # C-0560

CLIENT / OWNER
CAPITAL LAND PARTNERS, LLC
2907 PROVIDENCE ROAD, SUITE 250
CHARLOTTE, NC 28211
704.516.4138

LAND USE ATTORNEY

VICINITY MAP

PROJECT
BRANCHVIEW TOWNHOMES

BRANCHVIEW DRIVE
CONCORD, NC 28025

PROJECT NUMBER
23001

DATE
08/18/2023

ISSUED FOR
REZONING

REVISIONS

NO.	DATE	DESCRIPTION	BY

PROJ. MANAGER: HY
DRAWN BY: RT
CHECKED BY: HY

SEAL

SCALE
AS INDICATED

DRAWING
REZONING NOTES

RZ-2

Plotted: C:\DPR Dropbox_Projects\Active\2023\23001 Branchview TH-Capital Land-Concord\Dwg\Sheets\Rezoning\23001-Rezoning.dwg / 8/18/2023 11:42 AM

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ORIGINAL SHEET SIZE: 24" X 36"

Residential: Single Family Attached (Townhomes)

Branchview Townhomes (CN-PSA-2023-00076)

805 Branchview Dr. SE

DRC	Entitled	Units	PRS Routed	Technically Approved
8/24/2023	No	85	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	No	No	No

Allocation Request

Total	2024	2025
19,350	11,250	8,100

Project Scoring

Small Area Plan	Vertical Mixed Use	Redevelopment Site	Horizontal Mixed Use	Downtown (MSD)	Located Adjacent to Existing Sewer	Annex.	Total
0	0	0	0	0	1	0	1

Brief Summary

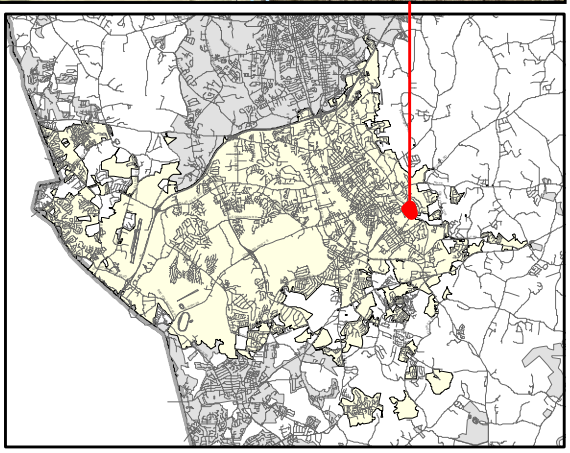
The applicant has submitted a proposal to build 85 townhomes located on Branchview Dr. SE. The parcel is currently zoned RM-1 and they are proposing to rezone the property to RV-CD. This parcel has Lawndale crossing Branchview. They submitted their rezoning application on 11/1/23 and staff is working with them to go through the conditional rezoning process.

CN-PSA-2023-00076

Type: Residential
SF Attached
85 townhome units

Allocation Request: 19,350
Project Score: 1

Developments
Parcels
Rivers
Concord
Cabarrus County



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	**Project Title:**	Branchview Townhome					
2.)	**Description of project location:**	The site is located on HW-3 (Branchview Dr SE), approx. 3,700 lf S of the intersection of NC-73 (Corban Ave SE) and HW-3 (Branchview Dr SE) (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####))					
3.)	**Cabarrus County Parcel Identification Number:**	56305536900000	3a.)	**Parcel Acreage:**	13.03 ac		
4.)	**Site Zoning and use:**	RV-CD Residential	5.)	**Area Commercial or Industrial Building (sq. ft.)**			
6a.)	**Description of Facility to be served.**	Multi-Family Attached Townhomes	**6b.) Number of Lots**	17	**6c.) Number of Units**	85	
7d.)	**Additional description information:**						

B. Applicant Information

Chris Boone , President (Title) (**Name** of **legal owner**, **board**, **council**, and/or **authorized official with title**; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	2907 Providence Road, Suite 250 (Applicant's Street or Box Number)
Capital Land Partners, LLC (**Name of Applicant's company, city, town, corporation, sanitary district, water company or other** defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	Charlotte, NC 28211 (Applicant's City, State, Zip Code)
(704) 516-4138 (Applicant's Phone Number)	N/A (Applicant's Facsimile Number)
Chris Boone (Name) chrisb@capitallandpartners.com (Email) (Name with Title and Email of contact person, who can answer questions about application)	chrisb@capitallandpartners.com (Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

Hy V. Nguyen, PE (Typed name of North Carolina Professional Engineer)	DPR Design (Company Name)
NC PE 030523 (NCPE Registration Number)	919 Berryhill Road (Street or Box Number)
704.332.1204 (Phone Number)	Charolotte, NC 28208 (City, State, Zip Code)
Ronnie Thomas (Name and affiliation of contact person, who can answer questions about **application & designs**)	hnguyen@dpr.design (Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

✔	Residential Subdivision		Retail (Stores, shopping centers)
	Apartments/Condominiums		Institution
	Mobile Home Park		Hospital, nursing home, dental
	School, preschool, daycare		Church
	Restaurants (Food or drink facilities)		Sports Centers
	Hotels or motels		Business, offices, factories
	Other (specify):_____		

2.) The type of wastewater is (indicate percentage):

100	**% Domestic**
	% Commercial
	% Industrial
	% Other use (Specify) _____

3.) Pretreatment required:

(●) No

( ) Yes **(Specify or attach effluent documentation)**

4.) **Volume of wastewater flow to be allocated for this particular project**: 19,350 gallons per day

*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**

(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**

a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

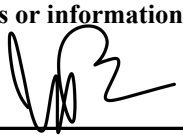
{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)	No. of Units	Flow
Townhomes	225 gal/ day	86 - 3 Bedroom Units	GPD 19,350
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
		Total	GPD 19,350

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I Chris Boone (Printed Name), **the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.**

Signature: 

Date: 10-10-23

Branchview Townhome

October 11, 2023

Site Development Data:

--Acreage: ± 13.03 acres

--Tax Parcel #: 5630-55-3690-0000 &5630-45-9844-0000 (CN-SKP-2023-00044)

--Existing Zoning: RM-1

--Proposed Zoning: RV-CD

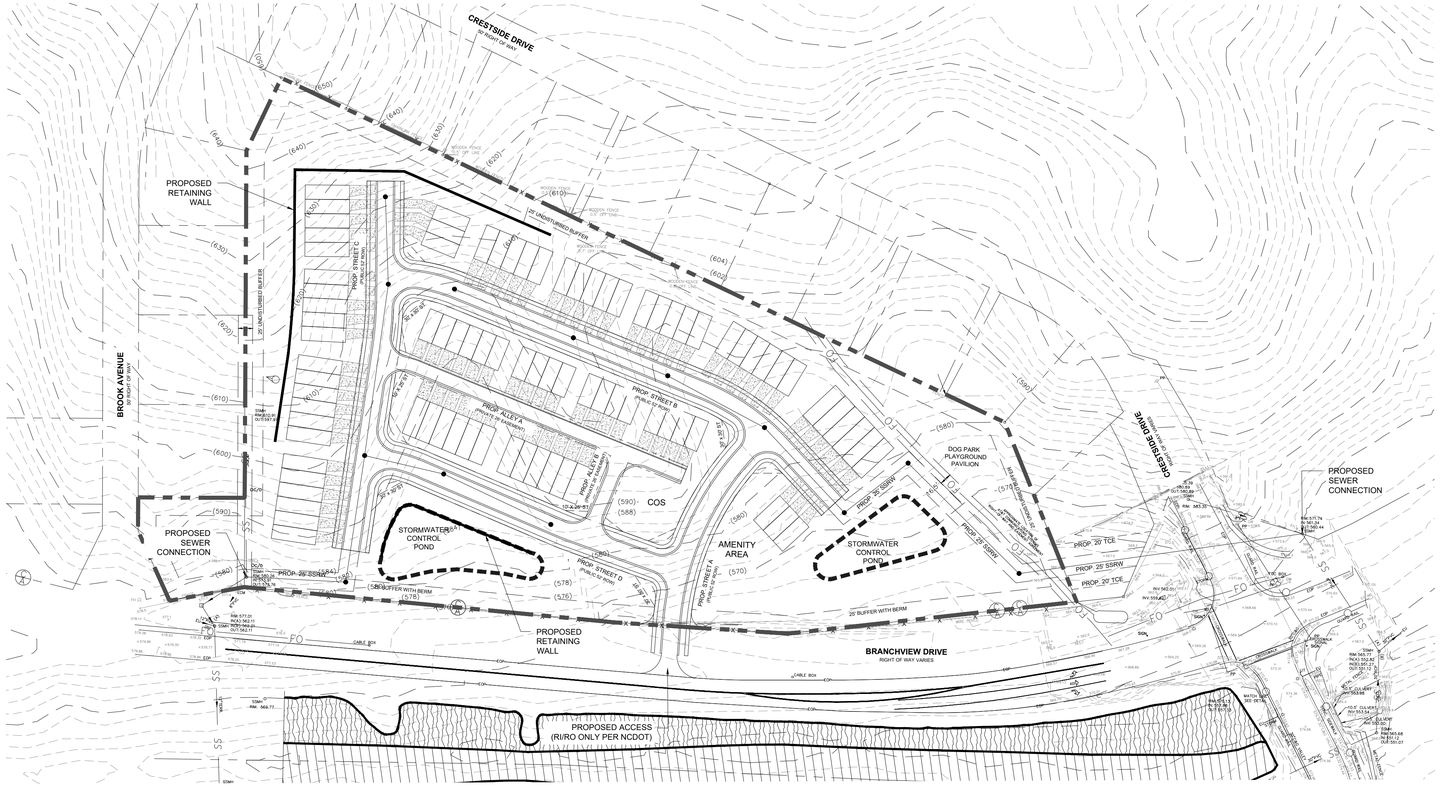
--Existing Uses: Residential/Vacant

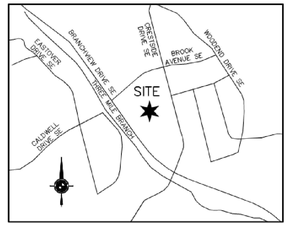
--Proposed Uses: 86 townhome units.

General:

The properties are within the City of Concord's corporate limits. They are zoned Residential Medium Density (RM-1) and the 2030 Land Use Plan designates them as suburban neighborhood. The developer is proposing to rezone the properties to Residential Village Conditional District (RV-CD) to achieve a density of 6.5 dwelling units/acre.

Branchview Townhomes is a 86 unit townhome community. Located on Branchview Drive SE (Highway 3) in Concord, NC approximately 3,700 feet south of the intersection of Corban Avenue SE (Highway 73) and Branchview Drive SE. The community features two (2) sand filter storm water ponds. The proposed amenity include pocket park, dog park with pavilion and playground.





VICINITY MAP
NOT TO SCALE

SITE DEVELOPMENT DATA:

SITE :

TOTAL SITE AREA :	± 13.03 AC.
TAX PARCEL #:	56305536900000
EXISTING ZONING:	RM-1
PROPOSED ZONING:	RV-CD
PROPOSED USE:	NOT TO EXCEED 85 ATTACHED DWELLING UNITS
PROPOSED DENSITY:	85 DU / 13.03 AC. = 6.5 DU PER AC. (MAXIMUM)
PARKING RATIO:	2 PER UNIT

SETBACKS:

TOWNHOMES:

FRONT LOADED:

FRONT YARD:	24' FROM R/W
SIDE YARD:	6' MIN.
CORNER LOT:	6' (REQUESTED DEVIATION)
REAR YARD:	15'

REAR LOADED:

FRONT YARD:	10' (REQUESTED DEVIATION)
SIDE YARD:	6' MIN.
CORNER LOT:	6' (REQUESTED DEVIATION)
REAR YARD:	20'

REQUESTED DEVIATIONS TO STANDARDS:

THE FOLLOWING MODIFICATIONS TO MINIMUM STANDARDS ARE REQUIRED FOR THE SUCCESSFUL DEVELOPMENT OF THIS PROPERTY. OTHER MODIFICATIONS MAY BE REQUESTED DURING THE FINAL DESIGN OF THE PROJECT:

A. THE MINIMUM SIDE YARD FOR EXTERIOR TOWNHOME UNITS SHALL BE 6' WITH MINIMUM 12' BUILDING SEPARATION.

B. THE MINIMUM DRIVEWAY SEPARATION FOR REAR LOAD TOWNHOMES SHALL BE 4' IN ALLEYS. FOR FRONT LOADED TOWNHOMES THE MINIMUM DRIVEWAY SEPARATION SHALL BE 10' WITHIN THE PUBLIC STREET R/W, AND MINIMUM DRIVEWAY WIDTH SHALL BE 12'.

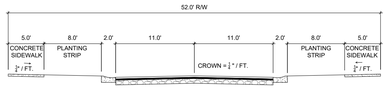
C. MAXIMUM IMPERVIOUS AREA FOR THE PROJECT SHALL BE 60%.

D. 6' CORNER LOT SIDE YARD FOR TOWNHOMES

E. FRONT SETBACK ON REAR LOAD TOWNHOMES SHALL BE 10' FROM ROW

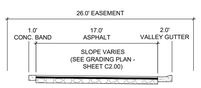
NOTES:

A. ALLEYWAYS NEED TO BE CONSTRUCTED TO LOAD BEARING STANDARDS TO SUPPORT SOLID WASTE VEHICLES, AS WELL AS A DAMAGE WAIVER PROVIDED.
B. PROJECT PHASING MAY BE REQUIRED DUE TO LIMITATIONS OF AVAILABLE SEWER CAPACITY ALLOCATION. FLOW ACCEPTANCE IS NOT GUARANTEED UNTIL PROJECT PERMITTING.
C. 25% OF THE STORMWATER GENERATED FROM THE SITE SHALL BE MANAGED WITH LID MEASURES AS INDICATED IN SECTION 9.11 IN THE DEVELOPMENT ORDINANCE. POTENTIAL ELEMENTS COULD BE BIO-RETENTION BASINS, SAND FILTERS, FILTER STRIPS OR PERVIOUS PAVING. THESE ELEMENTS WOULD BE INCLUDED IN LOW AREAS OF THE SITE TO ALLOW FOR NATURAL DRAINAGE TO THE LID MEASURE.
D. MAXIMUM IMPERVIOUS AREA IN RESIDENTIAL SHALL BE 60% TO ACCOMODATE THE ADDITIONAL IMPERVIOUS AREA NEEDED TO DEVELOP REAR LOAD PRODUCT.
E. REQUIRED SITE DISTANCE SHALL BE MAINTAINED AT ALL INTERSECTIONS, INCLUDING ALLEYS



1 **TYPICAL 52' R/W CROSS SECTION**

SCALE: 1" = 10'



2 **TYPICAL ALLEY CROSS SECTION**

SCALE: 1" = 10'

TOWNHOME EXTERIOR MATERIALS:
BRICK/STONE
CEMENTITIOUS EXTERIOR ("HARDIE") BOARD SIDING

SCALE: 1" = 100'
0 50' 100' 200'

dpr design
master planning . civil engineering
urban design . landscape architecture
919 berryhill rd. ste 101 . charlotte, nc 28208
704.332.1204 . www.dpr.design
NC Firm License # C-0560

CLIENT / OWNER

CAPITAL LAND PARTNERS, LLC
2907 PROVIDENCE ROAD, SUITE 250
CHARLOTTE, NC 28211
704.516.4138

LAND USE ATTORNEY

VICINITY MAP

PROJECT

BRANCHVIEW TOWNHOMES

BRANCHVIEW DRIVE
CONCORD, NC 28025

PROJECT NUMBER
23001

DATE
08/18/2023

ISSUED FOR
REZONING

REVISIONS

NO.	DATE	DESCRIPTION	BY

PROJ. MANAGER: HN
DRAWN BY: RT
CHECKED BY: HN

SEAL

SCALE
AS INDICATED

DRAWING
SCHEMATIC SITE PLAN

RZ-1

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ORIGINAL SHEET SIZE: 24" X 36"

Plotted: C:\DPR Dropbox_Projects\Active\2023\23001 Branchview TH-Capital Land-Concord\Dwg\Sheets\Rezoning\23001-Rezoning.dwg / 8/18/2023 12:07 PM

DEVELOPMENT STANDARDS:

1. GENERAL PROVISIONS:

a) SITE LOCATION. THESE DEVELOPMENT STANDARDS, THE SCHEMATIC SITE PLAN, AND RELATED GRAPHICS FORM THE REZONING PLAN (COLLECTIVELY REFERRED TO AS THE "REZONING PLAN") ASSOCIATED WITH THE REZONING PETITION FILED BY CAPITAL LAND PARTNERS, LLC (THE "PETITIONER") TO ACCOMMODATE THE DEVELOPMENT OF A RESIDENTIAL COMMUNITY ON THE APPROXIMATELY 13.44 ACRE SITE LOCATED OFF OF BRANCHVIEW DRIVE (THE "SITE").

b) ZONING DISTRICTS/ORDINANCE. DEVELOPMENT OF THE SITE WILL BE GOVERNED BY THE REZONING PLAN AS WELL AS THE APPLICABLE PROVISIONS OF THE CONCORD DEVELOPMENT ORDINANCE (THE "ORDINANCE"). UNLESS THE REZONING PLAN ESTABLISHES MORE STRINGENT STANDARDS THE REGULATIONS ESTABLISHED UNDER THE ORDINANCE FOR THE RV-CD ZONING CLASSIFICATION SHALL GOVERN.

c) GRAPHICS AND ALTERATIONS. THE SCHEMATIC DEPICTIONS OF LOTS, SIDEWALKS, STRUCTURES AND BUILDINGS, BUILDING ELEVATIONS, DRIVEWAYS, STREETS, BUFFERS, STORM WATER FACILITIES, TRAILS, AND OTHER DEVELOPMENT MATTERS AND SITE ELEMENTS (COLLECTIVELY THE "DEVELOPMENT/SITE ELEMENTS") SET FORTH ON THE REZONING PLAN SHOULD BE REVIEWED IN CONJUNCTION WITH THE PROVISIONS OF THESE DEVELOPMENT STANDARDS. THE LAYOUT, LOCATIONS, SIZES, AND FORMULATIONS OF THE DEVELOPMENT/SITE ELEMENTS DEPICTED ON THE REZONING PLAN ARE GRAPHIC REPRESENTATIONS OF THE DEVELOPMENT/SITE ELEMENTS PROPOSED. SINCE THE PROJECT HAS NOT UNDERGONE THE DESIGN DEVELOPMENT AND CONSTRUCTION PHASES, IT IS INTENDED THAT THIS REZONING PLAN PROVIDES FOR SIGNIFICANT FLEXIBILITY IN ALLOWING ALTERATIONS OR MODIFICATIONS FROM THE GRAPHIC REPRESENTATIONS OF THE DEVELOPMENT/SITE ELEMENTS. THEREFORE, THERE MAY BE INSTANCES WHERE MODIFICATIONS WILL BE ALLOWED WITHOUT REQUIRING AMENDMENTS TO THE REZONING PETITION, AND THESE INSTANCES GENERALLY INCLUDE CHANGES TO GRAPHICS IF THEY ARE MINOR AND DON'T MATERIALLY CHANGE THE OVERALL DESIGN INTENT DEPICTED ON THE REZONING PLAN.

d) ANY TECHNICAL ISSUES NOT ADDRESSED WITH THE REZONING SITE PLAN SHALL BE SUBJECT TO THE CONSTRUCTION DOCUMENT APPROVAL AND COMPLIANCE WITH THE CITY'S SUBDIVISION AND LAND DEVELOPMENT STANDARDS.

2. PERMITTED USES & DEVELOPMENT AREA:

a) THE DEVELOPMENT AREA MAY BE DEVELOPED WITH UP TO 99 RESIDENTIAL TOWNHOME UNITS, AS ALLOWED BY RIGHT AND UNDER PRESCRIBED CONDITIONS, TOGETHER WITH ACCESSORY USES, AS PERMITTED IN THE RV-CD ZONING DISTRICT, INCLUDING, WITHOUT LIMITATION, RECREATION, OPEN SPACE AND RELATED USES (E.G. IMPROVED PASSIVE AND ACTIVE OPEN SPACES, /GATHERING SHELTERS, GAZEBOS, DOG PARKS, MAINTENANCE BUILDINGS, OUTDOOR RECREATIONAL USES, AND/OR OTHER USES TYPICALLY ASSOCIATED WITH RESIDENTIAL COMMUNITIES).

b) TOTAL NUMBER OF LOTS IS APPROXIMATE. FINAL COUNTS FOR EACH SIZE MAY VARY BUT THE TOTAL LOT YIELD SHALL NOT EXCEED 99 LOTS.

3. ACCESS AND TRANSPORTATION:

a) ACCESS. ACCESS TO THE SITE WILL BE FROM BRANCHVIEW DRIVE, AS GENERALLY DEPICTED ON THE REZONING PLAN. THE PLACEMENT AND CONFIGURATION OF THE VEHICULAR ACCESS POINTS ARE SUBJECT TO ANY MINOR MODIFICATIONS REQUIRED TO ACCOMMODATE FINAL SITE DEVELOPMENT AND CONSTRUCTION PLANS AND TO ANY ADJUSTMENTS REQUIRED FOR APPROVAL BY THE CITY OF CONCORD AND/OR NCDOT IN ACCORDANCE WITH APPLICABLE PUBLISHED STANDARDS.

b) IMPROVEMENTS AND PHASING. THE PETITIONER SHALL INSTALL PHASED TRANSPORTATION IMPROVEMENTS PER THE APPROVED TRAFFIC IMPACT ANALYSIS (TIA) SUBJECT TO THE FOLLOWING:

i. **PHASING.** THE IMPROVEMENTS SET FORTH IN THE TIA SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF FORTIETH (40TH) CERTIFICATE OF OCCUPANCY ASSOCIATED WITH THE RESIDENTIAL UNITS.

ii. **SUBSTANTIAL COMPLETION.** REFERENCE TO "SUBSTANTIAL COMPLETION" FOR CERTAIN IMPROVEMENTS AS SET FORTH IN THE PROVISIONS OF THE APPROVED TIA SHALL MEAN COMPLETION OF THE ROADWAY IMPROVEMENTS IN ACCORDANCE WITH THE STANDARDS SET FORTH IN THE APPROVED TIA PROVIDED, HOWEVER, IN THE EVENT CERTAIN NON-ESSENTIAL ROADWAY IMPROVEMENTS (AS REASONABLY DETERMINED BY THE CITY OF CONCORD) ARE NOT COMPLETED AT THE TIME THAT THE PETITIONER SEEKS TO OBTAIN A CERTIFICATE OF OCCUPANCY FOR BUILDING(S) ON THE SITE IN CONNECTION WITH RELATED DEVELOPMENT PHASING DESCRIBED ABOVE, THEN THE CITY OF CONCORD WILL INSTRUCT APPLICABLE AUTHORITIES AND/OR DEPARTMENTS TO ALLOW THE ISSUANCE OF CERTIFICATES OF OCCUPANCY FOR THE APPLICABLE BUILDINGS, AND IN SUCH EVENT THE PETITIONER MAY BE ASKED TO POST A LETTER OF CREDIT OR A BOND FOR ANY IMPROVEMENTS NOT IN PLACE AT THE TIME SUCH A CERTIFICATE OF OCCUPANCY IS ISSUED TO SECURE COMPLETION OF THE APPLICABLE IMPROVEMENTS.

iii. **RIGHT-OF-WAY AVAILABILITY.** IT IS UNDERSTOOD THAT SOME OF THE PUBLIC ROADWAY IMPROVEMENTS REFERENCED IN THE APPROVED TIA MAY NOT BE POSSIBLE WITHOUT THE ACQUISITION OF ADDITIONAL RIGHT OF WAY. IF AFTER THE EXERCISE OF DILIGENT GOOD FAITH EFFORTS OVER A MINIMUM OF A 60-DAY PERIOD, THE PETITIONER IS UNABLE TO ACQUIRE ANY LAND NECESSARY TO PROVIDE FOR ANY SUCH ADDITIONAL RIGHT OF WAY UPON COMMERCIALLY REASONABLE TERMS AND AT MARKET PRICES, THEN THE CITY OF CONCORD, NCDOT OR OTHER APPLICABLE AGENCY, DEPARTMENT OR GOVERNMENTAL BODY MAY AGREE TO PROCEED WITH ACQUISITION OF ANY SUCH LAND. IN SUCH EVENT, THE PETITIONER SHALL REIMBURSE THE APPLICABLE AGENCY, DEPARTMENT OR GOVERNMENTAL BODY FOR THE COST OF ANY SUCH ACQUISITION INCLUDING COMPENSATION PAID BY THE APPLICABLE AGENCY, DEPARTMENT OR GOVERNMENTAL BODY FOR ANY SUCH LAND AND THE EXPENSES OF SUCH PROCEEDINGS. FURTHERMORE, IN THE EVENT PUBLIC ROADWAY IMPROVEMENTS REFERENCED IN THE APPROVED TIA ARE DELAYED BECAUSE OF DELAYS IN THE ACQUISITION OF ADDITIONAL RIGHT-OF-WAY AS CONTEMPLATED HEREIN AND SUCH DELAY EXTENDS BEYOND THE TIME THAT THE PETITIONER SEEKS TO OBTAIN A CERTIFICATE OF OCCUPANCY FOR BUILDING(S) ON THE SITE IN CONNECTION WITH RELATED DEVELOPMENT PHASING DESCRIBED ABOVE, THEN THE CITY OF CONCORD WILL INSTRUCT APPLICABLE AUTHORITIES AND/OR DEPARTMENTS TO ALLOW THE ISSUANCE OF CERTIFICATES OF OCCUPANCY FOR THE APPLICABLE BUILDINGS; PROVIDED, HOWEVER, PETITIONER CONTINUES TO EXERCISE GOOD FAITH EFFORTS TO COMPLETE THE APPLICABLE ROAD-WAY IMPROVEMENTS; IN SUCH EVENT THE PETITIONER MAY BE ASKED TO POST A LETTER OF CREDIT OR A BOND FOR ANY IMPROVEMENTS NOT IN PLACE AT THE TIME SUCH A CERTIFICATE OF OCCUPANCY IS ISSUED TO SECURE COMPLETION OF THE APPLICABLE IMPROVEMENTS.

iv. **ALTERNATIVE IMPROVEMENTS.** CHANGES TO THE ABOVE-REFERENCED ROADWAY IMPROVEMENTS CAN BE APPROVED THROUGH THE PERMITTING PROCESS UPON THE DETERMINATION AND MUTUAL AGREEMENT OF PETITIONER AND THE CITY OF CONCORD PROVIDED, HOWEVER, THE PROPOSED ALTERNATE TRANSPORTATION IMPROVEMENTS PROVIDE (IN THE AGGREGATE) COMPARABLE TRANSPORTATION NETWORK BENEFITS TO THE IMPROVEMENTS IDENTIFIED IN THIS PETITION IN THE OVERALL AREA OF THE REZONING. IN ADDITION TO THE FOREGOING, IN THE EVENT THE RIGHT OF WAY IS NOT AVAILABLE FOR ANY REASON AFTER THE GOOD FAITH EFFORTS OF THE PETITIONER, THE PETITIONER WILL WORK WITH THE CITY OF CONCORD AND/OR NCDOT AS APPLICABLE TO EITHER (I)IDENTIFY ALTERNATIVE IMPROVEMENTS TO IMPLEMENT TRAFFIC MITIGATION IN LIEU OF THE IMPROVEMENTS IMPACTED BY THE LACK OF RIGHT OF WAY; OR (II) CONTRIBUTE TO THE CITY OF CONCORD AND/OR NCDOT AS APPLICABLE, AN AMOUNT EQUAL TO THE ESTIMATED COST OF THE ROAD IMPROVEMENTS NOT COMPLETED DUE TO THE LACK OF AVAILABLE RIGHT OF WAY, SUCH FUNDS TO BE USED TO COMPLETE SUCH ALTERNATIVE ROADWAY IMPROVEMENTS IN THE GENERAL AREA OF THE SITE IN A MANNER REASONABLE AGREEABLE TO THE PETITIONER, THE CITY OF CONCORD AND/OR NCDOT AS APPLICABLE.

c) STREET NETWORK. THE OVERALL STREET NETWORK IS CONCEPTUAL IN NATURE AND MAY BE ADJUSTED DURING THE PERMITTING PROCESS SO LONG AS THE PROVISIONS OF THE ORDINANCE RELATED TO CONNECTIVITY, BLOCK LENGTHS AND LINKS ARE ADHERED TO.

4. DESIGN INTENT STATEMENT:

a) THE PETITIONER PROPOSES TO DEVELOP A WALKABLE RESIDENTIAL COMMUNITY WHERE THE RESIDENTS OF THE COMMUNITY WILL HAVE CONVENIENT AND EASY ACCESS TO A SERIES OF PASSIVE AND ACTIVE OPEN SPACES THAT ARE INTERCONNECTED BY A NETWORK OF STREETS, SIDEWALKS, AND TRAILS.

b) RESIDENTIAL VILLAGE. THE REZONING SITE AND EACH DEVELOPMENT AREA AND PARCEL CREATED THEREIN SHALL BE VIEWED AS A RESIDENTIAL VILLAGE DEVELOPMENT PLAN AS TO THE DEVELOPMENT/SITE ELEMENTS AS MAY BE GENERALLY DEPICTED ON THE REZONING PLAN AND SHALL BE VIEWED AS A RESIDENTIAL VILLAGE DEVELOPMENT; AS SUCH, EXCEPT WHERE DESIGN GUIDELINES OR STANDARDS ARE SET FORTH IN THE REZONING PLAN, SIDE AND REAR YARDS, BUFFERS, BUILDING HEIGHT SEPARATION STANDARDS, FAR REQUIREMENTS, AND OTHER SIMILAR ZONING STANDARDS WILL NOT BE REQUIRED INTERNALLY BETWEEN IMPROVEMENTS AND OTHER DEVELOPMENT/SITE ELEMENTS LOCATED WITHIN THE REZONING SITE. FURTHERMORE, THE PETITIONER AND/OR OWNER OF THE APPLICABLE PORTION OF THE REZONING SITE RESERVE THE RIGHT TO SUBDIVIDE PORTIONS OR ALL OF THE REZONING SITE AND CREATE LOTS WITHIN THE INTERIOR OF THE PORTION OF THE REZONING SITE WITHOUT REGARD TO ANY SUCH INTERNAL SEPARATION STANDARDS AND FAR REQUIREMENTS; PROVIDED, HOWEVER, ALL SUCH SEPARATION STANDARDS APPLIED TO THE REZONING SITE ALONG THE EXTERIOR BOUNDARY OF THE REZONING SITE (EXCEPT WHERE ADJACENT TO THE EXCLUDED PARCELS) SHALL BE ADHERED TO. IN ADDITION, ANY FAR REQUIREMENTS, IF APPLICABLE, WILL BE REGULATED BY ANY DEVELOPMENT LIMITATIONS SET FORTH IN THIS REZONING PLAN FOR THE REZONING SITE TAKEN AS A WHOLE AND NOT INDIVIDUAL PORTIONS OR LOTS LOCATED THEREIN.

c) LOT LINES SHALL BE SUBJECT TO THE LATEST CITY OF CONCORD LAND DEVELOPMENT DESIGN GUIDELINES AND ORDINANCE.

d) LOCATION OF ADDITIONAL PARKING SHOWN ON SITE PLAN IS FOR REFERENCE ONLY. ACTUAL LOCATIONS MAY VARY BASED ON ENGINEERING DESIGN.

e) ALL PARKING AREAS NOT INCORPORATED INTO THE LOTS SHALL BE MAINTAINED BY THE HOA AND NOT THE CITY OF CONCORD.

f) THE PROPOSED DEVELOPMENT SHALL BE SUBJECT TO THE CITY OF CONCORD FIRE MARSHALL APPROVAL AND 2018 NC FIRE CODE.

g) THE FOLLOWING MINIMUM STANDARDS ARE REQUIRED FOR THE SUCCESSFUL DEVELOPMENT OF THIS PROPERTY. OTHER MODIFICATIONS MAY BE REQUESTED DURING THE FINAL DESIGN OF THE PROJECT AS PROVIDED IN THE CONCORD DEVELOPMENT ORDINANCE:

i. TRANSITION FROM VERTICAL CURB AT INLETS TO VALLEY CURB MAY BE MADE WITHIN THREE (3) FEET ON EACH SIDE OF THE CURB INLETS.

ii. THE MINIMUM HORIZONTAL CENTERLINE SEPARATION BETWEEN DOMESTIC WATER LINES AND SANITARY SEWER LATERALS SHALL BE FIVE (5) FEET.

iii. THE MINIMUM DRIVEWAY SEPARATION FOR FRONT LOAD TOWNHOMES SHALL BE EIGHT (8) FEET.

iv. THE MINIMUM SIDE YARD FOR EXTERIOR TOWNHOME UNITS SHALL BE SIX (6) FEET WITH A MINIMUM TWELVE (12) FOOT BUILDING SEPARATION. **(SHOULD IT BE 6' AND 12' OR 5' AND 10')**

v. THE MINIMUM DRIVEWAY SEPARATION FOR REAR LOAD TOWNHOMES SHALL BE FOUR (4) FEET.

vi. DRIVEWAYS SHALL BE SEPARATED FROM THE INTERIOR PROPERTY LINES BY A MINIMUM OF ONE (1) FOOT FOR BOTH FRONT AND REAR LOADED TOWNHOMES.

vii. THE MINIMUM FRONT SETBACK AND DRIVEWAY LENGTH SHALL BE TWENTY (20) FEET FOR FRONT LOADED TOWNHOMES AND DETACHED SINGLE FAMILY LOTS.

viii. THE MINIMUM FRONT SETBACK SHALL BE FIVE (5) FEET AND THE MINIMUM DRIVEWAY LENGTH SHALL BE TWENTY (20) FEET FROM THE CENTER LINE OF THE ALLEY

5. STREETSCAPE, LANDSCAPING, AND OPEN SPACE:

a) A THIRTY (30) FOOT PERIMETER BUFFER SHALL BE PROVIDED AS GENERALLY DEPICTED ON THE REZONING PLAN.

b) SETBACKS AND YARDS AS REQUIRED BY ORDINANCE WILL BE PROVIDED.

c) THE PETITIONER SHALL PROVIDE AN EIGHT (8) FOOT PLANTING STRIP AND SIX (6) FOOT SIDEWALK ALONG THE SITE'S FRONTAGE ON BRANCHVIEW DRIVE, EXTENDING TO CRESTVIEW DRIVE.

d) COMMUNITY GATHERING SPACE SHALL BE PROVIDED AS GENERALLY DEPICTED ON THE REZONING PLAN AND IS INTENDED TO PROVIDE POCKETS OF OPEN SPACE THROUGHOUT THE DEVELOPMENT. COMMUNITY GATHERING SPACES MAY INCLUDE BENCHES, PLAY STRUCTURES, TRAILS, SIGNATURE LANDSCAPING, COURTYARDS, LAWNS AND/OR OTHER FEATURES THAT PROVIDE OPPORTUNITIES TO RECREATE OR FOSTER COMMUNITY ENGAGEMENT.

e) STORMWATER AREAS ARE INCLUDED IN OPEN SPACE AND MEET REQUIREMENTS SET FORTH IN ARTICLE 10.5.4.

f) A SIX (6) FOOT PRIVACY FENCE SHALL BE INSTALLED ALONG THE REAR AND SIDE 30' BUFFER BOUNDARIES ABUTTING EXISTING HOMES.

g) ALL CLUSTER MAILBOXES SHALL BE SUBJECT TO THE LATEST USPS CLUSTER MAILBOX GUIDELINES AND CITY OF CONCORD ORDINANCE.

h) THE PETITIONER AGREES TO SUBMIT A LANDSCAPE PLAN AND LIGHTING PLAN WITH THE CONSTRUCTION DOCUMENTS.

i) ALL STREET TREES SHALL BE MAINTAINED BY THE PROPERTY OWNER OR THE HOMEOWNERS ASSOCIATION. THE MAINTENANCE OF STREET TREES IN PLANTING STRIPS BETWEEN CURBS AND SIDEWALKS WHICH ARE WITHIN THE STREET RIGHT-OF-WAY SHALL BE THE RESPONSIBILITY OF THE RESPECTIVE HOMEOWNERS ASSOCIATION.

j) SIGNAGE WITHIN THE DEVELOPMENT SHALL MEET THE REQUIREMENTS OF THE ORDINANCE.

6. ENVIRONMENTAL FEATURES:

a) THE SITE SHALL COMPLY WITH STORMWATER AND WATER QUALITY REQUIREMENTS AS SET FORTH IN THE ORDINANCE AND APPLICABLE NCDEQ DESIGN MANUAL.

b) THE LOCATION, SIZE, AND TYPE OF STORM WATER MANAGEMENT SYSTEMS DEPICTED ON THE REZONING PLAN ARE SUBJECT TO REVIEW AND APPROVAL AS PART OF THE FULL DEVELOPMENT PLAN SUBMITTAL AND ARE NOT IMPLICITLY APPROVED FROM AND ENGINEERING PERSPECTIVE WITH THIS REZONING. ADJUSTMENTS MAY BE NECESSARY IN ORDER TO ACCOMMODATE ACTUAL STORM WATER TREATMENT REQUIREMENTS AND NATURAL SITE DISCHARGE POINTS.

c) ANY JURISDICTIONAL STREAMS PRESENT ON THE SITE SHALL BE SUBJECT TO REQUIRED STREAM BUFFERS AS SET FOR IN THE ORDINANCE.

d) ANY IMPACTS TO JURISDICTIONAL STREAMS AND/OR WETLANDS ONSITE, SHALL REQUIRE APPROPRIATE PERMIT(S) WITH THE CORPS OF ENGINEERS AND OTHER AUTHORITIES HAVING JURISDICTION OVER SUCH IMPACT. THE APPLICANT SHALL PROVIDE CITY OF CONCORD WITH SUCH PERMIT PRIOR TO CONSTRUCTION DRAWING APPROVAL. **(REFER TO DETERMINATION)**

7. LIGHTING AND ELECTRICAL:

a) ANY MOVEMENT OF EXISTING CITY OF CONCORD ELECTRIC UTILITIES CAN BE AT THE OWNER/DEVELOPER COST.

b) ALL ELECTRICAL INSTALLATIONS MUST COMPLY CITY OF CONCORD TECHNICAL STANDARDS MANUAL.

8. WASTEWATER:

a) PROPOSED SITE IS TO BE SERVED WITH PUBLIC PORTABLE WATER AND GRAVITY SANITARY SEWER. ONSITE PUBLIC PUMP STATION IS AN OPTION. ALL PUBLIC SEWER/WATER AND/OR PUMP STATION SHALL BE DESIGNED IN ACCORDANCE WITH THE CITY'S STANDARDS.

b) IF APPLICABLE, COPIES OF ALL CORRESPONDING SEWER EASEMENT AGREEMENTS AND PLAT MAPS WILL BE SUBMITTED TO THE CITY PLANNING DEPARTMENT FOR REVIEW AND COMMENTS; FINAL VERSIONS OF THESE DOCUMENTS WILL BE RECORDED AT THE REGISTER OF DEEDS AND THEN SENT TO THE WATER RESOURCE DEPARTMENT FOR FILING.

c) IF APPLICABLE, ALL PROPOSED GREASE LINES AND SANITARY SEWER LINES WITHIN THE BUILDING FOOTPRINT AND EXTENDING OUT TO THE GREASE INTERCEPTOR SHALL BE SHOWN WITHIN THE PLUMBING SECTION OF THE ARCHITECTURAL DRAWINGS. IN ADDITION, ALL GREASE INTERCEPTOR DESIGN CALCULATION FOR THE SIZING OF THE INTERCEPTOR SHALL BE SHOWN WITHIN THESE ARCHITECTURAL DRAWINGS, ALONG WITH A CORRESPONDING DETAIL OF THE INTERCEPTOR STRUCTURE ITSELF WITH ACTUAL DIMENSIONS; THIS INCLUDES ANY REFERENCING TO THE LATEST VERSION OF THE PLUMBING CODE. **(NEED TO DISCUSS APPLICABILITY)**

d) PROPOSED GRAVITY SEWER SYSTEM AND POTABLE WATER MAIN SYSTEMS SHALL BE DEDICATED TO THE CITY OF CONCORD OR WSACC **(DPR TO CONFIRM)** FOR OWNERSHIP AND MAINTENANCE.

e) THIS PROJECT CONTRIBUTES SEWAGE TO THE ROCKY RIVER WASTE WATER TREATMENT PLANT

9. WATER

a) THE APPLICANT SHALL LOOP THE WATER MAIN FROM THE TOWNHOME SECTOR TO THE WATER MAIN IN BRANCHVIEW DRIVE. **(DPR TO CONFIRM)**

10. AMENDMENTS TO THE REZONING PLAN:

a) FUTURE AMENDMENTS TO THE REZONING PLAN (WHICH INCLUDES THESE DEVELOPMENT STANDARDS) MAY BE APPLIED FOR BY THE THEN OWNER OR OWNERS OF THE APPLICABLE PORTION OF THE SITE AFFECTED BY SUCH AMENDMENT IN ACCORDANCE WITH THE PROVISIONS OF THE ORDINANCE.

11. BINDING EFFECT OF THE REZONING APPLICATION:

a) IF THIS REZONING PETITION IS APPROVED, ALL CONDITIONS APPLICABLE TO THE DEVELOPMENT OF THE SITE IMPOSED UNDER THE REZONING PLAN WILL, UNLESS AMENDED IN THE MANNER PROVIDED UNDER THE ORDINANCE, BE BINDING UPON AND INSURE TO THE BENEFIT OF THE PETITIONER AND SUBSEQUENT OWNERS OF THE SITE AND THEIR RESPECTIVE HEIRS, DEVISEES, PERSONAL REPRESENTATIVES, SUCCESSORS IN INTEREST OR ASSIGNS.

12. RECORDATION OF THE REZONING PLAN:

a) THE ZONING PLAN SHALL BE RECORDED WITH CABARRUS COUNTY REGISTER OF DEEDS ONCE APPROVED BY THE CITY.

CHARCTER IMAGERY:

1 DOG PARK:

2. PLAYGROUND:

3. MAIL KIOSK / PAVILLION:

4. COMMUNITY ENTRANCE:

5. BUFFER FENCING:

dpr design
master planning . civil engineering
urban design . landscape architecture
919 berryhill rd. ste 101 . charlotte, nc 28208
704.332.1204 . www.dpr.design
NC Firm License # C-0560

CLIENT / OWNER
CAPITAL LAND PARTNERS, LLC
2907 PROVIDENCE ROAD, SUITE 250
CHARLOTTE, NC 28211
704.516.4138

LAND USE ATTORNEY

VICINITY MAP

PROJECT
BRANCHVIEW TOWNHOMES

BRANCHVIEW DRIVE
CONCORD, NC 28025

PROJECT NUMBER
23001

DATE
08/18/2023

ISSUED FOR
REZONING

REVISIONS

NO.	DATE	DESCRIPTION	BY

PROJ. MANAGER: HY
DRAWN BY: RT
CHECKED BY: HY

SEAL

SCALE
AS INDICATED

DRAWING
REZONING NOTES

RZ-2

Plotted: C:\DPR Dropbox_Projects\Active\2023\23001 Branchview TH-Capital Land-Concord\Dwg\Sheets\Rezoning\23001-Rezoning.dwg / 8/18/2023 11:42 AM

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ORIGINAL SHEET SIZE: 24" X 36"

Residential: Single Family Attached (Townhomes)

Sherwood Hill Townhomes-stacked condos (CN-PSA-2023-00078)

46 Sherwood Ct NW.

DRC	Entitled	Units	PRS Routed	Technically Approved
	Yes	84	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	No	No	No

Allocation Request

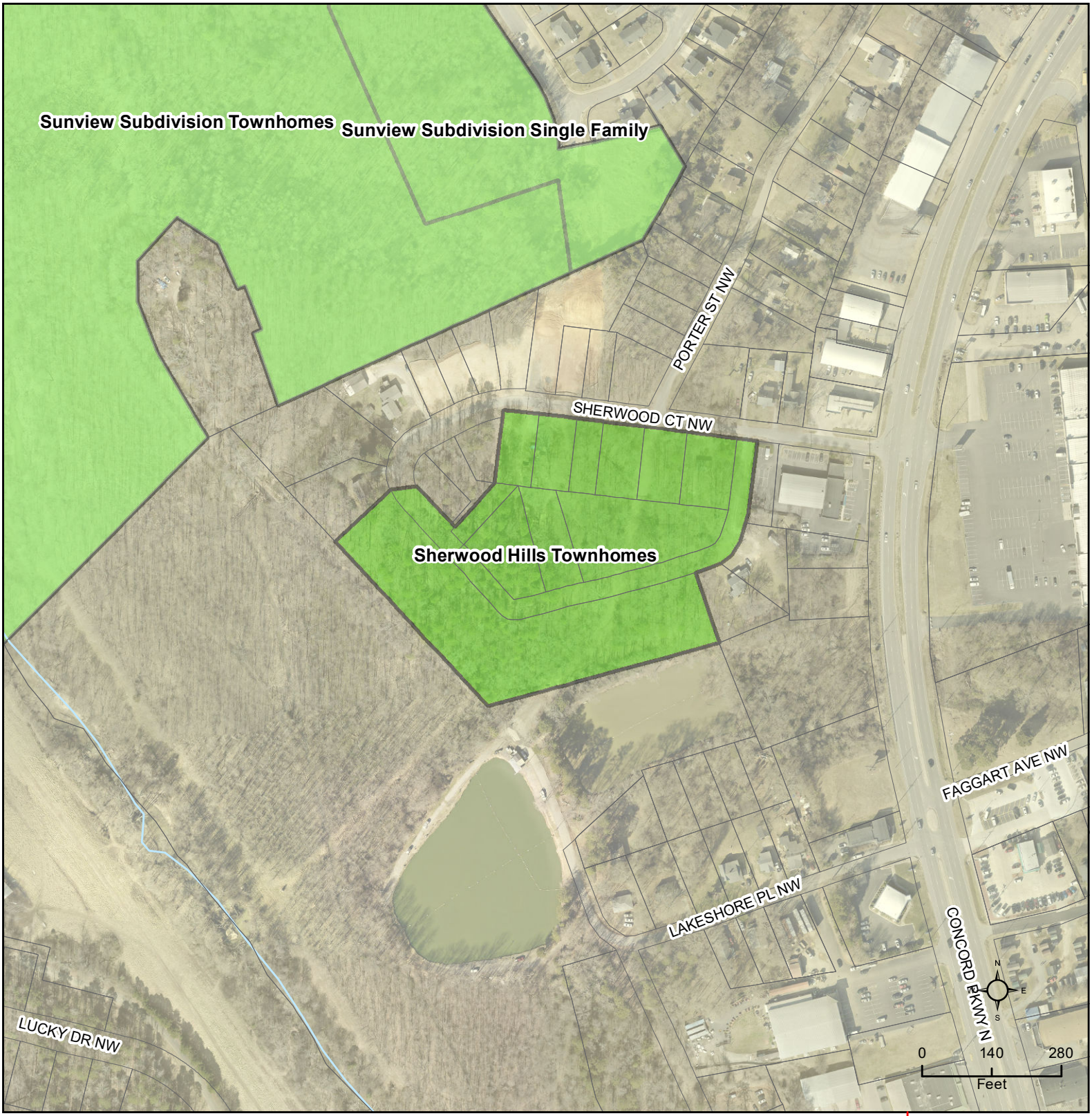
Total	2024	2025
14,175	9,075	5,100

Project Scoring

Small Area Plan	Vertical Mixed Use	Redevelopment Site	Horizontal Mixed Use	Downtown (MSD)	Located Adjacent to Existing Sewer	Annex.	Total
0	0	1	0	0	1	0	2

Brief Summary

The applicant has submitted a proposal to build 84 townhomes that will be structured as stacked condos. The project would be infill and is surrounded by single family homes and commercial zoned parcels.

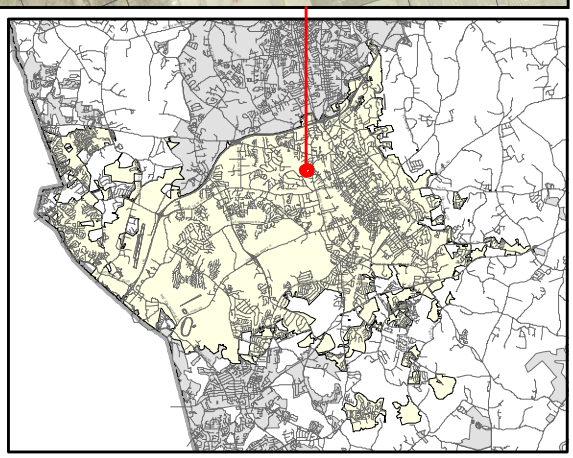


CN-PSA-2023-00078

Type: Residential
SF Attached
95 stacked condos

Allocation Request: 14,175
Project Score: 2

Developments
Parcels
Rivers
Concord
Cabarrus County



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	**Project Title:**	Sherwood Hills Townhomes					
2.)	**Description of project location:**	Site located on Sherwood Ct. NW, approximately 675 ft. West of the intersection of Sherwood Ct. NW and Concord Parkway N. (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####)					
3.)	**Cabarrus County Parcel Identification Number:**	See Attached Property List	3a.)	**Parcel Acreage:**	6.95 ac		
4.)	**Site Zoning and use:**	RV	5.)	**Area Commercial or Industrial Building (sq. ft.)**	0		
6a.)	**Description of Facility to be served.**	Residential Subdivision	**6b.) Number of Lots**	10	**6c.) Number of Units**	84	
7d.)	**Additional description information:**	Residential Townhome Subdivision					

B. Applicant Information

Todd Hicks , Partner (Title) (**Name** of **legal owner, board, council**, and/or **authorized official with title**; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	PO Box 470643 (Applicant's Street or Box Number)
South Oak Partners LLC (**Name of Applicant's company, city, town, corporation, sanitary district, water company or other** defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	Charlotte, NC 28247 (Applicant's City, State, Zip Code)
704-292-3195 (Applicant's Phone Number)	(Applicant's Facsimile Number)
Kate Underwood (Name) | kate@daylighteng.com (Email) (Name with Title and Email of contact person, who can answer questions about application)	todd@southoakpartners.com (Applicant's Email Address)
REQUIRED Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.	

C. Design Engineer Information if available

Kate Underwood , PhD, PE (Typed name of North Carolina Professional Engineer)	Daylight Engineering (Company Name)
033470 (NCPE Registration Number)	(Street or Box Number)
(980) 234-7500 (Phone Number)	Concord, NC, 28026-1804 (City, State, Zip Code)
Kate Underwood, PhD, PE (Name and affiliation of contact person, who can answer questions about **application & designs**)	kate@daylighteng.com (Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

✔	Residential Subdivision		Retail (Stores, shopping centers)
	Apartments/Condominiums		Institution
	Mobile Home Park		Hospital, nursing home, dental
	School, preschool, daycare		Church
	Restaurants (Food or drink facilities)		Sports Centers
	Hotels or motels		Business, offices, factories
	Other (specify):____		

2.) The type of wastewater is (indicate percentage):

100	**% Domestic**
	% Commercial
	% Industrial
	% Other use (Specify) ____

3.) Pretreatment required:
(●) No
( ) Yes **(Specify or attach effluent documentation)**

4.) **Volume of wastewater flow to be allocated for this particular project:** 14,175 gallons per day
*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**
(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**

a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)	No. of Units	Flow
Townhomes	75 gal/ bedroom *3 bedrooms	21	GPD 4,725
Townhomes	75 gal/ bedroom *2 bedrooms	63	GPD 9,450
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
		Total	GPD 14,175

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I Todd Hicks (Printed Name), **the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.**

Signature: _____ Date: 10/11/23

Narrative for City of Concord for Sherwood Hills Subdivision infill project

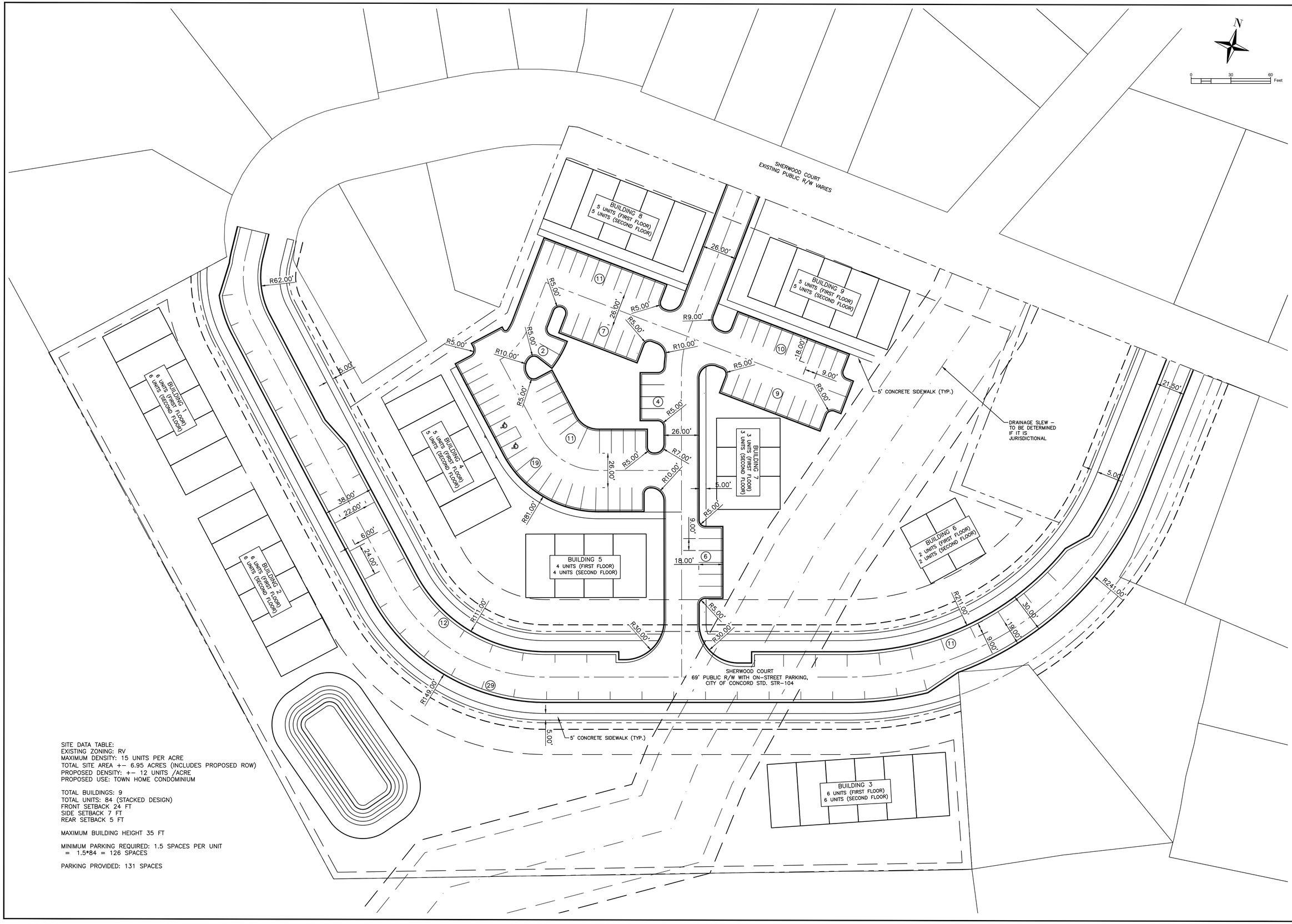
Our firm purchased the land from the Hawfield family of owners with a contract started on February 22, 2019 and culminated with a close on March 10, 2021 in anticipation of developing the previously approved platted subdivision of residential lots back in 1944.

The property originally was divided into 3 blocks of 310 lots total. We currently have approximately 55 of the original lots that vary in width and depth, but mostly are 25' wide and approximately 150' deep.

Our plan of 84 units within the Residential Village (RV) zoned tracts that are all two (2) bedroom, one (1) bath units for sale. This unit count remains below the maximum density proposed for the RV zoning at 15 units per acre. Each planned unit is 'stacked' with one unit below, one unit above, in a two-story residential structure, planned with sprinkler fire protection for every resident.

The plan envisions a central parking court area with the units fronting the public road right-of-way. For the area of the plan where only right-of-way exists, but no pavement, the vision is for a residential scale road with parking on both sides. Total parking calculation for required for planning purposes is calculated at minimum of 126 (1.5 spaces per unit). Parking provided is 131 spaces.

This site is within the city limits of Concord, just 4.2 miles west, north west from downtown Concord. Walking distance to Lowes (0.5 miles) and Harris Teeter (1.3 miles). While several new homes in this area range from $450K up to $850K within ½ mile from this property, we hope that this project can create smaller, affordable units to the market place, that is in desperate need for the community to still live the American dream.



SITE DATA TABLE:
EXISTING ZONING: RV
MAXIMUM DENSITY: 15 UNITS PER ACRE
TOTAL SITE AREA +– 6.95 ACRES (INCLUDES PROPOSED ROW)
PROPOSED DENSITY: +– 12 UNITS /ACRE
PROPOSED USE: TOWN HOME CONDOMINIUM

TOTAL BUILDINGS: 9
TOTAL UNITS: 84 (STACKED DESIGN)
FRONT SETBACK 24 FT
SIDE SETBACK 7 FT
REAR SETBACK 5 FT

MAXIMUM BUILDING HEIGHT 35 FT

MINIMUM PARKING REQUIRED: 1.5 SPACES PER UNIT
= 1.5*84 = 126 SPACES

PARKING PROVIDED: 131 SPACES

REVISION	DATE	DESCRIPTION

SHERWOOD HILLS TOWNHOMES

SITE LAYOUT PLAN

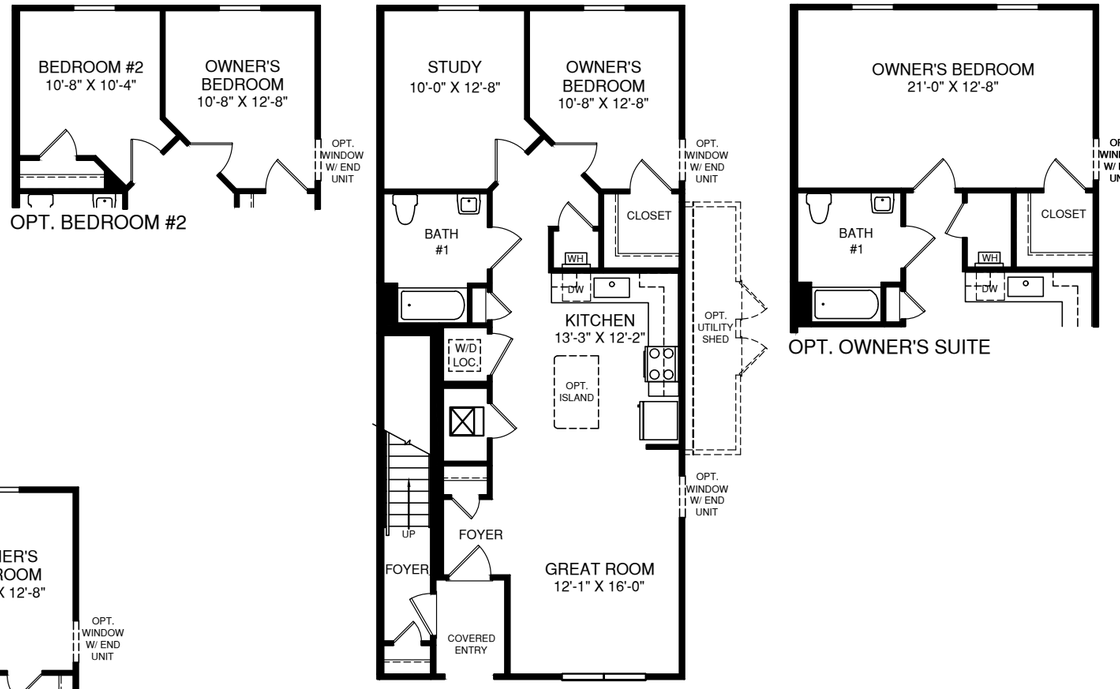
PROJECT LOCATION
SOUTH OAK LAND PARTNERS
PROJECT NO. 23065
PROJECT MANAGER: KWU

DAYLIGHT ENGINEERING
NCBELS LICENSE: P-2772
57 UNION STREET SOUTH, CONCORD, NC 28025 · (980) 234-7500 · WWW.DAYLIGHTENG.COM

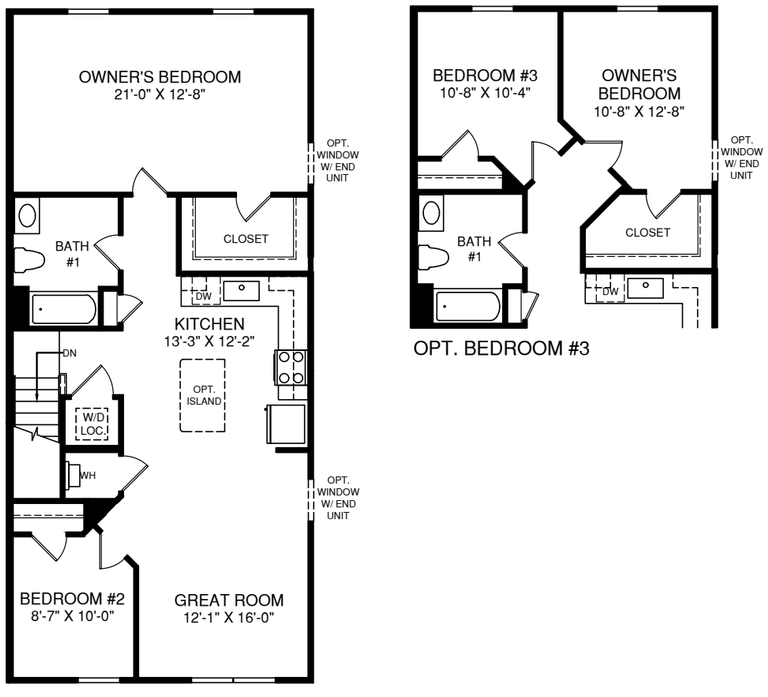
ENGINEERS SEAL

PRELIMINARY NOT FOR CONSTRUCTION
10/11/2023

C200



JOHNSON



TURNER

The Johnson Turner

Product Line: Cornerstone
Series: Renaissance
Footprint Min: 22’-0” X 48’-0”
Footprint Max: 25’-10” X 48’-0”
Height: 23’-8 5/16”
Sq. Ft. Min: Johnson: 906 Turner: 1093
Available Foundation Types: Level entry

Johnson

Bedrooms:	Std:	1	Opt.:	2
Full Baths:	Std:	1	Opt.:	0
Half Baths:	Std:	0	Opt.:	0

Turner

Bedrooms:	Std:	2	Opt.:	1
Full Baths:	Std:	1	Opt.:	1
Half Baths:	Std:	0	Opt.:	0

Ceiling Height:
- 1st Floor: 8’
- 2nd Floor:8’

Available Veneers:
- Traditional: A, B
- Craftsman: C

FOR INTERNAL USE ONLY. Although all information is believed to be correct at publication, please refer to most current blueprints to ensure accuracy.

JOHNSON TURNER
RY0820JHN

Residential: Single Family Attached (Townhomes)

266 Malvern Condominiums (CN-PSA-2023-00085)

266 Malvern Dr. SW

DRC	Entitled	Units	PRS Routed	Technically Approved
	Yes	10	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	No	No	No

Allocation Request

Total	2024
1,650	1,650

Project Scoring

Small Area Plan	Vertical Mixed Use	Redevelopment Site	Horizontal Mixed Use	Downtown (MSD)	Located Adjacent to Existing Sewer	Annex.	Total
2	0	1	0	0	1	0	4

Brief Summary

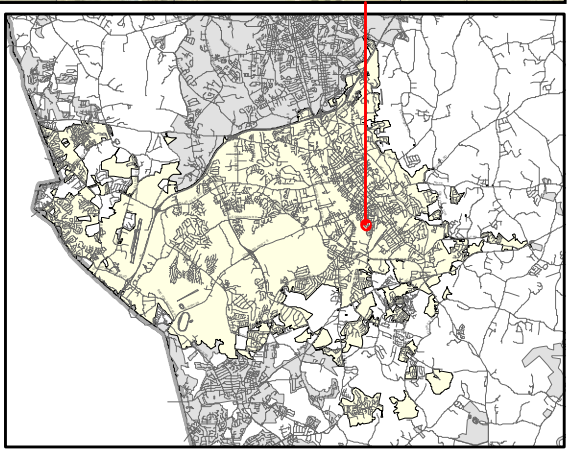
The applicant has submitted a proposal to build 10 units that will be considered condos. This location was a nursing home in the early 1970s and will be considered a redevelopment project. WeBuild is proposing these condos as a way to support the Logan Community and increase affordable housing. This parcel is located in the Center City Plan.

CN-PSA-2023-00085

Type: Residential
SF Attached
10 townhome units

Allocation Request: 1,650
Project Score: 4

Developments
Parcels
Rivers
Concord
Cabarrus County



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	**Project Title:**	Flow Store Road					
2.)	**Description of project location:**	located at the intersection of US Hwy 601 and Flowes Store Road E (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####)					
3.)	**Cabarrus County Parcel Identification Number:**	5539902295000	3a.)	**Parcel Acreage:**	62.12		
4.)	**Site Zoning and use:**	PUD	5.)	**Area Commercial or Industrial Building**	**(sq. ft.)** 0		
6a.)	**Description of Facility to be served.**	single-family lots	**6b.) Number of Lots**	210	**6c.) Number of Units**	210	
7d.)	**Additional description information:**	includes 9 parcels					

B. Applicant Information

Steve Bailey , President (Title) (**Name** of **legal owner**, **board**, **council**, and/or **authorized official with title**; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	7224 Jameson Way (Applicant's Street or Box Number)
Prestige Corporate Development, PLLC (**Name of Applicant's company, city, town, corporation, sanitary district, water company or other** defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	Stanley, NC 28164 (Applicant's City, State, Zip Code)
704-607-5059 (Applicant's Phone Number)	 (Applicant's Facsimile Number)
Alex Bonda (Name) alex.bonda@pcdllc.net (Email) (Name with Title and Email of contact person, who can answer questions about application)	steve@pcdllc.net (Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

Jonathan A. Carter (Typed name of North Carolina Professional Engineer)	Bluestone Land Management, PLLC (Company Name)
30916 (NCPE Registration Number)	115 Autumn Frost Avenue (Street or Box Number)
704-649-2863 (Phone Number)	Statesville, NC 28677 (City, State, Zip Code)
Jonathan A. Carter (Name and affiliation of contact person, who can answer questions about **application & designs**)	jonathan.carter@bluestonelandmanagement.com (Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

✔	Residential Subdivision		Retail (Stores, shopping centers)
	Apartments/Condominiums		Institution
	Mobile Home Park		Hospital, nursing home, dental
	School, preschool, daycare		Church
	Restaurants (Food or drink facilities)		Sports Centers
	Hotels or motels		Business, offices, factories
✔	Other (specify): Pool/Clubhouse (50gal/100sf/day+10gal per person per day)		

2.) The type of wastewater is (indicate percentage):

100	**% Domestic**
	% Commercial
	% Industrial
	% Other use (Specify) ____

3.) Pretreatment required:
- ( ) No
- (8) Yes **(Specify or attach effluent documentation)**

4.) **Volume of wastewater flow to be allocated for this particular project**: 65,600 gallons per day
*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**
(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**

a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)			No. of Units	Flow	
Single Family Lots (4-bedrooms)	300	gal/	day	210	GPD	63,000
Pool	10	gal/	day/person	200 people	GPD	2,000
Clubhouse	50	gal/	day/100 sf	1200 sf	GPD	600
		gal/			GPD	
		gal/			GPD	
		gal/			GPD	
				Total	GPD	65,600

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I Steve Bailey (Printed Name), **the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.**

Jessie L. Sykes — Signature:

8.25.2023 — Date:

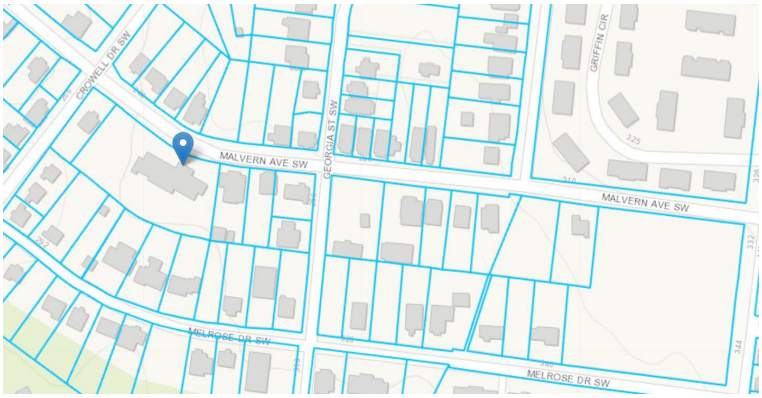
4 Barbrick Ave SW
Suite 10
Concord, NC 28025

City of Concord Planning Department
35 Cabarrus Ave W
Concord, NC 28025
Via email to adamsm@ConcordNC.gov

Project Narrative for 266 Malvern Dr SW, Concord, NC 28025

Dear Esteemed Members of the City of Concord City Council:

WeBuild Concord is proud to introduce our latest venture: a community of 10 affordable condominiums located at 266 Malvern Dr SW, Concord, NC 28025. This location was a nursing home in the early 1970s and has been vacant since the late 1970s, becoming an area of contention for the Logan community. Like the Lincoln Street Townhome development, this project reflects our commitment to enhancing the quality of life in Concord and the Logan community by creating sustainable, affordable communities. The City of Concord has also taken the initiative to increase affordable housing with multiple members from the City Council, Planning Staff, and Housing Department on the Board of Directors: JC McKenzie, Terry Crawford, Steve Osborne, Joshua Smith, and Della Robinson.



These condominiums will be thoughtfully priced to cater to individuals and families seeking a secure and affordable place to call home. The project will be designed to foster a sense of community among residents. Common areas, green spaces, and outdoor pavilions are planned to encourage social interaction and promote a healthy lifestyle.

Condominium Unit Size	Number of Units
3 Beds	2
2 Beds	8
Total Units	**10**

WeBuild Concord's Affordable Condominiums at 266 Malvern Dr SW, Concord, NC 28025, stand as a testament to our dedication to building thriving, inclusive communities. This project exemplifies our commitment to excellence, affordability, and community development, making homeownership a reality for many individuals and families in Concord. We look forward to enriching lives, one home at a time, and creating a brighter future for the residents of Concord, North Carolina.

4 Barbrick Ave SW
Suite 10
Concord, NC 28025

Thank you for your time and consideration,

Jessie Sykes
WeBuild Concord
(704)995-7036
jsykes@webuildconcord.org

Residential: Single Family Attached (Townhomes)

1015 Rockland Cir. Subdivision (CN-PSA-2023-00087)

1015 Rockland Cir. SW

DRC	Entitled	Units	PRS Routed	Technically Approved
11/02/2023	Yes	64	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	No	No	No

Allocation Request

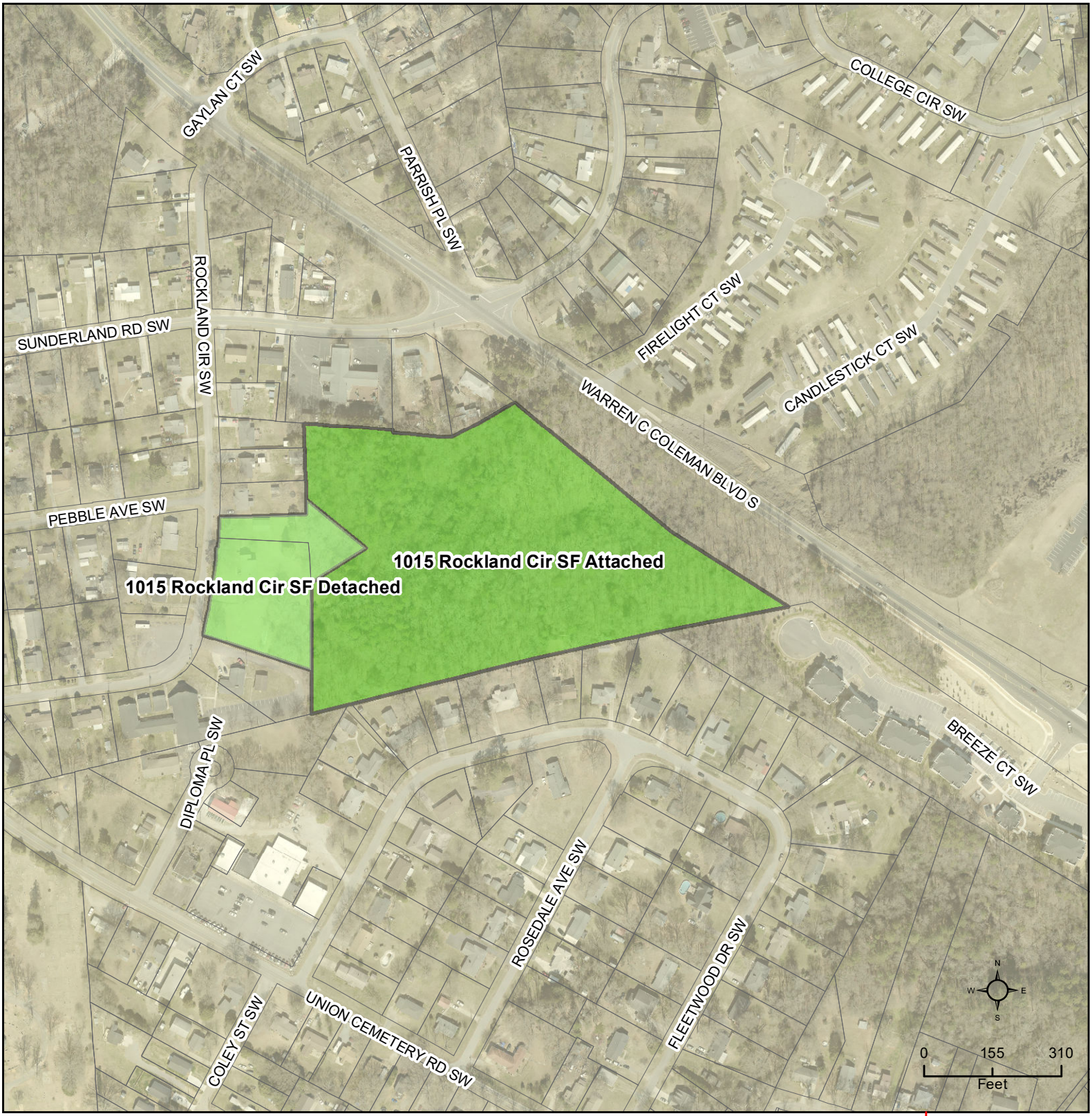
Total	2024	2025
15,600	12,450	3,150

Project Scoring

Small Area Plan	Vertical Mixed Use	Redevelopment Site	Horizontal Mixed Use	Downtown (MSD)	Located Adjacent to Existing Sewer	Annex.	Total
0	0	1	0	0	1	0	2

Brief Summary

The applicant has submitted a proposal to build 64 townhomes and 5 single family detached homes. The parcels are zoned RM-2 and RC. The applicant is proposing to work with WeBuild to create 10 workforce housing townhomes along with the remainder of units being market priced.

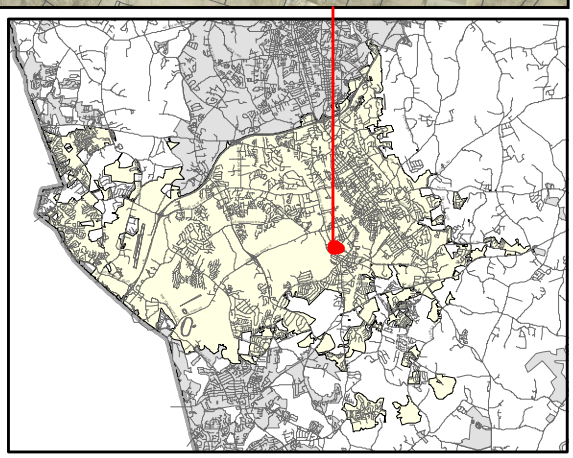


CN-PSA-2023-00087

Type: Residential
SF Attached
64 townhome units

Allocation Request: 15,600
Project Score: 2

Developments
Parcels
Rivers
Concord
Cabarrus County



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	**Project Title:**	1015 Rockland Circle Subdivision				
2.)	**Description of project location:**	Site located at 1015 Rockland Circle SW, approximately 0.2 miles NE of the intersection of Rockland Cir. SW and Union Cemetery Road SW. (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####))				
3.)	**Cabarrus County Parcel Identification Number:**	5620-20-1146 & 5620-20-4226	3a.)	**Parcel Acreage:**	+/- 11.870 ac	
4.)	**Site Zoning and use:**	RM-2 & RC, Residential	5.)	**Area Commercial or Industrial Building (sq. ft.)**	0	
6a.)	**Description of Facility to be served.**	Residential Subdivision	**6b.) Number of Lots**	69	**6c.) Number of Units**	
7d.)	**Additional description information:**	Single Family Homes & Townhomes				

B. Applicant Information

Cynthia Ann Hodges , Property Owner (Title)	1201 Castlemoor Ct.
(**Name** of **legal owner**, **board**, **council**, and/or **authorized official with title**; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	(Applicant's Street or Box Number)
Justin Mueller	Raleigh, NC 27606
(**Name of Applicant's company, city, town, corporation, sanitary district, water company or other** defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	(Applicant's City, State, Zip Code)
704-578-5688	
(Applicant's Phone Number)	(Applicant's Facsimile Number)
Kate Underwood, PhD, PE (Name) / kate@daylighteng.com (Email)	mueller.justin@gmail.com
(Name with Title and Email of contact person, who can answer questions about application)	(Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

Kate Underwood , PhD, PE	Daylight Engineering
(Typed name of North Carolina Professional Engineer)	(Company Name)
033470	P.O Box 1804
(NCPE Registration Number)	(Street or Box Number)
(980) 234-7500	Concord, NC, 28026-1804
(Phone Number)	(City, State, Zip Code)
Kate Underwood, PhD, PE	kate@daylighteng.com
(Name and affiliation of contact person, who can answer questions about **application & designs**)	(Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

✔	Residential Subdivision		Retail (Stores, shopping centers)
	Apartments/Condominiums		Institution
	Mobile Home Park		Hospital, nursing home, dental
	School, preschool, daycare		Church
	Restaurants (Food or drink facilities)		Sports Centers
	Hotels or motels		Business, offices, factories
	Other (specify):_____		

2.) The type of wastewater is (indicate percentage):

100	% Domestic
	% Commercial
	% Industrial
	% Other use (Specify) _____

3.) Pretreatment required:

(●) No
( ) Yes (Specify or attach effluent documentation)

4.) **Volume of wastewater flow to be allocated for this particular project:** 17,100 gallons per day

*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**

(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**

a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)		No. of Units	Flow	
Single Family Homes Detached	75 gal/	bedroom * 4 bedrooms	5	GPD	1,500
Townhomes	75 gal/	bedroom * 4 bedrooms	16	GPD	4,800
Townhomes	75 gal/	bedroom * 3 bedrooms	48	GPD	10,800
	gal/			GPD	
	gal/			GPD	
	gal/			GPD	
			Total	GPD	17,100

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I Cynthia Ann Hodges (Printed Name), **the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.**

Cynthia Ann Hodges — Signature:

Oct. 12, 2023 — Date:

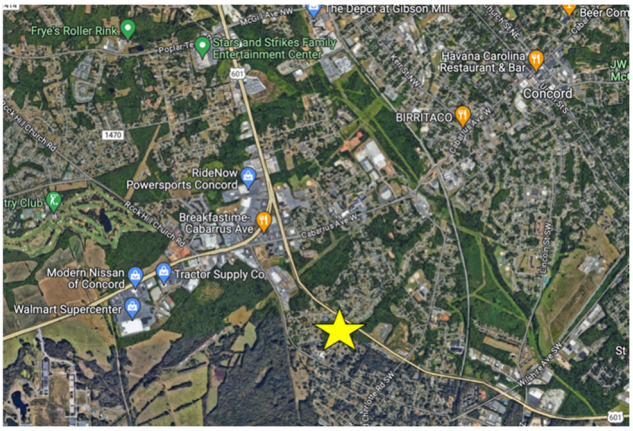
51 Union Street South
Suite 100
Concord, NC 28025

City of Concord Planning Department
35 Cabarrus Avenue West
Concord, NC 28025
Via email to adamsm@ConcordNC.gov

RE: Project Narrative for 1013-1015 Rockland Circle SW, Concord, NC 28027

Dear Esteemed Members of the City of Concord City Council:

Sherwood Development Group is partnering with WeBuild Concord to bring a mixed-income townhome project with 10 workforce housing townhomes, 54 market-for-sale townhomes, and five (5) 10,000 SF single-family home lots on 13.29 acres located at 1013-1015 Rockland Circle SW, Concord, NC 28027.



WeBuild Townhomes (Affordable)	10	3 Beds
Townhomes For Sale Market Rate	54	3/4 Beds
Single Family For Sale Market Rate	5	4 Beds
TOTAL	**69 Units**	

This project will be one of the first mixed-income projects in partnership with WeBuild, whose mission is to bring equitable and permanent affordable housing options for all of Concord's residents. This drive for affordable housing is a significant push for the City of Concord, with multiple members of the City Council and City of Concord Planning Staff and Housing Department on the Board of Directors: JC McKenzie, Terry Crawford, Steve Osborne, Joshua Smith, and Della Robinson.

The proposed development meets the City of Concord 2030 Land Use Plan, specifically sections 5.3 Goals and Policy Guidance regarding objective 1.6: "Provide a diverse mix and range of options throughout the City that will accommodate the current and future needs of the citizens

51 Union Street South
Suite 100
Concord, NC 28025

of Concord." In addition, this meets the goal of the City to provide 1) infill housing, 2) housing balance, and 3) mixed-density housing.

The project is on land already annexed into the City of Concord and zoned RM-2 and RC.

The anticipation of funds being expended on the project is as follows:

Approval of Site Plan	$300,000
Land Acquisition	$1,000,000
Site Development	$5,000,000
Home Construction	$18,000,000
TOTAL ANTICIPATED COSTS	**$24,300,000**

The potential tax revenue to the City of Concord-based on an average sales price of $356,000 for the townhomes and $500,000 for the single-family homes, is as follows:

	Townhomes	**Single Family Homes**
Number of Homes	64	5
Average Assessed Value	$350,000	$500,000
Total Assessed Value	**$22,400,000**	**$2,500,000**
2023 Concord Tax Rate	0.48%	0.48%
Total Tax Revenue to City	**$107,520**	**$12,000**
2023 Cabarrus County Tax Rate	0.74%	0.74%
Total Tax Revenue to the County	$165,760	$18,500
TOTAL REVENUE (County & City)	**$273,280**	**$30,500**

This project meets the City of Concord's drive and demand for more affordable housing options in a desirable mixed-income neighborhood near the Grounds at Concord and downtown Concord.

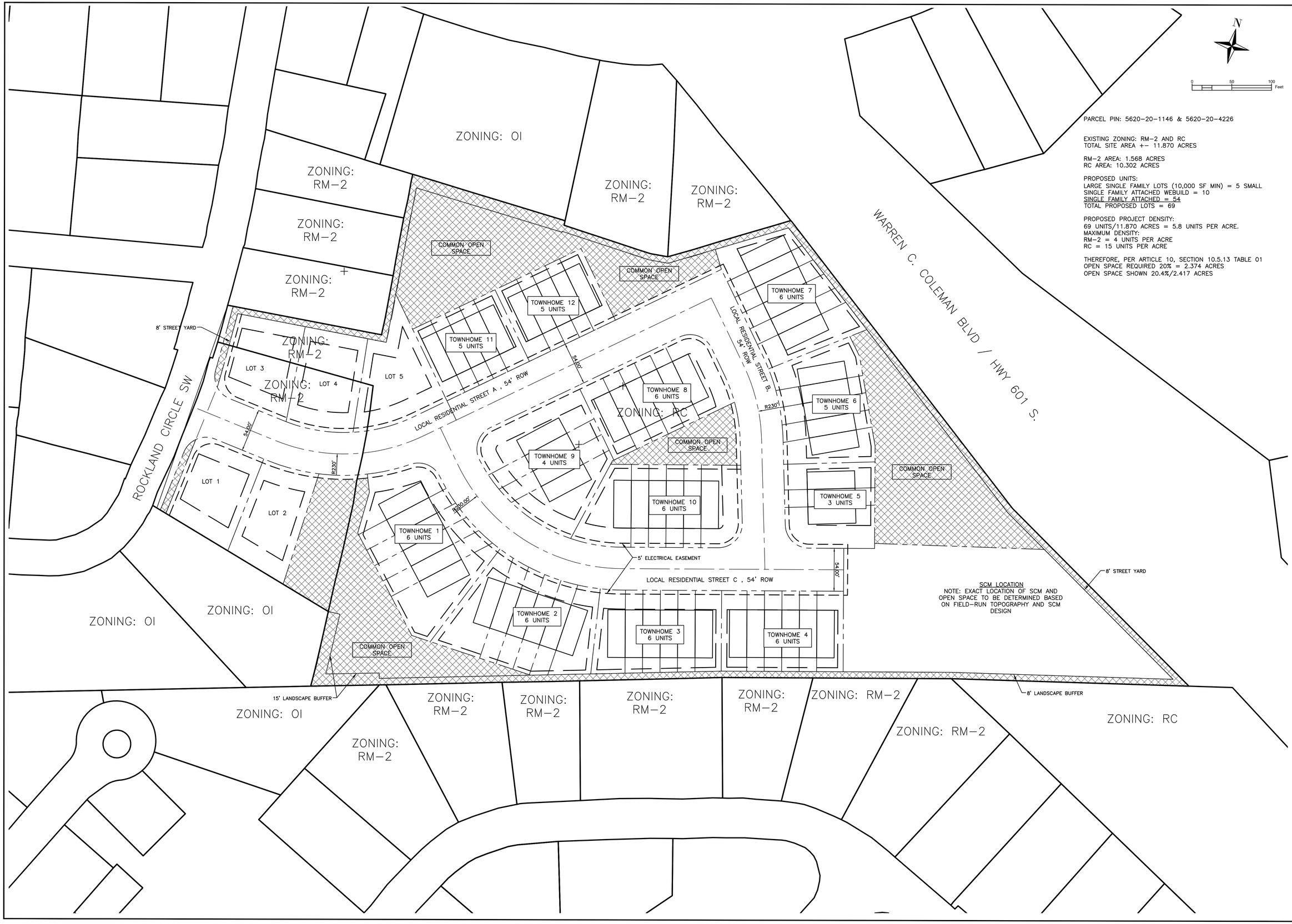
51 Union Street South
Suite 100
Concord, NC 28025

This development will be hidden from Warren C. Coleman behind a large tree buffer. The entrance will be off Rockland Circle Road, offering single-family homes at the front to look similar to the existing neighborhood. The townhomes will be behind the neighborhood's entrance, and the single-family homes will be at the front of the development.

The townhomes are proposed to provide a mix of garages and no garages depending on the product type as desired by WeBuild. Below is an example project that is a partnership between WeBuild and PresPro Homes located at 13 Powder Street NW, Concord, NC 28025.

Thank you for your time and attention.

Justin Mueller
Sherwood Development Group
704-578-5688
justin@sdgcarolinas.com



PARCEL PIN: 5620-20-1146 & 5620-20-4226

EXISTING ZONING: RM-2 AND RC
TOTAL SITE AREA +- 11.870 ACRES

RM-2 AREA: 1.568 ACRES
RC AREA: 10.302 ACRES

PROPOSED UNITS:
LARGE SINGLE FAMILY LOTS (10,000 SF MIN) = 5 SMALL
SINGLE FAMILY ATTACHED WEBUILD = 10
SINGLE FAMILY ATTACHED = 54
TOTAL PROPOSED LOTS = 69

PROPOSED PROJECT DENSITY:
69 UNITS/11.870 ACRES = 5.8 UNITS PER ACRE.
MAXIMUM DENSITY:
RM-2 = 4 UNITS PER ACRE
RC = 15 UNITS PER ACRE

THEREFORE, PER ARTICLE 10, SECTION 10.5.13 TABLE 01
OPEN SPACE REQUIRED 20% = 2.374 ACRES
OPEN SPACE SHOWN 20.4%/2.417 ACRES

REVISION	DATE	DESCRIPTION

1015 ROCKLAND CIR. SUBDIVISION

SITE LAYOUT PLAN

1015 ROCKLAND CIRCLE SW, CONCORD, NC
SHERWOOD DEVELOPMENT
PROJECT NO. 23060
PROJECT MANAGER: KWU

DAYLIGHT ENGINEERING
NCBELS LICENSE: P-2772
57 UNION STREET SOUTH, CONCORD, NC 28025 · (980) 234-7500 · WWW.DAYLIGHTENG.COM

ENGINEERS SEAL

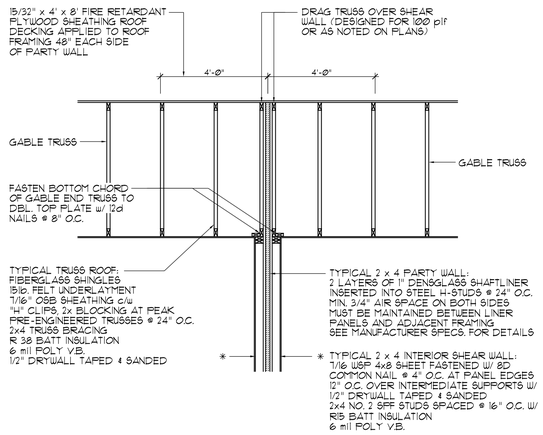
PRELIMINARY NOT FOR CONSTRUCTION

10/13/2023

C200

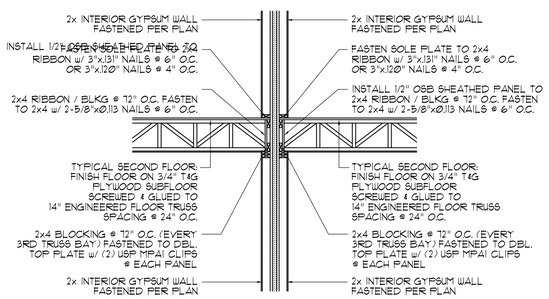
EXTERIOR ELEVATION NOTES

- CONTRACTOR TO VERIFY ALL WINDOW AND DOOR SIZES WITH OWNER BEFORE CONSTRUCTION BEGINS.
- GRADE IS DRAWN FOR ILLUSTRATION PURPOSES ONLY AND VARIES PER SITE CONDITIONS.
- ALL FINISH MATERIALS TO BE VERIFIED WITH OWNER BEFORE CONSTRUCTIONS BEGINS.
- REFER TO TYPICAL WALL DETAILS FOR FRAMING INFORMATION.
- PROVIDE STEPS AND GAURD RAILS AS REQ. PER CODE BASED ON SITE CONDITIONS.
- CONTRACTOR TO PROVIDE ADEQUATE ROOF VENTILATION AS REQUIRED PER CURRENT CODES.



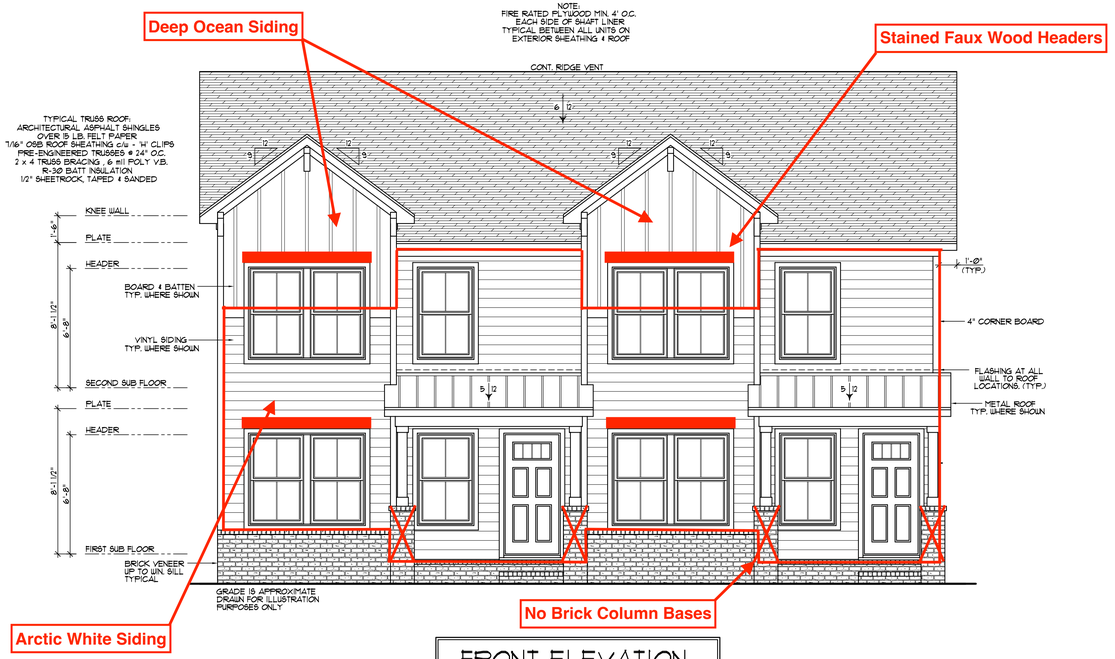
SHEAR TRANSFER DETAIL @ GABLE END PARTY WALL

SCALE: 1/2" = 1'-0"



SHEAR TRANSFER DETAIL BETWEEN FLOORS @ UNIT SEPERATION WALL

SCALE: 1/2" = 1'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

REAR ELEVATION

SCALE: 1/4" = 1'-0"

Custom Residential Design & Cad Services
TRAVIS HARTSELL DESIGN CONCEPTS
www.th-designconcepts.com
Phone: 704 - 467 - 1899
Fax: 704 - 788 - 2634
Email: thdc@th-designconcepts.com

PRESPRO

EASTLAKE DUPLEX - 2 UNIT

REVISION NO.	
JOB NO.	
DRAWN BY:	T.A.H.
CHECKED BY:	T.A.H.
SCALE:	1/4" = 1'-0"
DATE ISSUED:	4-3-2023

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FRONT & REAR ELEVATIONS

A1

PRESPRO

HOMES & NEIGHBORHOODS

EASTLAKE

1,392 sq. ft.

13 Powder St NW, Concord NC 28025

Bedrooms	3
Bathrooms	2
Half Baths	1
Heated Sq. Ft.	1,392 sq. ft.
Garage	0

Cannon Run Apartments (CN-PSA-2023-00052)

9179 Davidson Hwy.

DRC	Entitled	Units	PRS Routed	Technically Approved
	Yes	275	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	No	No	No

Allocation Request

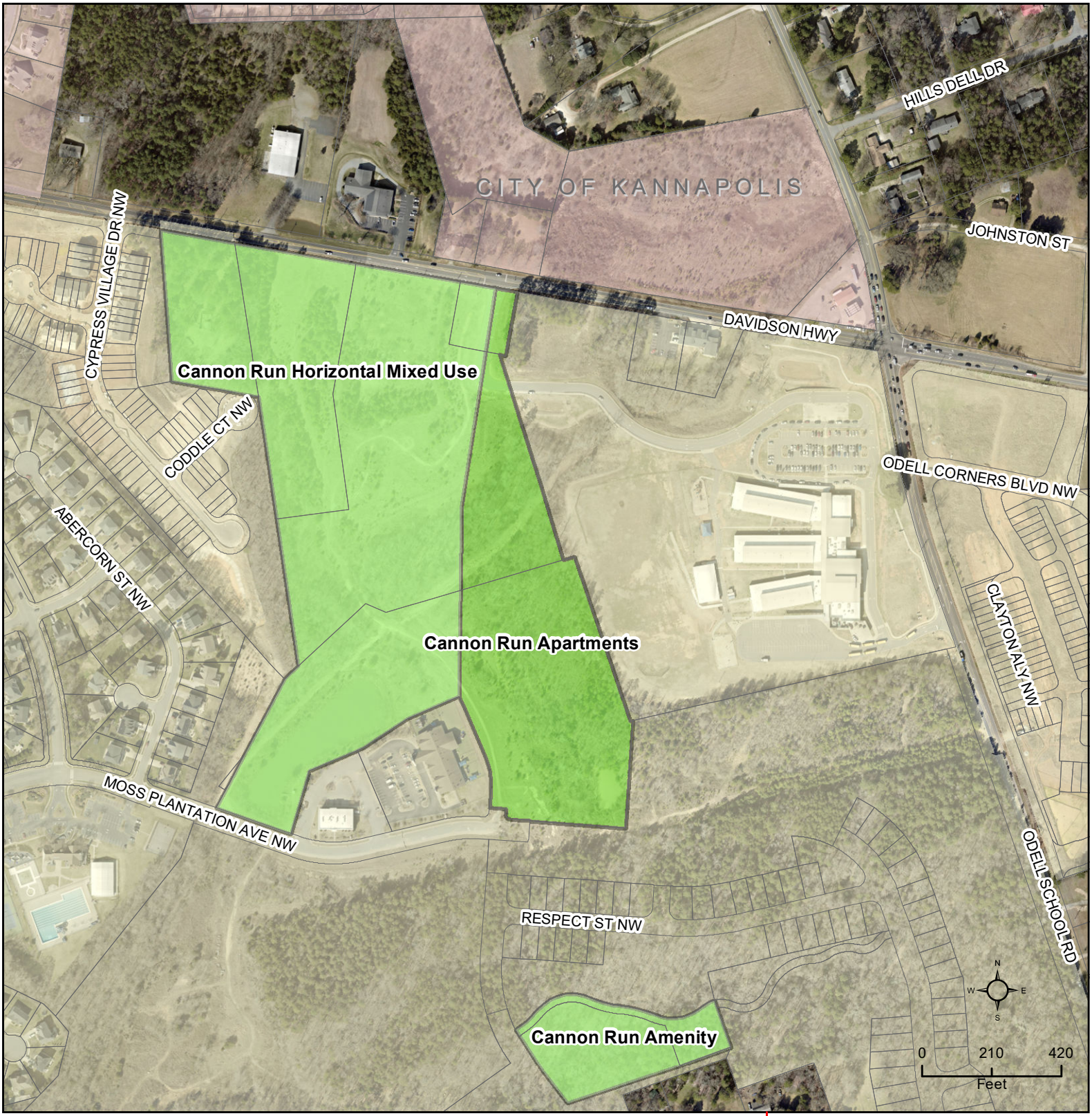
Total	2024	2025	2026	2027	2028	2029
45,375	11,250	7,875	7,500	7,500	7,500	3,750

Project Scoring

Small Area Plan	Vertical Mixed Use	Redevelopment Site	Horizontal Mixed Use	Downtown (MSD)	Located Adjacent to Existing Sewer	Annex.	Total
0	0	1	1	0	1	0	3

Brief Summary

The applicant is looking to develop a mixed-use development proposing 275 apartment units along with office and retail space. This request is for the apartment units.

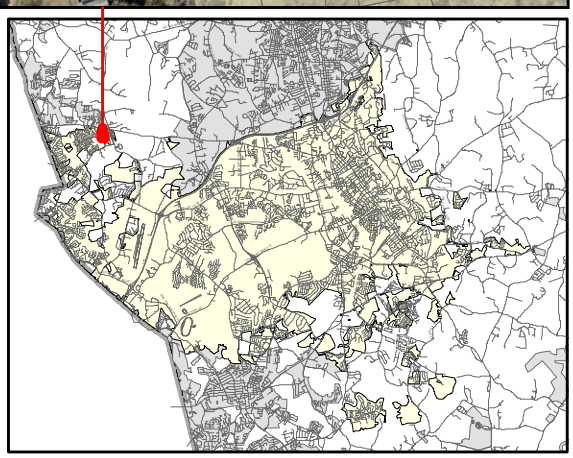


CN-PSA-2023-00052

Type: Residential
Multifamily
275 multifamily units

Allocation Request: 43,375
Project Score: 3

Developments
Parcels
Rivers
Concord
Cabarrus County
Other Municipalities



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	**Project Title:**	Cannon Run Apartments				
2.)	**Description of project location:**	Site located on Davidson HWY SR 73, approx 1100 linear feet East of the intersection of Odell School Road (SR 1442) and Davidson HWY (SR 73) (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####)				
3.)	**Cabarrus County Parcel Identification Number:**	46813947300000,46813975130000,46914903800000,46814926	3a.)	**Parcel Acreage:**	29.45	
4.)	**Site Zoning and use:**	PUD	5.)	**Area Commercial or Industrial Building (sq. ft.)**	111,000	
6a.)	**Description of Facility to be served.**	Mixed Use	6b.) **Number of Lots**	5	6c.) **Number of Units**	275
7d.)	**Additional description information:**	75,500 SF of Retail 35,500 SF of Office/MOB 275 Total MF Units: 40% 1 BDRM (110 Units), 40% 2 BDRM (110 Units), and 20% 3 BDRM (55 Units)				

B. Applicant Information

Mark Swartz , President (Title) (**Name** of **legal owner**, **board**, **council**, and/or **authorized official with title**; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	4350 Main Street, Suite 201 (Applicant's Street or Box Number)
Charlotte Real Estate Development (**Name of Applicant's company, city, town, corporation, sanitary district, water company or other** defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	Harrisburg, NC 28075 (Applicant's City, State, Zip Code)
704.454.7807 (Applicant's Phone Number)	N/A (Applicant's Facsimile Number)
Mark Swartz (Name) mswartz@cltres.com (Email) (Name with Title and Email of contact person, who can answer questions about application)	mswartz@cltres.com (Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

Kevin Vogel (Typed name of North Carolina Professional Engineer)	LandDesign (Company Name)
21164 (NCPE Registration Number)	223 N. Graham Street (Street or Box Number)
704.333.0325 (Phone Number)	Charlotte, NC 28202 (City, State, Zip Code)
Jimmy Dutton (Name and affiliation of contact person, who can answer questions about **application & designs**)	jdutton@landdesign.com (Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

☑	Residential Subdivision	☑	Retail (Stores, shopping centers)
☐	Apartments/Condominiums	☐	Institution
☐	Mobile Home Park	☐	Hospital, nursing home, dental
☐	School, preschool, daycare	☐	Church
☐	Restaurants (Food or drink facilities)	☐	Sports Centers
☐	Hotels or motels	☑	Business, offices, factories
☐	Other (specify):____		

2.) The type of wastewater is (indicate percentage):

87	**% Domestic**
13	**% Commercial**
0	**% Industrial**
	% Other use (Specify) _____

3.) Pretreatment required:
(●) No
( ) Yes **(Specify or attach effluent documentation)**

4.) **Volume of wastewater flow to be allocated for this particular project**: 56,475 gallons per day
*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**
(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**

a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)			No. of Units	Flow	
Residential (1 Bedroom)	150	gal/	Unit	110 Unit	GPD	16,500
Residential (2 Bedroom)	150	gal/	Unit	110 Unit	GPD	16,500
Residential (3 Bedroom)	225	gal/	Unit	55 Units	GPD	12,375
Office Space	25	gal/	employee/shift	35,500 SF x 4 Employees/1,000SF	GPD	3,550
Retail	100	gal/	1,000 SQ FT	75,500 SF	GPD	7,550
		gal/			GPD	
				Total	GPD	56,475

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I _ Mark Swartz _____, **the undersigned, do hereby make application for preliminary wastewater**
(Printed Name)

allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.

Signature: _____ Date: 10/9/2023

PROJECT NARRATIVE

Project: Cannon Run Apartments
LDI PN: 1023156
Date: 5-Oct-2023

Description:

Cannon Run Apartments is located within the Cannon Run Subdivision in Concord, North Carolina. The site entrance is located on Davidson Hwy (NC73) approximately 1,100 linear feet west of the intersection of Odell School Road (SR1442) and Davidson Hwy (NC73). The 29.45-acre parcel extends south to Moss Plantation Ave NW. The mixed-use development contains 275 apartment units, approximately 35,500 SF of office, and 75,500 SF of retail space. The total flow requested by this project is 56,475 GPD. This includes 16,500 GPD from 110 1BR residential units,16,500 GPD from 110 2BR residential units, 12,375 GPD from 55 3BR residential units, 3,550 GPD for office space, and 7,550 GPD for retail space. The development requires services connecting to a proposed 8-inch sewer line which will tie to an 8-inch line on Moss Plantation Ave NW, as well as water services connection to a proposed 8-inch water main which will run from Davidson Hwy to Moss Plantation Ave NW. A utility plan exhibit is attached with the application.

LandDesign.
223 NORTH GRAHAM STREET
CHARLOTTE, NC 28202
704.333.0325
WWW.LANDDESIGN.COM

KEY MAP

SEAL

NOT FOR CONSTRUCTION

PROJECT

CANNON RUN APARTMENTS

CHARLOTTE REAL ESTATE DEVELOPMENT

LANDDESIGN PROJ.#
1023156

REVISION / ISSUANCE

NO.	DESCRIPTION	DATE
1	PRELIM WASTEWATER FLOW SUBMITTAL	09/13/2023

DESIGNED BY: JRD
DRAWN BY: JRD
CHECKED BY: RCB

SCALE

NORTH

VERT: N/A
HORZ: 1=80

0 40 80 160

SHEET TITLE

UTILITY PLAN

SHEET NUMBER

C3.00

Residential: Multi-Family

Weddington Ridge Apartments Ph 2(CN-PSA-2023-00072/PRS2021-01952)

8150 Weddington Rd.

DRC	Entitled	Units	PRS Routed	Technically Approved
6/20/2019	Yes	165	Yes	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
Yes	Yes	Yes	Yes	Yes

Allocation Request

Total	2024	2025	2026	2027
24,750	7,500	7,500	7,500	2,250

Project Scoring

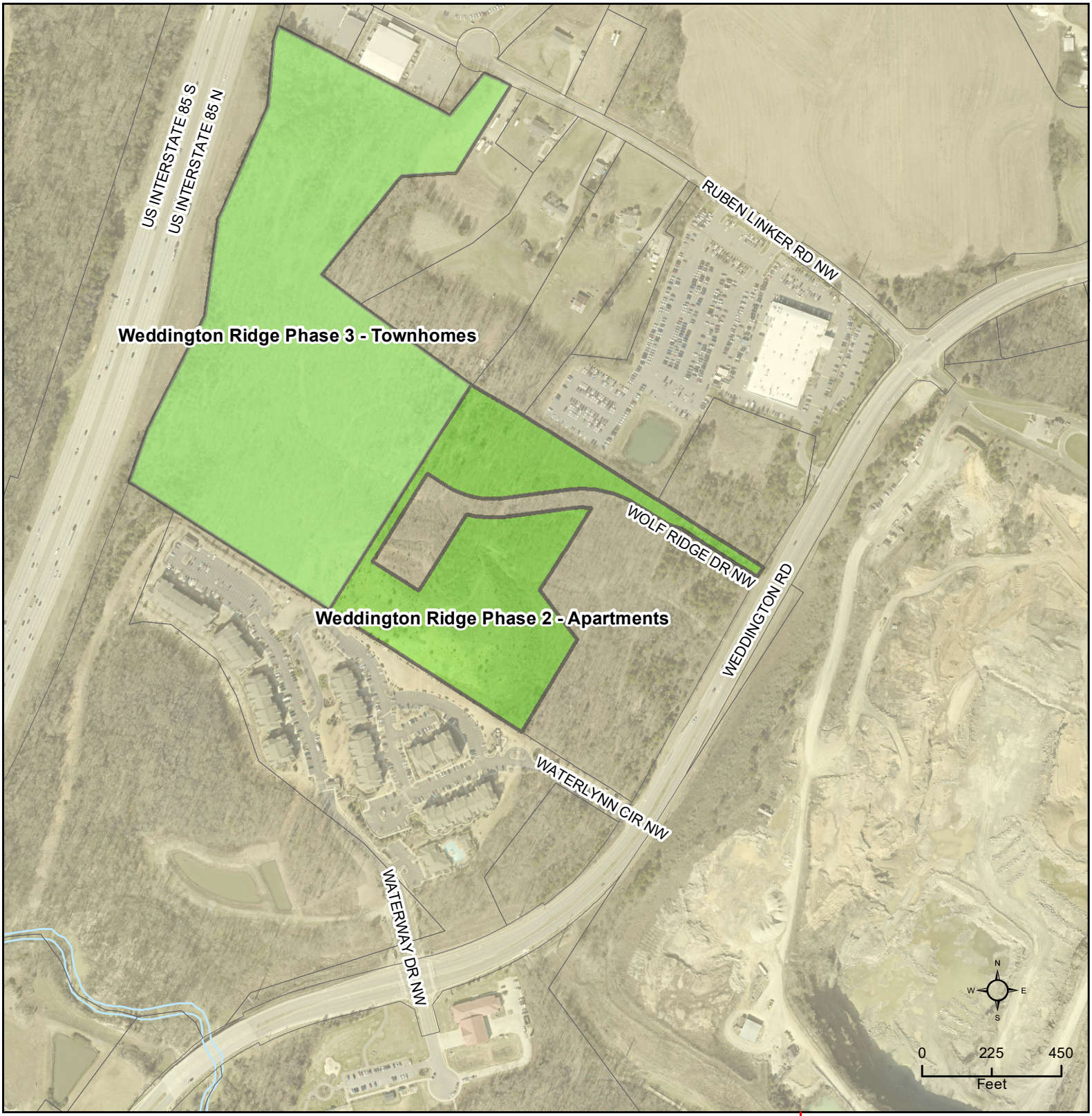
Small Area Plan	Vertical Mixed Use	Redevelopment Site	Horizontal Mixed Use	Downtown (MSD)	Located Adjacent to Existing Sewer	Annex.	Total
2	0	0	0	0	1	0	3

Brief Summary

Weddington Ridge Phase 2 was considered at the March 2022 sewer allocation meeting and did not receive an allocation, so the applicant is requesting reconsideration. The project consists of 165 apartment units in 7 buildings located on Weddington Road. A Special Use Permit was granted by Planning and Zoning Commission on June 19, 2018 for the entire apartment plan. This site is part of the Weddington Road Corridor Plan which recognizes the project.

Outstanding Items

The only three outstanding items at this time, other than sewer allocation, are the NCDEQ sedimentation and erosion control permit, and two other stormwater comments.

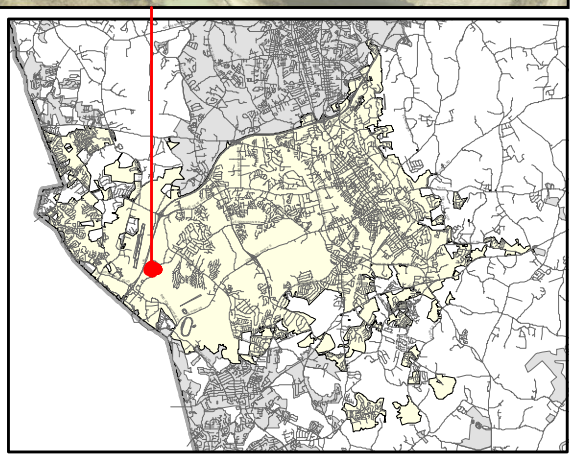


CN-PSA-2023-00072

Type: Residential
Multifamily
165 multifamily units

Allocation Request: 24,750
Project Score: 3

Developments
Parcels
Rivers
Concord
Cabarrus County



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	**Project Title:**	Weddington Ridge Phase 2					
2.)	**Description of project location:**	8150 Weddington Riad, Concord NC (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####)					
3.)	**Cabarrus County Parcel Identification Number:**	45992646620000	3a.)	**Parcel Acreage:**	11.18		
4.)	**Site Zoning and use:**	C-2	5.)	**Area Commercial or Industrial Building**	**(sq. ft.)**		
6a.)	**Description of Facility to be served.**	Apartments	**6b.) Number of Lots**	NA	**6c.) Number of Units**	165	
7d.)	**Additional description information:**	Phase 2 is 165 apartment units					

B. Applicant Information

Michael Tubridy, Managing Director (Title) (**Name** of **legal owner**, **board**, **council**, and/or **authorized official with title**; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	601 S. Tryon St, Suite 800 (Applicant's Street or Box Number)
Crescent Acquisitions, LLC (**Name of Applicant's company, city, town, corporation, sanitary district, water company or other** defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	Charlotte, NC 28202 (Applicant's City, State, Zip Code)
(315) 480-2883 (Applicant's Phone Number)	(Applicant's Facsimile Number)
Dan (Name) Gualtieri (Email) (Name with Title and Email of contact person, who can answer questions about application)	dgualtieri@crescentcommunities.com (Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

Robert Cash (Typed name of North Carolina Professional Engineer)	CESO, Inc (Company Name)
033448 (NCPE Registration Number)	4601 Park Road, Suite 650 (Street or Box Number)
(803) 802-1459 (Phone Number)	Charlotte, NC 28209 (City, State, Zip Code)
Peter Day (Name and affiliation of contact person, who can answer questions about **application & designs**)	bob.cash@cesoinc.com (Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

☐	Residential Subdivision	☐	Retail (Stores, shopping centers)
☑	Apartments/Condominiums	☐	Institution
☐	Mobile Home Park	☐	Hospital, nursing home, dental
☐	School, preschool, daycare	☐	Church
☐	Restaurants (Food or drink facilities)	☐	Sports Centers
☐	Hotels or motels	☐	Business, offices, factories
☐	Other (specify):____		

2.) The type of wastewater is (indicate percentage):

100	**% Domestic**
	% Commercial
	% Industrial
	% Other use (Specify) ____

3.) Pretreatment required:

◉ No

○ Yes **(Specify or attach effluent documentation)**

4.) **Volume of wastewater flow to be allocated for this particular project:** 16,875 gallons per day

*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**

(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**

a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)	No. of Units	Flow
Apartment Bedroom	75 gal/ unit	225	GPD 16,875
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
		Total	GPD 16,875

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I _ Michael Tubridy _____, **the undersigned, do hereby make application for preliminary wastewater**

(Printed Name)

allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.

Signature: _____ Date: 10/10/23

4601 Park Road, Suite 650
Charlotte, NC 28209
(704) 521-7898
www.cesoinc.com

October 18, 2023

M. Sue Hyde, PE
City of Concord Engineering Department
PO Box 308
Concord, NC 28026

RE: Weddington Ridge Phase 2
Sanitary Sewer System

Crescent Communities, LLC is proposing to develop a residential community on Weddington Road, in Concord, North Carolina. The development is located on three parcels totaling approximately 48.7 acres and will consist of both multifamily apartments and townhomes to provide high quality, new construction housing to over 400 households who will contribute to the long-term economic growth of Concord. The project includes 297 apartments and 137 townhomes. Crescent Communities projects a total investment of over $120 million in the development of this neighborhood, including nearly $90 million of construction work. The project is located withing the Weddington Road Area Plan and includes the construction of a new public street connecting Weddington Road and Ruben Linker Road, improving connectivity in this area.

Although the project is broken up into three phases for permitting, Crescent intends to develop this project all at once due to the substantial earthwork and infrastructure required to develop this site.

In general, the subject site is located on the west side of Weddington Road, in Concord, North Carolina. The rectangular-shaped site is bounded by Weddington Road to the East, I-85 to the West, a multi-family development to the South, and both single family homes and businesses to the north. The existing zoning is C-2, a SUP was obtained in 2018 to allow for the development of multifamily in the C-2 zoning. The approved SUP proposed townhomes on the western half of the site (Phase 3) which allows the townhomes to be developed in the existing C-2 zoning.

The apartments proposed for Phase I and II of this development will include a mix of 1- and 2-bedroom units, with market rents. Site amenities include a community pool and building, nature walking trails, as well as an easement dedication for a future greenway connection. The apartment project will have a NGBS (National Green Building Standard) Bronze green building certification.

A willingness to serve letter was obtained for Phase 1 of the development on 11/17/2020 and renewed 10/24/2022 (requires that the project commence construction within two years, 10/24/24 expire) as well as a private sewer permit from NCDEQ on 7/13/2021. The approved allocation was to serve Phase I consisting of multifamily apartment buildings. Crescent Communities is requesting the allocation for Phase 2 of the development which will complete the multifamily portion of the project (297 total apartment units). Our Phase II sewer allocation request is for 24,750 gpd.

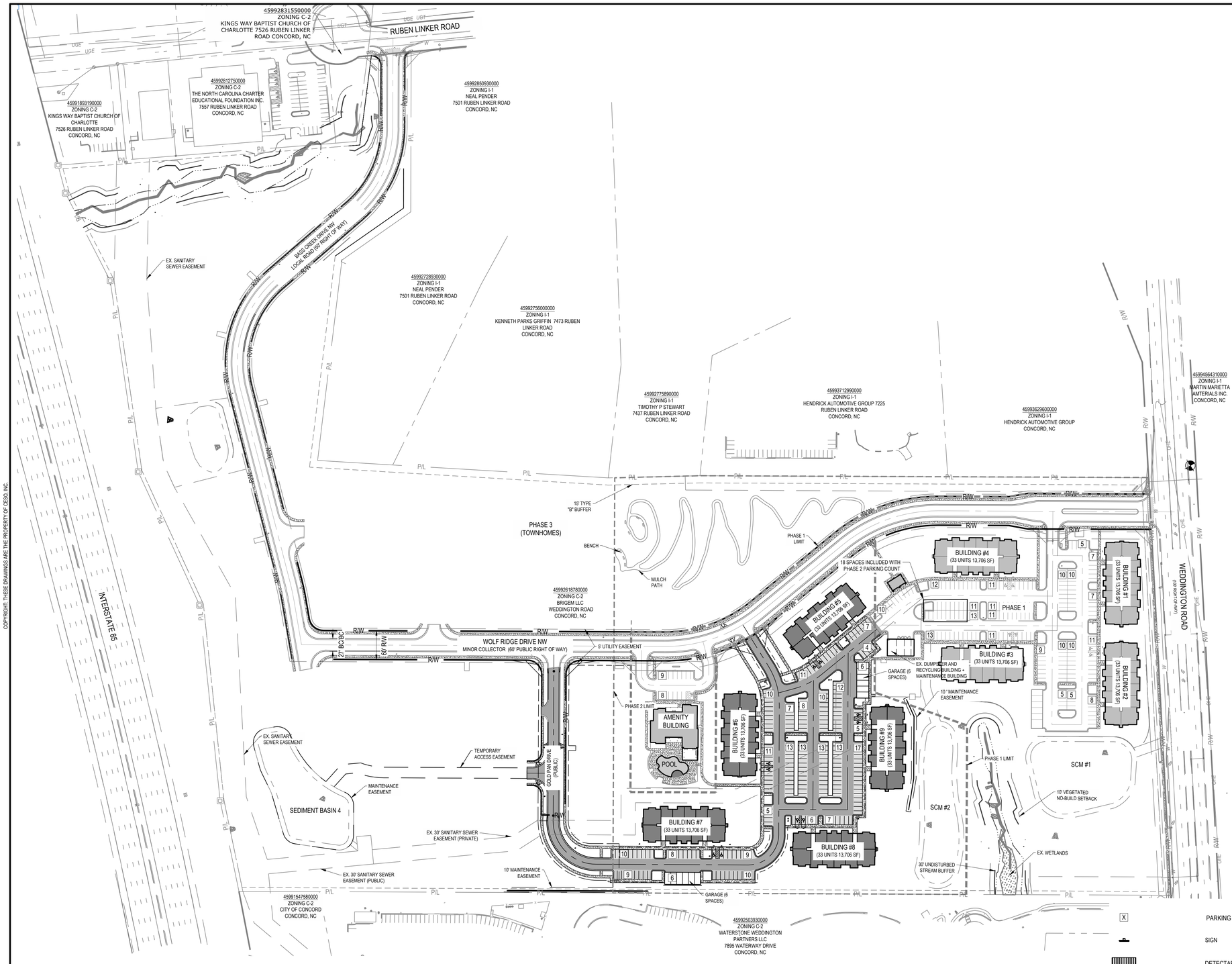
We are nearing approval of our land development plans for Phase I-III, as well as have submitted our architectural drawings for building permit. Construction is anticipated to commence for all three portions of the development once we receive the remaining sewer capacity allocation needed for the entire project (as defined as “Phase II” and “Phase III” for planning and permitting purposes).

We believe this development will be a great location for new and existing Concord residents to call home as it provides a convenient location to access the jobs, amenities and community that the City of Concord has to offer.

Respectfully,

Robert Cash, PE
Senior Program Director, Civil Engineering

Initials: RLC



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PHASE 2 PROJECT DATA TABLE	
SITE ADDRESS	WEDDINGTON ROAD, CONCORD, NC
GROSS SITE AREA:	±48.7 AC
PHASE 1 & 2 AREA:	22.1 ACRES
P.I.D. NO.:	45992646620000
EXISTING ZONING:	C-2
PROPOSED USE:	MULTIFAMILY RESIDENTIAL (ALLOWED WITH SPECIAL USE PERMIT)
MAXIMUM DENSITY:	15 DUA
BUILDING SPACING:	20' MINIMUM + 1' FOR EVERY FOOT OVER 30' HIGH
LARGEST BUILDING SIZE:	13,706 SF/FL (41,118 TOTAL)
CONSTRUCTION TYPE:	TYPE V (WOOD FRAME)
MAXIMUM BUILDING LENGTH:	180 FT
PROPOSED BUILDING LENGTH:	176.5 FT
MAXIMUM BUILDING HEIGHT:	35 FT
PROPOSED BUILDING HEIGHT:	30 FT
FRONT SETBACK:	50' (20' IF ALL PARKING IS BEHIND THE BUILDING)
SIDE AND REAR SETBACK:	20'
PROPOSED # OF UNITS:	165 APARTMENT UNITS 2-BEDROOM 60 UNITS 1-BEDROOM 105 UNITS
REQUIRED PARKING:	1.5 - 2.5/UNIT = 248 SPACES MINIMUM
PROPOSED PARKING:	248 SPACES 1.50/UNIT
PROPOSED GARAGE PARKING:	2 GARAGE(S) WITH 6 SPACES EACH
PROPOSED OPEN PARKING:	232 SPACES
IMPERVIOUS:	
BUILDING:	68,530 SF
PAVEMENT AND SIDEWALK:	100,064 SF
TOTAL ONSITE:	168,594 SF (3.87 AC)
OFFSITE ROAD AND SIDEWALK:	1,322 SF
BASIN:	20,343 SF
OVERALL TOTAL:	190,259 SF (4.37 AC)
WATERSHED:	YADKIN-PEE DEE RIVER BASIN
DRAINAGE BASIN:	YADKIN-PEE DEE RIVER
PHASE 2 DENSITY:	(33 UNIT X 5 BUILDINGS) / 11.12 ACRES = 14.8 DUA
PHASE 2 OPEN SPACE	(2.14 ACRES / 11.12 ACRES) X 100 = 19% OPEN SPACE

LEGEND

EXISTING

REFER TO C1.00 FOR EXISTING FEATURES LEGEND

PROPOSED

- PARKING SPACE COUNT
- SIGN
- DETECTABLE WARNING MAT.
- CATCH BASIN
- STORM MANHOLE
- SANITARY & STORM CLEANOUTS
- FIRE HYDRANT
- LIGHT POLE
- CONCRETE BUMPER BLOCK
- BUILDING
- CONCRETE CURB
- PAVEMENT/WALK
- RETAINING WALL
- PROPOSED HEAVY DUTY ASPHALT PAVEMENT.
- PROPOSED LIGHT DUTY ASPHALT PAVEMENT.
- PROPOSED CONCRETE PAVEMENT
- PROPOSED CONCRETE SIDEWALK

GRAPHIC SCALE (IN FEET)
1 in. = 100 ft.

BENCHMARK — DATUM: NAD83F

BM "A": PK NAIL IN ASPHALT
677.56'

BM "B": PK NAIL IN APSHALT
641.29'

North Carolina 811 www.nc811.org

SEVENTY-TWO (72) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NORTH CAROLINA UTILITIES PROTECTION SERVICE AT 811 OR (800) 632-4949 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF NORTH CAROLINA UTILITIES PROTECTION SERVICE

CESO
WWW.CESOINC.COM

NO.	DATE	REVISION DESCRIPTION

CESO NC, Co.
3601 RIGBY ROAD, STE 300
MIAMISBURG, OH 45342
(937) 435-8584
COA: C-4740

ROBERT CASH, PE
BOB.CASH@CESOINC.COM

NORTH CAROLINA PROFESSIONAL SEAL 033448 ENGINEER ROBERT L. CASH

CRESCENT ACQUISITIONS, LLC

WEDDINGTON RIDGE APARTMENTS PHASE 2

WEDDINGTON ROAD, CONCORD NC

OVERALL SITE PLAN

ISSUE:	CONSTRUCTION DOCUMENTS
DATE:	10/22/21
JOB NO.:	759024-01
DESIGN:	JCR
DRAWN:	JCR
CHECKED:	RLC
SHEET NO.	C4.00

Residential: Multi-Family

CCM Brown Mill Rebuilder's Campus (CN-PSA-2023-00080)

540 Cabarrus Ave. W.

DRC	Entitled	Units	PRS Routed	Technically Approved
4/13/2023	No	96	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	No	No	No

Allocation Request

Total	2024	2025
16,200	9,300	6,900

Project Scoring

Small Area Plan	Vertical Mixed Use	Redevelopment Site	Horizontal Mixed Use	Downtown (MSD)	Located Adjacent to Existing Sewer	Annex.	Total
2	2	1	1	0	1	0	7

Brief Summary

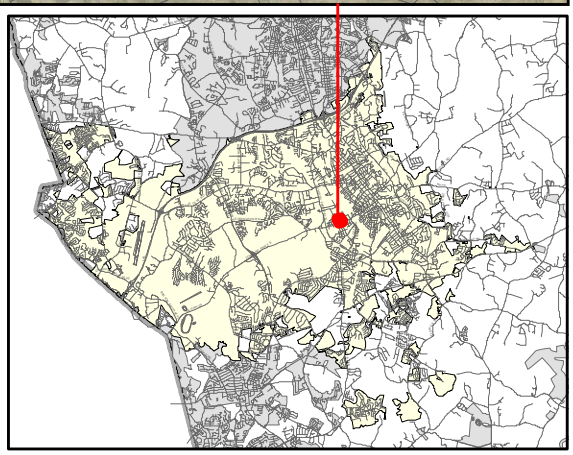
The applicant is requesting sewer allocation for an entire redevelopment project at the Old Brown Mill. This project will include 96 apartment units, a daycare, office space, and many others including a deli, bakery, healthcare, retail, community food warehouse, laundromat, and storage or warehousing. The 96 units are going to be constructed and will not be in the old mill. This project is in the Center City Plan. This request is just for the 96 apartment units.

CN-PSA-2023-00080

Type: Residential
Multifamily
96 multifamily units

Allocation Request: 16,200
Project Score: 7

Developments
Parcels
Rivers
Concord
Cabarrus County



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	Project Title:	Rebuilder's Campus for Cooperative Christian Ministry				
2.)	Description of project location:	Old Brown Mill on Cabarrus Ave between Andrews St & White St. (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####))				
3.)	Cabarrus County Parcel Identification Number:	5620-34-3147	3a.)	Parcel Acreage:	10.513	
4.)	Site Zoning and use:	rezoning to PUD	5.)	Area Commercial or Industrial Building	(sq. ft.) 238,000 +/-	
6a.)	Description of Facility to be served.	multifamily, commercial, business, industrial, assembly	6b.) Number of Lots	1	6c.) Number of Units	
7d.)	Additional description information:	develop affordable housing and develop mill property into a mixed use development				

B. Applicant Information

Ed Hosack , CEO (Title)	PO Box 1717
(Name of **legal owner, board, council**, and/or **authorized official with title**; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	(Applicant's Street or Box Number)
Cabarrus Cooperative Christian Ministry Inc	Concord NC 28026-1717
(**Name of Applicant's company, city, town, corporation, sanitary district, water company or other** defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	(Applicant's City, State, Zip Code)
704-706-9047	
(Applicant's Phone Number)	(Applicant's Facsimile Number)
Virginia Moore, Architect (Name) vmoore@cmoorearch.com (Email)	ehosack@cooperativeministry.com
(Name with Title and Email of contact person, who can answer questions about application)	(Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

R. Dale Fink, PE	Alley Williams Carmen & King
(Typed name of North Carolina Professional Engineer)	(Company Name)
014883	120 S. Main St
(NCPE Registration Number)	(Street or Box Number)
704-938-1515	Kannapolis NC 28081
(Phone Number)	(City, State, Zip Code)
Dale Fink, PE consulting engineer	dfink@awck.com
(Name and affiliation of contact person, who can answer questions about **application & designs**)	(Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

☐	Residential Subdivision	☑	Retail (Stores, shopping centers)
☑	Apartments/Condominiums	☑	Institution
☐	Mobile Home Park	☐	Hospital, nursing home, dental
☑	School, preschool, daycare	☐	Church
☑	Restaurants (Food or drink facilities)	☐	Sports Centers
☐	Hotels or motels	☑	Business, offices, factories
☐	Other (specify):____		

2.) The type of wastewater is (indicate percentage):

100	**% Domestic**
	% Commercial
	% Industrial
	% Other use (Specify) ____

3.) Pretreatment required:
(•) No
( ) Yes **(Specify or attach effluent documentation)**

4.) **Volume of wastewater flow to be allocated for this particular project:** 43,150 gallons per day
*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**
(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**

a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{**Flow rates NOT listed in table 15A NCAC 2T .0114** must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)	No. of Units	Flow
See attached exhibit	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
		Total	GPD 43,150

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I _ ED HOSACK _ **the undersigned, do hereby make application for preliminary wastewater**
(Printed Name)

allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.

Signature: _____ Date: 10/16/2023

Carlos J. Moore
ARCHITECT, P.A.
Established 1987
222 Church Street North • Concord, NC 28025 • 704-788-8333 • Fax 704-782-0487 • www.cmoorearch.com

Rebuilder's Campus CCM – Old Brown Mill

APARTMENTS: (no washer & dryers)
Phase 1 Apartments – 24 units each building x 2 buildings = 48 units
Phase 2 Apartments – 24 units each building x 2 buildings = 48 units
Total apartment units = 96

1 bedroom units = 6 units / building x 4 buildings = 24 one bedroom units
2 bedroom units = 12 units / building x 4 buildings = 48 two bedroom units
3 bedroom units = 6 units / building x 4 buildings = 24 three bedroom units

DAYCARE / MEETING BUILDING: 4875 SF
50 kids anticipated * 35 sf each = 1,750 sf used for classrooms
Office
Water closets
Small Kitchen / break area
Storage Room
IF THIS BUILDING WERE FOR ASSEMBLY THEN 15 SF / PERSON

FRONT OFFICE BUILDING: 2673 sf
Cubicles
Conference room
Office
Waiting area
Water closets

OTHER SPACES:
Deli – 2,000 sf
Bakery – 2,000 sf
Healthcare / Counseling – 30,000 sf
General Retail / Commercial – 3 stories of 32,000 sf each = 96,000 sf
Community Food Warehouse – 16,000 sf
Laundromat for campus housing – 1,000 sf
Storage or Warehousing – 75,752 sf

Sewer calculations

Established Type	Daily Design Flow	No. of Units	Flow
Apartments 1 & 2 bedroom	150 GPD/unit	72	10,800 GPD
Apartments 3 bedrooms	225 GPD/unit	24	5,400 GPD
Daycare / meeting room	25 GPD/person	114 people	2,850 GPD
Front Office Building	25 GPD/person	18 people	450 GPD
Deli	40 GPD/100 sf	2,000 sf	800 GPD
Bakery	10 GPD/100 sf	2,000 sf	200 GPD
Healthcare / Counseling	25 GPD/person	250 people	6,250 GPD
Healthcare / vocational areas	10 GPD/person	250 people	2,500 GPD
General Retail	100 GPD/1000 sf	96,000 sf	9,600 GPD
Community Food warehouse	100 GPD/loading bay	2 docks	200 GPD
Laundromat	500 GPD/machine	8 washers	4,000 GPD
Storage or Warehousing	100 GPD / loading bay	1 dock door	100 GPD
Total Estimated Flow			**43,150 GPD**

Construction Phasing

Phase 1: - construction start now. Completed in 2026 or before.
2 Apartment Buildings
1 Daycare
1 Laundromat
(Planning for the healthcare 35,000 sf will begin shortly. LOI has been signed)

Phase 2: - Completed in 2028.
Brown Mill Commercial spaces

Phase 3: - Completed in 2030.
Final 2 Apartment Buildings

The Rebuilders Campus

At Brown Mill Commons

The Rebuilders Campus, Concord

The Rebuilders Campus is a partnership between our community and Cooperative Christian Ministry (CCM) to establish new transitional housing capacity that will help individuals and families experiencing housing crisis, with stable housing, nutritional support and access to resources that promote housing stability.

COOPERATIVE CHRISTIAN MINISTRY (CCM): Since 1981, CCM has delivered housing, hunger relief and financial assistance services to individuals and families in crisis in Cabarrus County and all of the city of Kannapolis. The range of comprehensive services represents the strength of CCM's ability to address the complex needs of households in crisis. CCM's *Path to Stability* housing model is a structured and proven program that requires participants to commit to shared responsibility (CSR) and engagement in a participatory development plan (PDP) that leads their household through relief, rehabilitation and recovery.

CCM's evidence-based housing model has consistently helped families overcome crisis, but the program is reaching less than 10% of those in need due to limited capacity. Housing crisis has been identified as a top unmet need in the Cabarrus County Needs Assessment year after year. High population growth rates and challenging economic conditions are accelerating the housing crisis in Cabarrus County.

IN OUR COMMUNITY TODAY:

- HOUSING STABILITY is identified as one of the greatest unmet needs and is one of the top-3 strategic planning focuses of our municipalities, our school systems, our public health authority and our hospital system.
- CCM received an average of 20 applications per month from families seeking housing in 2021, and 38 per month in 2022… a 90% INCREASE. The average is 44 per month in 2023.
- An INCREASE OF 350-500 TOTAL BEDS are needed to meet the immediate housing need in Cabarrus County (Source: A 5-Year Prospectus; Solving the Housing Crisis Publication - 2019).

A SOLUTION TO TRANSITION FAMILIES TO STABLE HOUSING:
The Rebuilders Campus will serve single and two-parent families with children, senior adults and working age adults in employment transition with stable housing, nutrition, health, academic, and employment supports just steps away from clients' single-family apartments. Case managers will mentor clients along CCM's Path to Stability, which empowers families with graduated levels of autonomy.
By creating this new transitional housing capacity, CCM commits to:

- Provide safety, nutrition and access to health, academic, employment and spiritual support.
- Incorporate education and training services into a structured transitional housing program
- Overcome barriers preventing access to vital resources for household/ financial sustainability
- Operate within the principles and values of affirmation, accountability, personal responsibility and perseverance

THE REBUILDERS CAMPUS will include the physical environment of two (eventually four) apartment buildings and a program/activity center to include daycare facilities for 48 resident families. There will be some common meeting, work, study, leisure and recreational space for on-campus residents. The campus will also include administrative offices and support services.

CAMPUS LOCATION & DESIGN:

The Cabarrus Avenue location surpassed all other considerations through a widespread request for proposals (RFP) and an evaluative scoring process. The strength of the location rests in;

- Access to vital services
- Public transportation
- Continuity with the surrounding community
- Contribution to the City of

Concord Master Plan

PHYSICAL ENVIRONMENT:

Phase One (2023 - 2026)

48	residential units (1, 2 & 3 Bedroom)
130 – 150	participating residents - (including 60-70 children)
	Space for - meetings, teaching, laundry facilities & recreation

Program space: Tutoring		Exercise Room	Playground	Library
	Computer Lab	Entertainment	Counseling	Community

Length of Stay in program: One – Three years
Cost to participate: Program Fees after Assessment period / Graduating Rent Structure

MARKET PROFILE: Population 6,438 within 1-mile radius in 2022.
CCM's Housing programs reflect resident demographics which are comparable to the Market Profile of the surrounding communities for age, race/ethnicity, income, family size and educational attainment.

		Market Profile*	CCM Housing**	Cabarrus County
Median HHI		$ 45,483	$ 22,884- $66,564	$ 78,009
Avg. HHI		$ 63,924	$ 42,066	
HH Income	<$35k	31%	55%***	
	$35 – 75K	46%	45%	
Avg. HH size		2.8	2.4 - 2.7	2.9
Age	<25 years	38%	55%	
	25 – 54 years	37%	34%	
College degree		15%	not recorded	34%
Median age		34 years	35 years	38 years
Race/Ethnicity - Caucasian		39%	28%	60%
Gender - Female		52%	81%	

*esri Market Profile - July 2022, 1-mile radius **2021 data ***at 24 months in program

Phase Two (2026 – 2028) Will establish Brown Mill Commons: a retail / commercial environment that will provide amenities to the community and job opportunities as well. It will include wellness and education services, and other resources that will address the needs of this corridor and the communities of Brown Mill, Missouri City, Silver Hill, Underwood Park, Hartsell, Logan and Gibson Village.

Phase Three (2028 – 2030) Will develop two more 24-unit apartment buildings to round out the campus with 96 apartments serving nearly 300 individuals.

WHAT HAPPENS IF WE DO NOTHING?

Without stable housing, a family cannot safely store and prepare food. They cannot establish adequate sleep or maintain proper hygiene. Without the stability of housing, it is nearly impossible for children to be successful in school or for adults to maintain the expectations of employment. Parents cannot support the dynamics to nurture family life or participation in community. Without stable housing, there is no rehabilitation and no recovery.

Our school systems continue to report increases in students/families who are living in hotels and other forms of homelessness. Senior adults are being squeezed out by rising costs and have become the fastest growing population in housing crisis. Cabarrus County's housing crisis is rapidly escalating into what will become a homelessness crisis. Without intentional measures, our civic and nonprofit resources will be exhausted in the effort to mitigate the crisis. Cabarrus County, like many other communities, will be overwhelmed by the level of need confronting all of our major institutions.

HOW HAS OUR COMMUNITY RESPONDED IN THE PAST?

In every economic and social disaster of the past 40 years, Cabarrus County has turned to Cooperative Christian Ministry (CCM) as a trusted source to provide crisis response and allocate resources alongside local, state and federal agencies. Residents and taxpayers of Cabarrus County have enthusiastically invested in the programs of CCM as a vital resource to address the crisis needs of our community.

Following the closing of Pillowtex in 2003 and the loss of Philip Morris in 2009, the Cabarrus community supported CCM in the creation of three new housing programs. My Father's House, Mothers & Children Housing and the Teaching Housing programs were established during the Recession of 2008-2010. These programs are the backbone of CCM's housing continuum.

WHY IS CCM THE BEST ORGANIZATION POSITIONED TODAY TO PROVIDE A SOLUTION?

CCM is uniquely capable of establishing additional safe, transitional housing and improving access to housing resources for individuals and families facing homelessness and housing crisis in Cabarrus County and is currently the only entity proposing a viable solution to address transitional housing.

CCM operated the only emergency night shelter and daytime soup kitchen in Cabarrus County for twenty-seven years before turning the operation over to The Salvation Army. For more than forty years, CCM has delivered hunger relief and financial assistance services to individuals and families in crisis in Cabarrus County and all of the city of Kannapolis. This range of comprehensive services represents the strength of CCM's ability to address the complex needs of households in crisis.

In 2010, CCM created the three new transitional housing programs to serve the growth in families experiencing homelessness. These programs have served families with children (two-parent and single-parent families), senior adults and adults with disabilities for thirteen years and have developed to produce positive outcomes for households at all levels of crisis.

HOW DOES THE CABARRUS AVENUE/BROWN MILL LOCATION BEST SERVE THE CITY?

- The proposed use is consistent with the best use of this property in the Concord Master Plan.

- The project will restore the historic property and legacy of Brown Mill and the majestic streetscape of an important entry corridor into the Concord City Center.
- The Rebuilders Campus will bring vital resources to the neighborhoods of Brown Mill, Missouri City, Silver Hill, Underwood Park, Logan, and Hartsell and complement the pursuit of affordable housing in this community.
- The location leverages access to employment, transportation and other necessary resources for households establishing housing and family stability.
- The Rebuilders Campus and CCM's housing program demographics match those of the community within a 1 mile radius. Graduates of the program will have the potential to remain in the surrounding neighborhoods as stable families with access to affordable housing.
- The Brown Mill Commons retail/commercial integration will provide employment opportunities for residents in the neighboring communities and various amenities that will encourage further investment along the corridor.

Brown Mill Commons

BROWN MILL COMMONS will honor the legacy of the historic property in an environment hosting retail/commercial enterprises that will service the local corridor and provide employment opportunities to residents of the campus and the Brown Mill community. Also on the campus will be health and wellness services, vocational training, other partner resources and CCM's Service Headquarters.

Beginning with Mr. R.A. (Bus) Brown and the Brown Manufacturing Company, providing bricks for the growth of Concord Center City, through Plant #10 and the Cannon Legacy, Brown Mill Commons will honor the contribution of the historic mill property. The restored Retail, Commercial, Human Services campus will bring life and opportunity to a corridor brimming with potential for new and existing enterprises.

Brown Mill Commons will maintain the presence of a century old landmark in Concord and will create a bridge through time from downtown and the Historic Courthouse through the generations of progress represented by the Barber Scotia Campus, Martin Luther King Jr. Plaza, and Brown & Norcott Mills on the way to the emerging manufacturing epicenter of The Grounds at Concord.

The Rebuilders College

On the Rebuilders Campus

Individuals and families enrolled in The Rebuilders College will have satisfied a rigorous application process to qualify their need, establish their readiness for the hard work of a structured and disciplined program and demonstrate a desire to persevere for positive outcomes.

The Rebuilders College represents a multi-year commitment on the part of adult and youth participants to pursue a rigorous plan for personal growth and development. Participants engage with trained staff to develop their own Personal Development Plan (PDP). The PDP sets priorities on educational, vocational and workforce training to expand career choices and increase potential for financial stability. It also encompasses priorities in physical, emotional and spiritual health.

Family Stabilization Resources

Safe, Stable and Affordable Housing
Supportive Nutrition Services
Access to Primary Medical and Dental Care
Family Strengthening Curriculums
Faith Building Activities & Studies

Adult & Child Development Resources

Connection to Behavioral Health Services
After-school Tutoring Services
Access to GED and other remedial education
Participatory Development Plans (PDP)

Job & Career Resources

Access to Vocational Training & Education
Access to Job Search/Employment Resources
Workforce Readiness
Workforce Preparedness

Financial Education & Training

Budgeting, Planning, Debt & Credit
Access to Financial Tools and Products
Banking Systems and Services

Vital Resources & Services

Public Transportation
Housing Placement Services
Homeownership Training
Childcare and Adult Daycare
Apartment Readiness Certification

CCM's *Path to Stability* model is a three to four-year progression where by successful participants who complete the program will have achieved:

- ✓ debt elimination
- ✓ credit improvement
- ✓ financial budgeting and savings
- ✓ increased income and financial stability
- ✓ established child care supports
- ✓ household stability
- ✓ reliable transportation strategy
- ✓ academic achievement
- ✓ successful parenting practices
- ✓ healthy lifestyles

Graduates of *The Rebuilders College* and the *Path to Stability* model will be ready to maintain stable independent housing in a safe and appropriate environment. Their children and youth will have the

opportunity to pursue academic achievement, discover their purpose and experience the fulfillment God intends for their life.

The Rebuilders Campus

at Brown Mill Commons

CRISIS TO RESTORATION

Carlos J. Moore ARCHITECT, P.A.

Residential: Multi-Family

579 Old Speedway (CN-PSA-2023-00081)

579 Old Speedway Dr

DRC	Entitled	Units	PRS Routed	Technically Approved
7/22/21	Yes	11 units	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	No	No	No

Allocation Request

Total	2024
2,475	2,475

Project Scoring

Small Area Plan	Vertical Mixed Use	Redevelopment Site	Horizontal Mixed Use	Downtown (MSD)	Located Adjacent to Existing Sewer	Annex.	Total
0	0	1	0	0	1	0	2

Brief Summary

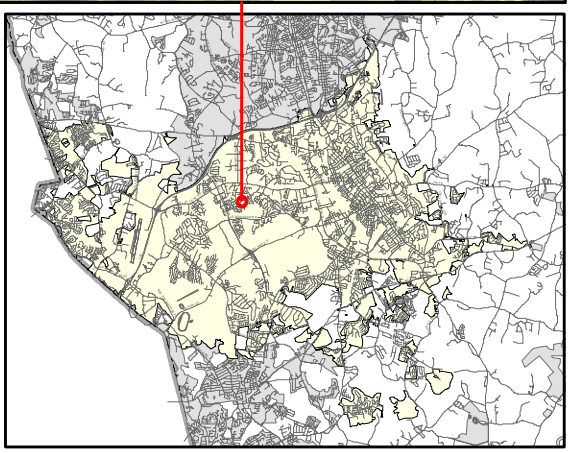
The applicant is requesting sewer allocation for 11 townhomes at 579 Old Speedway Drive. The site is appropriately zoned for the proposed use and is currently occupied by a single-family residence.

CN-PSA-2023-00081

Type: Residential
Multifamily
11 multifamily units

Allocation Request: 2,475
Project Score: 2

Developments
Parcels
Rivers
Concord
Cabarrus County



Concord
NORTH CAROLINA

PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	**Project Title:**	579 Old Speedway Townhomes						
2.)	**Description of project location:**	Eleven Townhomes on Old Speedway Dr (250 lf east of intersection of Old Speedway and Montgrove Pl, NW (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####)						
3.)	**Cabarrus County Parcel Identification Number:**	5600768975	3a.)	**Parcel Acreage:**	1.3 Acres			
4.)	**Site Zoning and use:**	RV	5.)	**Area Commercial or Industrial Building**	(sq. ft.)			
6a.)	**Description of Facility to be served.**	11 3-BR Townhomes	6b.) **Number of Lots**	1	6c.) **Number of Units**	11		
7d.)	**Additional description information:**	2 buildings containing 11 townhomes						

B. Applicant Information

Ramak Bakhshoudeh (Title)	44 Bonaire Dr
(Name of **legal owner, board, council**, and/or **authorized official with title**; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	(Applicant's Street or Box Number)
Equinox Properties, LLC	Dix Hills, NY 11746
(Name of Applicant's company, city, town, corporation, sanitary district, water company or other defined in property records and/or as listed in the NC Secretary of State Corporation filings, as applicable.)	(Applicant's City, State, Zip Code)
516 635 5630	
(Applicant's Phone Number)	(Applicant's Facsimile Number)
Ramak Bakhshoudeh (Name) woodhavenoff@hotmail.com (Email)	woodhavenoff@hotmail.com
(Name with Title and Email of contact person, who can answer questions about application)	(Applicant's Email Address)

Manager of Carpe Diem Asset Group, LLC, Managing Member by & for Equinox Properties, LLC

REQUIRED

Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

Paul Campbell	AWCK
(Typed name of North Carolina Professional Engineer)	(Company Name)
NCPE 018906	120 S. Main St
(NCPE Registration Number)	(Street or Box Number)
7049381515	Kannapolis, NC 28082
(Phone Number)	(City, State, Zip Code)
Paul Campbell	pcampbell@awck.com
(Name and affiliation of contact person, who can answer questions about **application & designs**)	(Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

☐	Residential Subdivision	☐	Retail (Stores, shopping centers)
☑	Apartments/Condominiums	☐	Institution
☐	Mobile Home Park	☐	Hospital, nursing home, dental
☐	School, preschool, daycare	☐	Church
☐	Restaurants (Food or drink facilities)	☐	Sports Centers
☐	Hotels or motels	☐	Business, offices, factories
☐	Other (specify):_____		

2.) The type of wastewater is (indicate percentage):

100	% Domestic
	% Commercial
	% Industrial
	% Other use (Specify) _____

3.) Pretreatment required:

(X) No
( ) Yes **(Specify or attach effluent documentation)**

4.) **Volume of wastewater flow to be allocated for this particular project:** ~~2640~~ 2475 DS RDF per day

*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T** .0114

(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**

a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{**Flow rates NOT listed in table 15A NCAC 2T .0114** must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)	No. of Units	Flow
3 BR Townhome	~~80~~ 75 gal/ BR	33	GPD ~~2640~~ 2475 DS RDF
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
		Total	GPD ~~2640~~ 2475 DS RDF

NORTH CAROLINA PROFESSIONAL ENGINEER SEAL
DocuSigned by: R. Dale Fink 569E36ABF6BE4E6...
DALE FINK
10/18/2023

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I Ramak Bakhshoudeh, **the undersigned, do hereby make application for preliminary wastewater**
(Printed Name)

allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.

Signature: Date: 01/21/2022

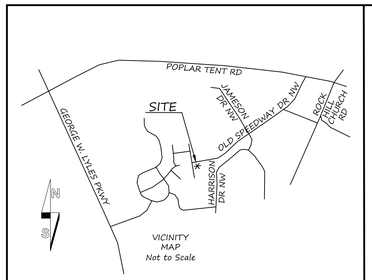
579 Old Speedway Townhomes narrative updated

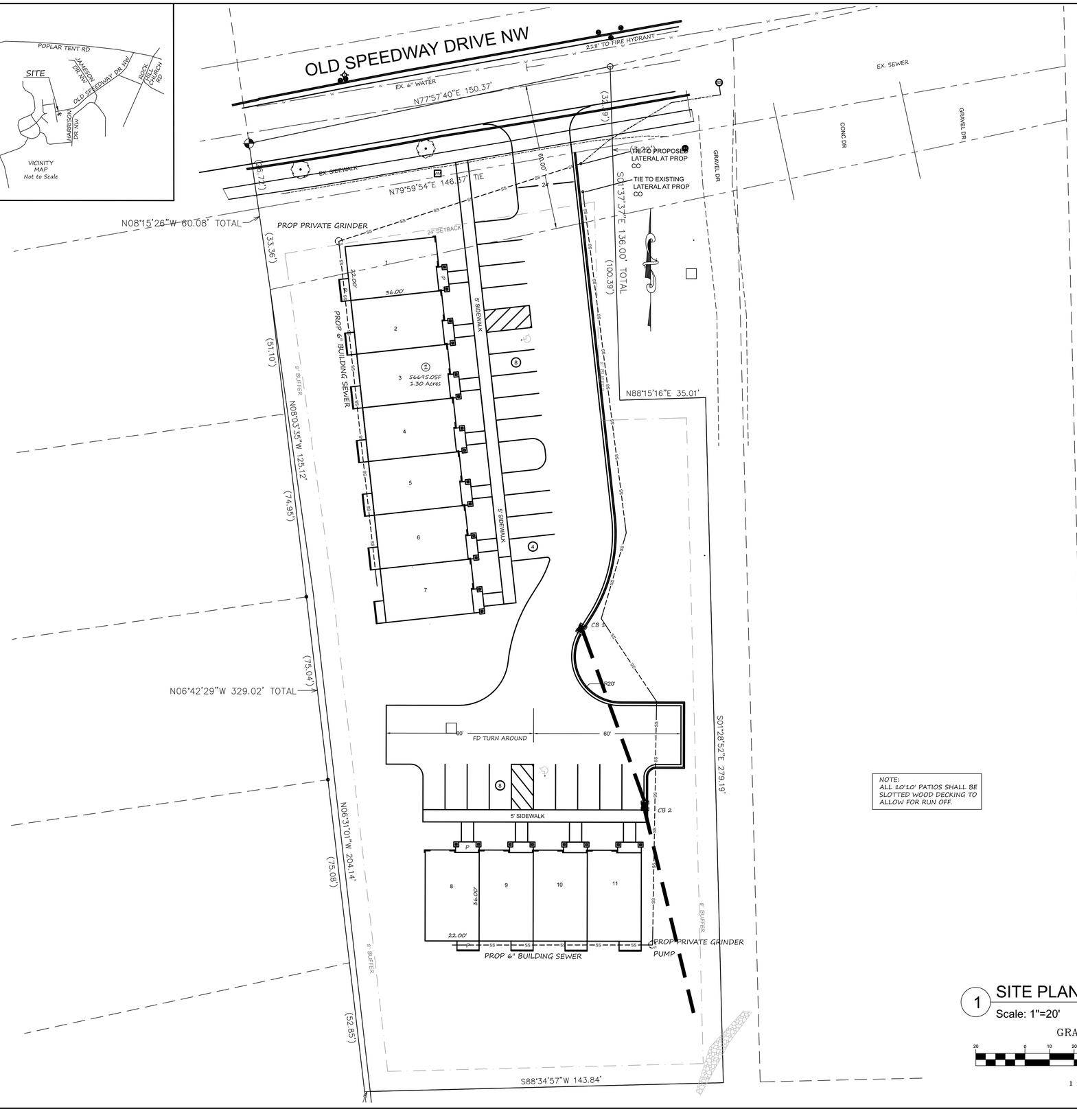
The owner would like for this site to be considered for available capacity starting in 2024.

This project consists of two buildings with 11 total three bedroom townhomes. It is planned on the 1.3 acre tract at 579 Old Speedway Drive (Cabarrus County Pin 5600-76-8975. The site is currently zoned RV and is owned by Equinox Properties, LLC. This development is an in-fill project. The buildings are designed and the site Engineering has been completed. They are both ready for submittal at any time.

The proposed site proposed 22 parking spaces, of which one is ADA compliant. The site is currently served with City of Concord water and sewer and the proposed development is planned to be served by City of Concord water and sewer coming from Old Speedway. The current site plan is proposing less than 20,000 SF new impervious and will follow all NCDOT, City of Concord and NCDENR rules and regulations.

Each townhome is two stories will be approximately 1600 sf. The townhomes estimated cost will be approximately $250,000-$275,000 and this project will increase the City tax base by between $2,750,000-$3,025,000.





NOTE:
ALL 10'10' PATIOS SHALL BE SLOTTED WOOD DECKING TO ALLOW FOR RUN OFF.

1 SITE PLAN
Scale: 1"=20'

GRAPHIC SCALE
20 0 10 20 40 80
(IN FEET)
1 inch = 20 ft.

CONCORD GENERAL NOTES

A. ALL WORK TO BE DONE IN ACCORDANCE WITH CITY OF CONCORD, WSACC, NCDOT, NCDE&NR STANDARD SPECIFICATIONS AND PROJECT SPECIFICATIONS. WHEN SPECIFICATIONS ARE IN CONFLICT THE STRICTER SHALL BE HELD.

B. EXISTING UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS ONLY. ANY DAMAGE DONE TO EXISTING UTILITIES, WHETHER SHOWN OR NOT ON THIS PLAN, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES, SHOWN OR NOT SHOWN ON THE PLAN, PRIOR TO BEGINNING CONSTRUCTION. TO ENSURE PROPER LOCATION OF UTILITIES, THE CONTRACTOR SHALL CONTACT NCOCC (NC ONE CALL CENTER) AT 1-800-632-4949 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.

C. DIMENSIONS AS SHOWN, ARE TO FACE OF CURB, FACE OF BUILDING, AND EDGE OF PAVEMENT UNLESS OTHERWISE NOTES.

D. THE ENGINEER HAS MADE NO EXAMINATION TO DETERMINE WHETHER ANY HAZARDOUS OR TOXIC MATERIALS ARE PRESENT OR CONTAINED IN, UNDER, OR ON THE SUBJECT PROPERTY OR ITS WATERS; OR IF ANY HAZARDOUS OR TOXIC MATERIALS HAVE CONTAMINATED THIS OR OTHER PROPERTIES OR ITS WATERS IN ANY WAY WHATSOEVER. NO SUBSURFACE EXAMINATION OF ANY TYPE HAS BEEN MADE BY THE ENGINEER AND ACCORDINGLY, NO OPINION EXPRESSED OR INFERRED ON ALL SUCH MATTERS. FURTHER, NO OPINION IS RENDERED AS TO ANY VIOLATION OF ANY ENVIRONMENTAL LAWS OR REGULATIONS, EITHER FEDERAL, STATE OR LOCAL, RELATED TO THE INFORMATION SHOWN ON THIS PLAN AND THE ENGINEER IS IN NO WAY LIABLE FOR ANY VIOLATION OF SUCH ENVIRONMENTAL LAWS SHOULD THEY EXIST.

SITE NOTES

OWNER: RSRD SERVICES, LLC
44 BONAIRE DR
DIX HILLS, NY 11746

PIN: 5600-76-8975
AREA: 1.30 ACRES 56695 SF
DB 13941 PG 183

ZONING: RV

IMPERVIOUS SURFACE (0.5 ALLOWED)
EXISTING = 4300 SF (TO BE REMOVED)
PROPOSED BUILDING = 8851.6 SF
SIDEWALK/PATIO = 2677.4 SF
PAVEMENT = 12638.8 SF.
TOTAL = 24167.8 SF

DIMENSIONAL STANDARDS
MIN LOT SIZE - N/A
IMPERVIOUS RATIO - 0.5
MIN STREET FRONTAGE - 15'
MIN LOT WIDTH - 50'
MIN LOT DEPTH - 100'
MAX BUILDING HT - 35'

BUILDING SETBACKS
FRONT - 24'
SIDE - 7'
REAR - 5'

PERIMETER BUFFER YARDS
CLASS A - 8'

BUILDING YARDS
CATEGORY 1 - 6'

STREET YARDS
CLASS 1 - 8'

PARKING LOT YARD
10% NET AREA OF LANDSCAPING ON THE INTERIOR OR EXTERIOR OF PARKING LOTS.

PARKING SPACES:
REQUIRED: DUPLEXES = 2/UNIT = 22 SPACES
PROVIDED - 22 SPACES TOTAL
W/2 VAN ACCESSIBLE SPACE

811 Know what's below. Call before you dig.

alley, williams, carmen & king, inc.
CONSULTING ENGINEERS, SURVEYING & INSPECTION
Firm License No. F-0203
120 S. MAIN STREET
PO BOX 1248
KANNAPOLIS, NC 28081
704.938.1515
www.awck.com

PRELIMINARY REVIEW SET ONLY

This drawing is the property of Alley, Williams, Carmen & King, Inc. It is not to be reproduced, copied, or used on any other project without written permission.

Prepared for:

579 Old Speedway Drive NW
Concord, NC

SITE AND UTILITY PLAN

#	DATE	REVISION	BY

SCALE: 1" = 20'
DATE: 10-27-21
JOB # 21526
C - 1.0

Multi-Family

River Rock Easy Living at Davidson Hwy and Winecoff Sch Rd (CN-PSA-2023-00086)

2821 Davidson Hwy.

DRC	Entitled	Units	PRS Routed	Technically Approved
1/14/21	Yes	99	No	No

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	Yes	Yes	Yes	Yes

Allocation Request

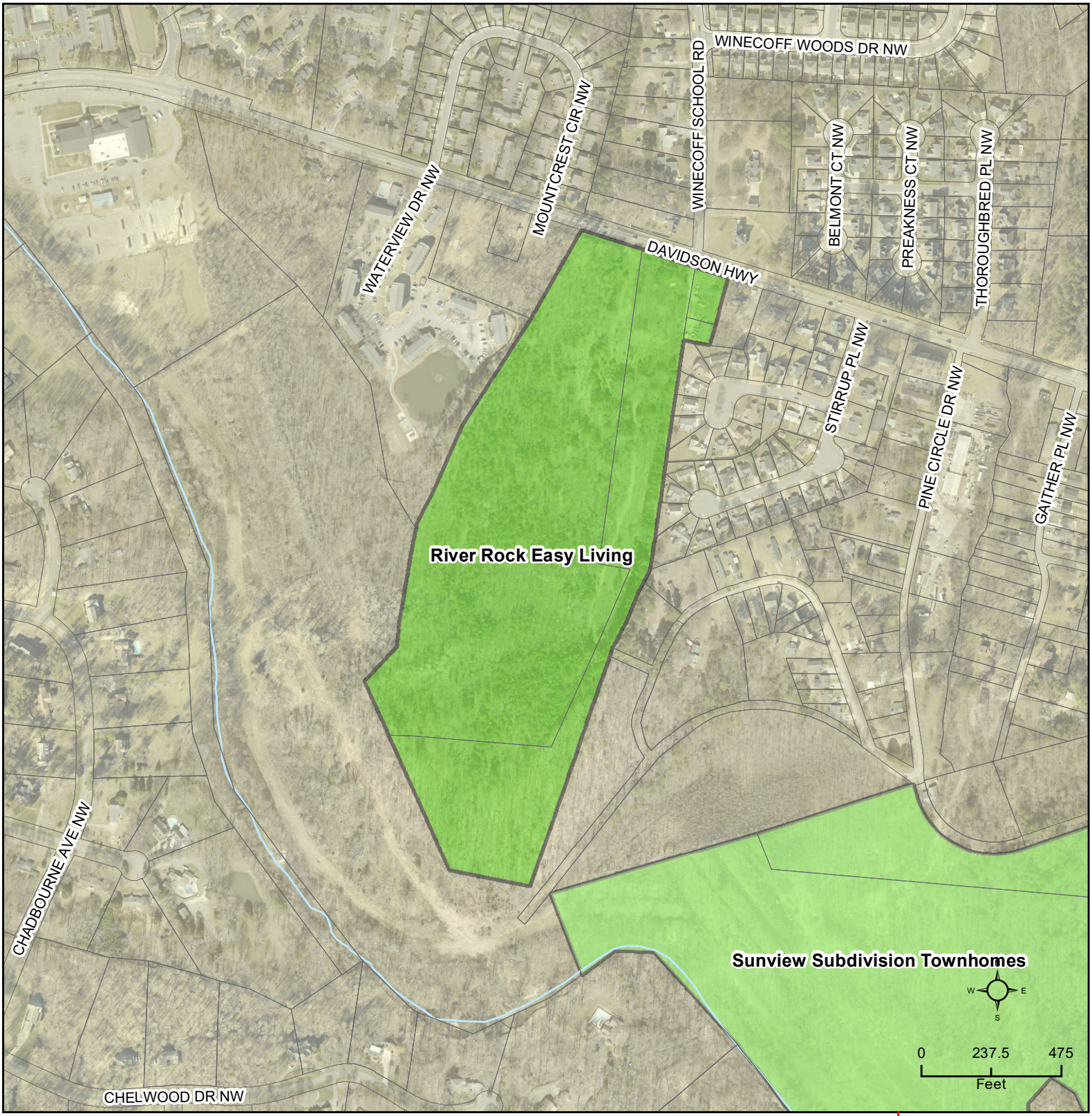
Total	2024	2025
15,850	8,350	7,500

Project Scoring

Small Area Plan	Vertical Mixed Use	Redevelopment Site	Horizontal Mixed Use	Downtown (MSD)	Located Adjacent to Existing Sewer	Annex.	Total
0	0	1	0	0	1	0	2

Brief Summary

The applicant is requesting sewer allocation for 99 townhomes at 2821 Davidson Hwy. A rezoning request was approved by the Planning and Zoning Commission on January 18, 2022, and the Special Use Permit was considered and approved on February 15, 2022. The rezoning petition did not indicate that the lots would be subdivided, therefore making this fall under the multifamily allocation. The special use permit would not have been necessary for single family attached but was necessary for multi-family. The application indicates single family residential subdivision. The applicant is planning to construct ranch style units and provide a natural walking path throughout the open space area.

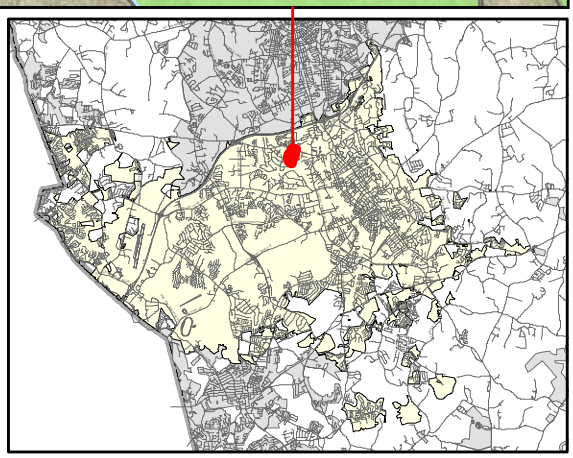


CN-PSA-2023-00086

Type: Residential
Multifamily
99 multifamily units

Allocation Request: 15,850
Project Score: 2

Developments
Parcels
Rivers
Concord
Cabarrus County



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	**Project Title:**	River Rock Easy Living, 55 & Over, Active Adult Community					
2.)	**Description of project location:**	Site located on the south side of Davidson Highway at the intersection of Winecoff School Road (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####))					
3.)	**Cabarrus County Parcel Identification Number:**	5611554639, 5611557793, 5611660107, 5611569073	3a.)	**Parcel Acreage:**	+/- 31.74		
4.)	**Site Zoning and use:**	RV-CD & residential	5.)	**Area Commercial or Industrial Building (sq. ft.)**	210,960		
6a.)	**Description of Facility to be served.**	99 single story, attached ranch homes	**6b.) Number of Lots**	4	**6c.) Number of Units**	99	
7d.)	**Additional description information:**	Unique housing types to accommodate 55 & over/senior residents to remain in the City of Concord.					

B. Applicant Information

, (Title) (**Name** of **legal owner**, **board**, **council**, and/or **authorized official with title**; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	517 Alcove Road, 302 (Applicant's Street or Box Number)
River Rock Development (**Name of Applicant's company, city, town, corporation, sanitary district, water company or other** defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	Mooresville, NC 28117 (Applicant's City, State, Zip Code)
980-223-6026 (Applicant's Phone Number)	 (Applicant's Facsimile Number)
Dan Hughes (Name) dhughes@riverrcap.com (Email) (Name with Title and Email of contact person, who can answer questions about application)	dhughes@riverrcap.com (Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

Marc R Van Dine (Typed name of North Carolina Professional Engineer)	McAdams Engineering (Company Name)
036289 (NCPE Registration Number)	2100 South Tryon Street, Suite 400 (Street or Box Number)
704-287-6756 (Phone Number)	Charlotte NC 28203 (City, State, Zip Code)
Marc Van Dine (Name and affiliation of contact person, who can answer questions about **application & designs**)	vandine@mcadamsco.com (Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

✓	Residential Subdivision		Retail (Stores, shopping centers)
	Apartments/Condominiums		Institution
	Mobile Home Park		Hospital, nursing home, dental
	School, preschool, daycare		Church
	Restaurants (Food or drink facilities)		Sports Centers
	Hotels or motels		Business, offices, factories
	Other (specify):____		

2.) The type of wastewater is (indicate percentage):

100	% Domestic
	% Commercial
	% Industrial
	% Other use (Specify) ____

3.) Pretreatment required:
(8) No
(8) Yes **(Specify or attach effluent documentation)**
____

4.) **Volume of wastewater flow to be allocated for this particular project**: 14,850 gallons per day
*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**
(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**

a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)	No. of Units	Flow
2 Bedroom Dwelling	150 gal/ dwelling	99	GPD 14,850
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
		Total	GPD 14,850

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I Dan Hughes (Printed Name), **the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.**

Signature: _____ Date: 10/10/2023

RIVER ROCK™ Development

55 & Over, Active Adult, Age Restricted, Senior, Easy Living Community

(Intersection of Davidson Highway & Winecoff School Road)

Below are several key points as to why this project should be granted sewer allocation at the December 19th 2023, City Council hearing:

* The site is located adjacent to an existing sewer.
* The site is a redevelopment site.
* The residences are universal & diverse
* 15% of the homes will be dedicated to Veterans.
* All units will be built to current accessible standards.
  - No stairs into & within each home (“Zero Steps”)
  - Installation of grab bar blocking within all bathrooms
  - Circulation throughout the homes will be wide enough to accommodate wheelchairs & walkers.
* Satisfies needs of an underserved population including those with disabilities.
* Allows transition for aging adults, grandparents.
* Contribution of 38 acres which equates to a total donation of $1,344,706 to the City to be added to the future Irish Buffalo Greenway.

RIVER ROCK™ Development

Narrative for Sewer Allocation Application
55 & Over Active Adult, Senior, Easy Living Community
(At the Intersection of Davidson Highway & Winecoff School Road)

Below are several key points as to why this project along the south side of Davidson Highway at its intersection with Winecoff School Road should be considered & granted sewer allocation in 2023.

* Unique, low density housing type targeted to active adults who are 55 & over which is currently not available in the general area.

* The proposed land use of this project is consistent with the City's adopted land use policies considering growth (2030 Land Use Plan) & development. It is also compatible with nearby developments.

* This project is located adjacent to an existing sewer line.

* This project promotes the public health by providing walkways along all streets and via the 5-foot-wide natural walking path throughout the +/- 3.88-acre active open space area.

* This project well exceeds the minimum City standards specific to open space (48% provided) & tree preservation (28% provided).

* The project will consist of 33 buildings. Each building will have 3 units within it. All buildings will be a single story, ranch style unit. The development can be completed in 2 phases.

* This project will Increase tax base within the City of Concord and will not negatively impact local schools.

* The Traffic Impact Analysis for this project has been approved by the City and NCDOT with all mitigation measures to be constructed both on and offsite.

* The conditional rezoning (Residential Village Conditional District) was approved by the Planning & Zoning Commission at their January 18, 2022, hearing. The Special Use Permit application was also approved by the Planning & Zoning Commission on February 15, 2022.

517 Alcove Road, Suite 302, Mooresville, North Carolina 28117
980-223-4004

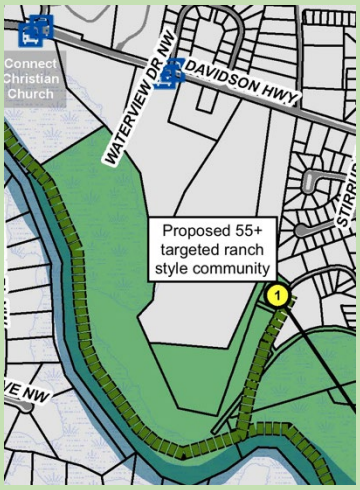
RIVER ROCK™ Development

Narrative for Sewer Allocation Application
55 & Over Active Adult, Senior, Easy Living Community
(At the Intersection of Davidson Highway & Winecoff School Road)

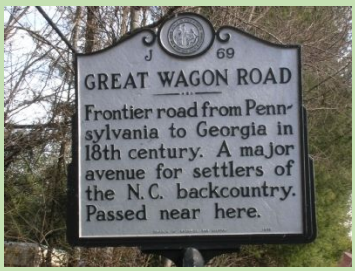
* River Rock Development is purchasing the +/- 38 acres (south & west of the project) which will be contributed to the City for a significant segment of the future Irish Buffalo Greenway. This contribution on a per acre price equates to +/- $35,387 or a total of $1,344,706. While a large expense, River Rock Development recognizes its commitment to the City of Concord and supports the quality of life of its citizens.

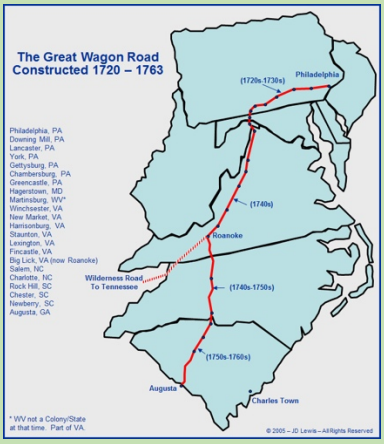
* Zero-step entries & accessible doorways & hardware to allow ADA accessibility within each unit. Minimal sloping driveways will also contribute to accessibility.

* The project will include signage and monument features to incorporate the history of The Great Wagon Road which was critical to the development of North Carolina in the 1700s.

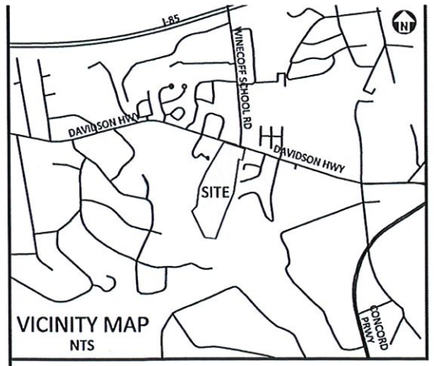


* The underlying land has been in a local Concord resident's family for over 200 years.





517 Alcove Road, Suite 302, Mooresville, North Carolina 28117
980-223-4004



VICINITY MAP
NTS

SITE DATA

DEVELOPER/APPLICANT
RIVER ROCK CAPITAL PARTNERS
517 ALCOVE ROAD, SUITE 302
MOORESVILLE, NC 28117

PID:	5611554639, 5611557793, 5611660107, 5611569073
EXISTING ZONING:	RM-2 & RC
PROPOSED ZONING:	RV (CD)
MINIMUM PERIMETER SETBACKS	
ALONG DAVIDSON HWY:	25' TYPE D BUFFER
SIDE:	-8' TYPE A BUFFER WITH 20' BUILDING SETBACK -15' TYPE B BUFFER (LOCATION PROVIDED ON PLAN) WITH 20' BUILDING SETBACK
REAR:	8' TYPE A BUFFER WITH 20' BUILDING SETBACK
	DEVELOPMENT AREA
AREA:	±31.74 AC
LOT COUNT:	99 UNITS
LOT DENSITY:	3.12 UNITS/AC
OPEN SPACE PROVIDED:	± 13.51 AC
STORMWATER DETENTION PROVIDED:	± 1.28 AC

LINEAR FEET OF ROADS:
STREET 'A' - 303
STREET 'B' - 1,347
STREET 'C' - 580
STREET 'D' - 417

TOTAL DEVELOPMENT

REQUIRED OPEN SPACE:	15% OF GROSS SITE OR 4.76 AC (31.74 AC x 15%)
PROVIDED ACTIVE OPEN SPACE:	± 5.03 AC
TOTAL PROVIDED OPEN SPACE:	± 13.47 AC
PROVIDED TREE SAVE:	28.11% OF GROSS SITE OR ± 8.92 AC
REQUIRED STREET TREES:	1 SHADE TREE EACH SIDE OF ROAD PER 50'
PROVIDED STREET TREES:	3,197 FEET OF STREETS = 128 REQUIRED TREES (LOCATION OF STREET TREES TBD)
REQUIRED STREET CONNECTIVITY RATIO:	1.4
PROVIDED STREET CONNECTIVITY RATIO:	1.5 (9 LINKS / 6 NODES)
TOTAL ACREAGE OF RIGHT-OF-WAY:	± 3.97 AC
TOTAL ACREAGE OF SUBLOTS:	± 4.64 AC
IMPERVIOUS AREA	
STRUCTURES =	210,960 SF
STREETS =	99,155 SF
SIDEWALKS =	37,730 SF
DRIVEWAYS =	50,284 SF
TOTAL IMPERVIOUS =	398,129 SF
MAXIMUM IMPERVIOUS PER ZONING:	50% OF GROSS SITE OR ± 15.87 AC
PROVIDED IMPERVIOUS (ACREAGE):	28.80% OR ± 9.14 AC

MINIMUM SETBACKS	
FRONT BUILDING SETBACK:	20 FEET
FRONT GARAGE SETBACK:	24 FEET
REAR SETBACK:	10 FEET
CORNER SETBACK:	20 FEET
PARKING COUNT	
REQUIRED (1.5 PER DWELLING):	149 SPACES
33 DWELLINGS WITH 1 CAR GARAGES:	66 SPACES (INCLUDES 1 GARAGE SPACE & 1 DRIVEWAY SPACE)
66 DWELLINGS WITH 2 CAR GARAGES:	264 SPACES (INCLUDES 2 GARAGE SPACES & 2 DRIVEWAY SPACES)
ON STREET PARKING:	24 SPACES
TOTAL PARKING PROVIDED:	354 SPACES
BICYCLE PARKING PROVIDED: (1 PER EVERY 5 UNITS)	20 SPACES

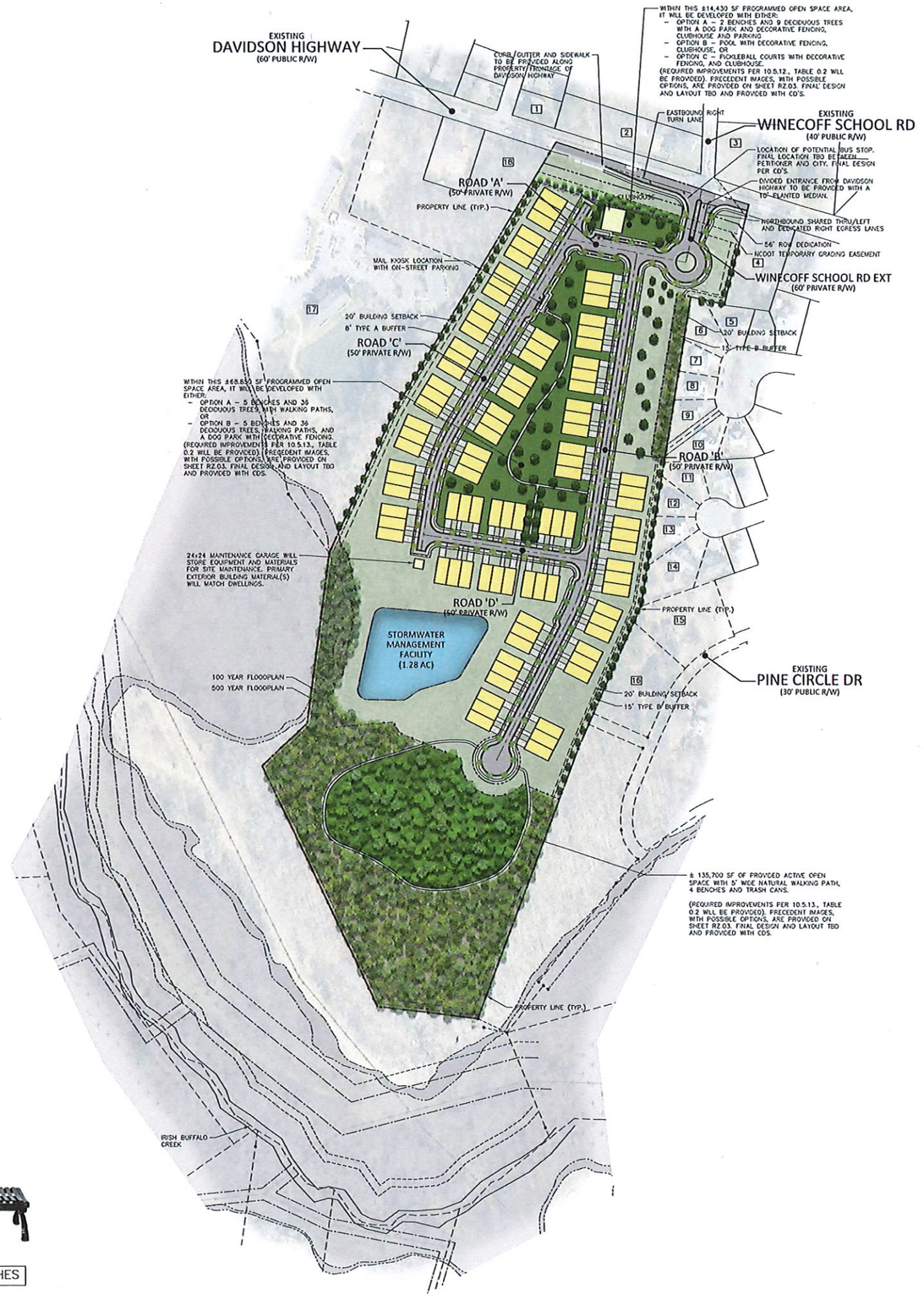
ADJACENT PROPERTY OWNERS

	PARCEL	DEED	OWNER	ZONING
1	5611565429	681-0136	PAGE REALTY INC	RC
2	5611567463	2821-0032	THOMAS H & VICTORIA H JOHNSON	RC
3	5611661356	--	DONALD B & CAROLYN C BRAFFORD	RC
4	5611661009	9072-0127	RESEARCH CITY LLC	RC
5	5611650947	12377-145	CCA RESIDENTIAL #2 LLC	RC
6	5611559964	8169-0218	WILLIAM A & JACQUELINE ZEARLEY	RC
7	5611559856	12165-136	MOME SFR BORROWER LLC	RC
8	5611559841	5445-0152	ADRIANA KIPP	RC
9	5611559723	14309-073	KAY TEMBO & ALDREA SPEIGHT	RC
10	5611559667	13761-228	YAMASA CO LTD	RC
11	5611559536	13518-137	LINDA ISSER	RC
12	5611558591	1166-0280	PATRICK ROSS & JULIE TOWELL TENNIS	RC
13	5611558494	2612-0060	ALAN M FEENEY	RC
14	5611558396	2972-0323	EDMOND & CYNTHIA DUBE	RC
15	5611559253	14009-172	CAROLYN T & JIMMY R SWANSON	RC
16	5611557071	13394-339	GREGORIO SOTO HERNANDEZ	RC
17	5611468269	14547-203	WATERS EDGE OWNER LLC	RC
18	5611563241	11295-033	WAFRICO HOLDINGS LLC & PHILIP S CONRAD	AM-2

NOTE: PROPERTY INFORMATION BASED ON CABARRUS COUNTY GIS

POTENTIAL TRASH CANS

POTENTIAL PARK BENCHES



POTENTIAL AMENITIES

PICKLEBALL COURT

DOG PARK

INTERNAL WALKING PATH

NATURAL WALKING PATH

CLUBHOUSE

POOL AMENITY

N

GRAPHIC SCALE
0 75 150 300
1 Inch = 150 ft.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

McADAMS
The John R. McAdams Company, Inc.
2905 Meridian Parkway
Durham, NC 27713

phone 919. 361. 5000
fax 919. 361. 2269
license number: C-0293, C-187

www.mcadamsco.com

CLIENT

AUSTIN HUGHES
RIVER ROCK CAPITAL PARTNERS
517 ALCOVE ROAD, SUITE 302
MOORESVILLE, NORTH CAROLINA 28117

DAVIDSON HIGHWAY SINGLE-FAMILY ATTACHED RANCH HOMES

REZONING/ SUP PLAN
2821 DAVIDSON HWY
CONCORD, NORTH CAROLINA, 28027

REVISIONS

NO.	DATE	
1	07. 08. 2021	PER CITY COMMENTS
2	10. 13. 2021	PER CITY COMMENTS
3	11. 15. 2021	PER CITY COMMENTS
4	01. 05. 2022	PER CITY COMMENTS
5	01. 31. 2022	PER CITY COMMENTS

PLAN INFORMATION

PROJECT NO.	2021210332
FILENAME	2021210332-RZ1
CHECKED BY	EM
DRAWN BY	JDS
SCALE	1"=150'
DATE	06. 08. 2021

SHEET

OPEN SPACE EXHIBIT

RZ.03

M:\Projects\NOC\2021210332\04-Production\Engineering\2021210332-RZ1.dwg, 2/10/2022 10:25:43 AM, Drew Singleton

Residential: Multi-Family

Old Holland Road- Apartments (CN-PSA-2023-00089)

7995 Old Holland Rd.

DRC	Entitled	Units	PRS Routed	Technically Approved
7/22/2021	Yes	18	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	No	No	No

Allocation Request

Total	2024
3,000	3,000

Project Scoring

Small Area Plan	Vertical Mixed Use	Redevelopment Site	Horizontal Mixed Use	Downtown (MSD)	Located Adjacent to Existing Sewer	Annex.	Total
0	0	1	0	0	1	0	2

Brief Summary

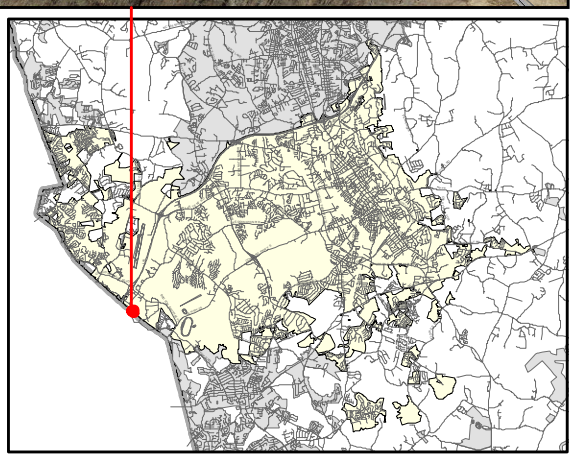
The applicant is proposing most of their project in Mecklenburg. The only piece of their project in Concord is 18 units. The project is mostly served by Charlotte Water. The area was annexed into Concord on March 10, 2022 and zoned on July 19, 2022.

CN-PSA-2023-00089

Type: Residential
Multifamily
18 multifamily units

Allocation Request: 3,000
Project Score: 2

Developments
Parcels
Rivers
Concord
Cabarrus County



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	**Project Title:**	Old Holland Road					
2.)	**Description of project location:**	Site located at 7995 Old Holland Road approximately 1,500 LF South of the intersection of Old Holland Road (SR-1520) and Weddington Road (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####)					
3.)	**Cabarrus County Parcel Identification Number:**	4588-99-5811, 4588-99-2789, 4588-99-4654	3a.)	**Parcel Acreage:**	2.55		
4.)	**Site Zoning and use:**	RC-CD	5.)	**Area Commercial or Industrial Building (sq. ft.)**			
6a.)	**Description of Facility to be served.**	SF Attached (Casitas)	6b.)	**Number of Lots**		6c.) **Number of Units**	18
7d.)	**Additional description information:**	Project adjacent to proposed 248 unit community currently being permitted in Mecklenburg County. 29,450 GPD CAP approval issued by CLWT, final approval pending.					

B. Applicant Information

Elam Hall, Managing Director (Title) (Name of **legal owner, board, council,** and/or **authorized official with title;** as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	2000 Aerial Center Parkway (Applicant's Street or Box Number)
DHIC, LLC (**Name of Applicant's company, city, town, corporation, sanitary district, water company or other** defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	Morrisville, NC 27560 (Applicant's City, State, Zip Code)
(610) 972-0148 (Applicant's Phone Number)	 (Applicant's Facsimile Number)
Andrew Basile (Name) ABasile@drhorton.com (Email) (Name with Title and Email of contact person, who can answer questions about application)	REHall@drhorton.com (Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

Joseph Boulos, PE (Typed name of North Carolina Professional Engineer)	Design Resource Group (Company Name)
047286 (NCPE Registration Number)	1111 Hawthorne Lane (Street or Box Number)
704.343.0608 (Phone Number)	Charlotte, NC, 28205 (City, State, Zip Code)
Joseph Boulos (Name and affiliation of contact person, who can answer questions about **application & designs**)	joe@drgrp.com (Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

☐	Residential Subdivision	☐	Retail (Stores, shopping centers)
☑	Apartments/Condominiums	☐	Institution
☐	Mobile Home Park	☐	Hospital, nursing home, dental
☐	School, preschool, daycare	☐	Church
☐	Restaurants (Food or drink facilities)	☐	Sports Centers
☐	Hotels or motels	☐	Business, offices, factories
☐	Other (specify):____		

2.) The type of wastewater is (indicate percentage):

100	**% Domestic**
	% Commercial
	% Industrial
	% Other use (Specify) ____

3.) Pretreatment required:

◉ No

○ Yes **(Specify or attach effluent documentation)**

4.) **Volume of wastewater flow to be allocated for this particular project**: 3,000 gallons per day

*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**

(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**

a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)		No. of Units	Flow	
	gal/			GPD	
Residential: SF Attached (1 & 2 BR)	150 gal/	day	14	GPD	2,100
Residential: SF Attached (3 BR)	225 gal/	day	4	GPD	900
	gal/			GPD	
	gal/			GPD	
	gal/			GPD	
			Total	GPD	3,000

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I Elam Hall, **the undersigned, do hereby make application for preliminary wastewater**

(Printed Name)

allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.

DHIC, LLC,
a Delaware limited liability company
By: DHI Communities, Inc., a Delaware corporation, its sole member

Elam Hall — Signature:

10/13/2023 — Date:

DHI COMMUNITIES
a D.R. Horton Company

Members of City Council
City of Concord
October 16, 2023

Dear Members of City Council:

The DHI Communities Carolinas Region requests consideration for the allocation of sewer to service the Concord portion of the proposed project along Old Holland Road (Zoning Case #: Z(CD)-01-22).

The proposed project is situated across +/- 43.85 acres and in total represents 198 garden apartments and 50 duplex-style apartments. The Cabarrus-Mecklenburg County line divides the project resulting in 198 apartment units and 32 duplex units located in Mecklenburg County with 18 duplex units located in Cabarrus County across +/- 2.55 acres. The 18 units located on the Concord side were annexed into Concord on March 10th, 2022 and subsequently were granted zoning approvals on July 19th, 2022.

As the above mentions, the majority of units will fall under the jurisdiction of Charlotte Water, and it is expected that this allocation will be formally approved in Q4 of 2023.

Overall, the project seeks to provide a variety of rental product in an ever-expanding commercial corridor in Concord that boasts well over 1,000,000 SF of retail shopping and 200+ specialty stores and restaurants. In addition, the project will provide quality amenities for residents, along with an abundance of open space.

Thank you for time and consideration of this matter.

Sincerely,

Elam Hall

DHI Communities, Carolinas Region

SITE DATA

PIN:	45889958110000, 45889927890000, 45889946540000
EXISTING ZONING:	LI
PROPOSED ZONING:	RC-CD
SITE AREA:	
GROSS AREA:	2.55 ACRES
NET AREA:	2.24 ACRES
MAX DENSITY:	20.4 UNITS (8 DUA)
UNITS PROPOSED:	18 UNITS (7.06 DUA)

CITY OF CONCORD PRELIMINARY WASTEWATER FLOW:

14 SF ATTACHED (1-2 BR): 150 GAL/DAY
4 SF ATTACHED (3 BR): 225 GAL/DAY
TOTAL ALLOCATION REQUESTED: 3,000 GAL/DAY

THE ADDISON EIGHTY 50 APARTMENTS

PERIDOT CIRCLE (PRIVATE)

AMETHYST LANE (PRIVATE)

LAPIS LANE (PRIVATE)

OLD HOLLAND ROAD

CABARRUS

MECKLENBURG

CLUB

20 0 20 40

SCALE: 1" = 40'

MECKLENBURG COUNTY
OLD HOLLAND ROAD APARTMENTS (248 UNITS)
CITY OF CHARLOTTE REZONING PETITION: 2021-216
CHARLOTTE WATER CAP APPROVAL: 29,450 GPD

DHI COMMUNITIES
a D.R. Horton Company

OLD HOLLAND ROAD

CONCORD, NORTH CAROLINA

DESIGN RESOURCE GROUP

Residential: Multi-Family

Parkway Junction (CN-PSA-2023-00091)

169 George W. Liles Pkwy. NW

DRC	Entitled	Units	PRS Routed	Technically Approved
01/12/2023	Yes	108	No	No

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	Yes	No	Yes

Allocation Request

Total	2024	2025	2026
22,150	9,450	7,500	5,200

Project Scoring

Small Area Plan	Vertical Mixed Use	Redevelopment Site	Horizontal Mixed Use	Downtown (MSD)	Located Adjacent to Existing Sewer	Annex.	Total
2	0	0	0	0	1	0	3

Brief Summary

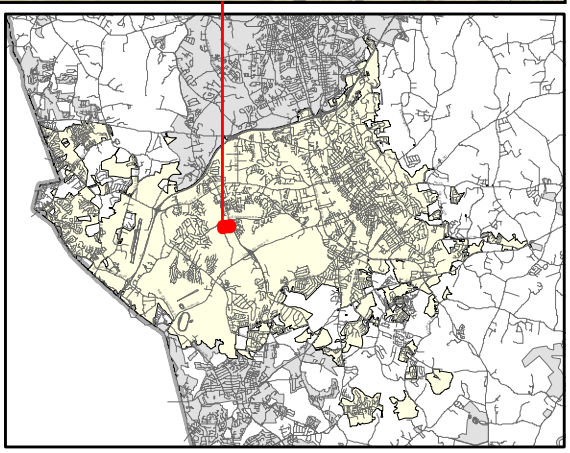
The applicant is requesting 108 units off of George W. Liles Parkway NW near the Publix Shopping Center. This parcel is zoned RV (residential village) and they are showing 8 dwelling units per acre. This project falls inside of the George W. Liles Small Area Plan. The applicants were awarded 24,800 gpd for a total of 108 single family detached homes. They are now back requesting to get allocation for a redesign of the project to multi-family due to the units being on one parcel or tract of land and not individually subdivided.

CN-PSA-2023-00091

Type: Residential
Multifamily
108 multifamily units

Allocation Request: 22,150
Project Score: 3

Developments
Parcels
Rivers
Concord
Cabarrus County



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	Project Title:	Parkway Junction					
2.)	Description of project location:	800' south of the Weddington Rd. (1431) / George W. liles Pkwy (1430) intersection (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####))					
3.)	Cabarrus County Parcel Identification Number:	5600-52-2778	3a.)	Parcel Acreage:	13.5851 ac.		
4.)	Site Zoning and use:	RV	5.)	Area Commercial or Industrial Building (sq. ft.)	n/a		
6a.)	Description of Facility to be served.	108 Residential Dwellings	6b.) Number of Lots	1	6c.) Number of Units	108	
7d.)	Additional description information:	Blackburn Communities intends on developing 108 single family style and town home style Multifamily community with a pool and clubhouse					

B. Applicant Information

E.D.G.E. LLC , (signing party Glen Tucker) (Title) (**Name** of **legal owner**, **board**, **council**, and/or **authorized official with title**; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	825 Sisk Avenue, Suite 200 (Applicant's Street or Box Number)
Blackburn Communities, LLC (**Name of Applicant's company, city, town, corporation, sanitary district, water company or other** defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	Oxford, MS 38655 (Applicant's City, State, Zip Code)
828.333.8985 (Applicant's Phone Number)	n/a (Applicant's Facsimile Number)
Greg Angelo (Name) gangelo@blackburngroup.net (Email) (Name with Title and Email of contact person, who can answer questions about application)	gangelo@blackburngroup.net (Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

Matthew Mobley (Typed name of North Carolina Professional Engineer)	Design Resource Group (Company Name)
034267 (NCPE Registration Number)	1111 Hawthorne Lane (Street or Box Number)
704.343.0608 (Phone Number)	Charlotte, NC 28205 (City, State, Zip Code)
Matthew Mobley (Name and affiliation of contact person, who can answer questions about **application & designs**)	matthew@drgrp.com (Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

☐	Residential Subdivision	☐	Retail (Stores, shopping centers)
☑	Apartments/Condominiums	☐	Institution
☐	Mobile Home Park	☐	Hospital, nursing home, dental
☐	School, preschool, daycare	☐	Church
☐	Restaurants (Food or drink facilities)	☐	Sports Centers
☐	Hotels or motels	☐	Business, offices, factories
☐	Other (specify):____		

2.) The type of wastewater is (indicate percentage):

100%	**% Domestic**
	% Commercial
	% Industrial
	% Other use (Specify) _____

3.) Pretreatment required:
- ◉ No
- ○ Yes **(Specify or attach effluent documentation)**

4.) **Volume of wastewater flow to be allocated for this particular project**: 23,360 gallons per day
*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**
(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**
- a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).
- b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)			No. of Units	Flow	
2 bedroom dwellings	160	gal/		82	GPD	13,120
3 bedroom dwellings	240	gal/		26	GPD	6,240
clubhouse	50	gal/	100 sf	5,000	GPD	2,500
Pool	10	gal/	person	150 people	GPD	1,500
		gal/			GPD	
		gal/			GPD	
				Total	GPD	23,360

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I _ Greg Angelo _____, **the undersigned, do hereby make application for preliminary wastewater**
(Printed Name)

allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.

Greg Angelo — Signature:

10/16/23 — Date:

Members of City Council
City of Concord
October 16, 2023

Dear Members of City Council,

The proposed Parkway Junction community was previously awarded sewer allocation for 108 single family detached homes. Subsequently we identified a more expansive wetland area on the property. As a result, and in conjunction with detached lot size requirements, we have modified the community plan to include detached single-family homes as well as a townhome style of housing. We previously requested 24,800 gpd for our site, and with the changes we have made, are now requesting a reduced allocation of 23,360 gpd.

The site is 13.6 acres in size and located on George W. Liles Parkway, adjacent to and south of the Publix retail center, within "Area A" of the George W. Liles Parkway Small Area Plan. The Property is just over 2 miles from The Grounds at Concord, providing a short commute to employment, as it continues to grow in the area.

The Property is zoned Residential Village (RV). Parkway Junction will comprise of a combination of 108 single-family detached and attached townhomes, at a density of 8 homes per acre, consistent with its RV zoning. The site plan has been designed to preserve the existing pond and approximately 2.0 acres of wetlands, provide additional open space and walking paths, and include onsite amenity areas, a pool and clubhouse.

Parkway Junction will provide connectivity and walkability with the adjacent Publix center, retail shops and restaurants to promote a mixed-use community and support the vision of George W. Lyles Parkway Small Area Plan. Our community will also connect to the existing Greenway and future multi-use paths for both bicycle and pedestrian use.

Thank you for your time, and we appreciate your consideration of this community for sewer allocations.

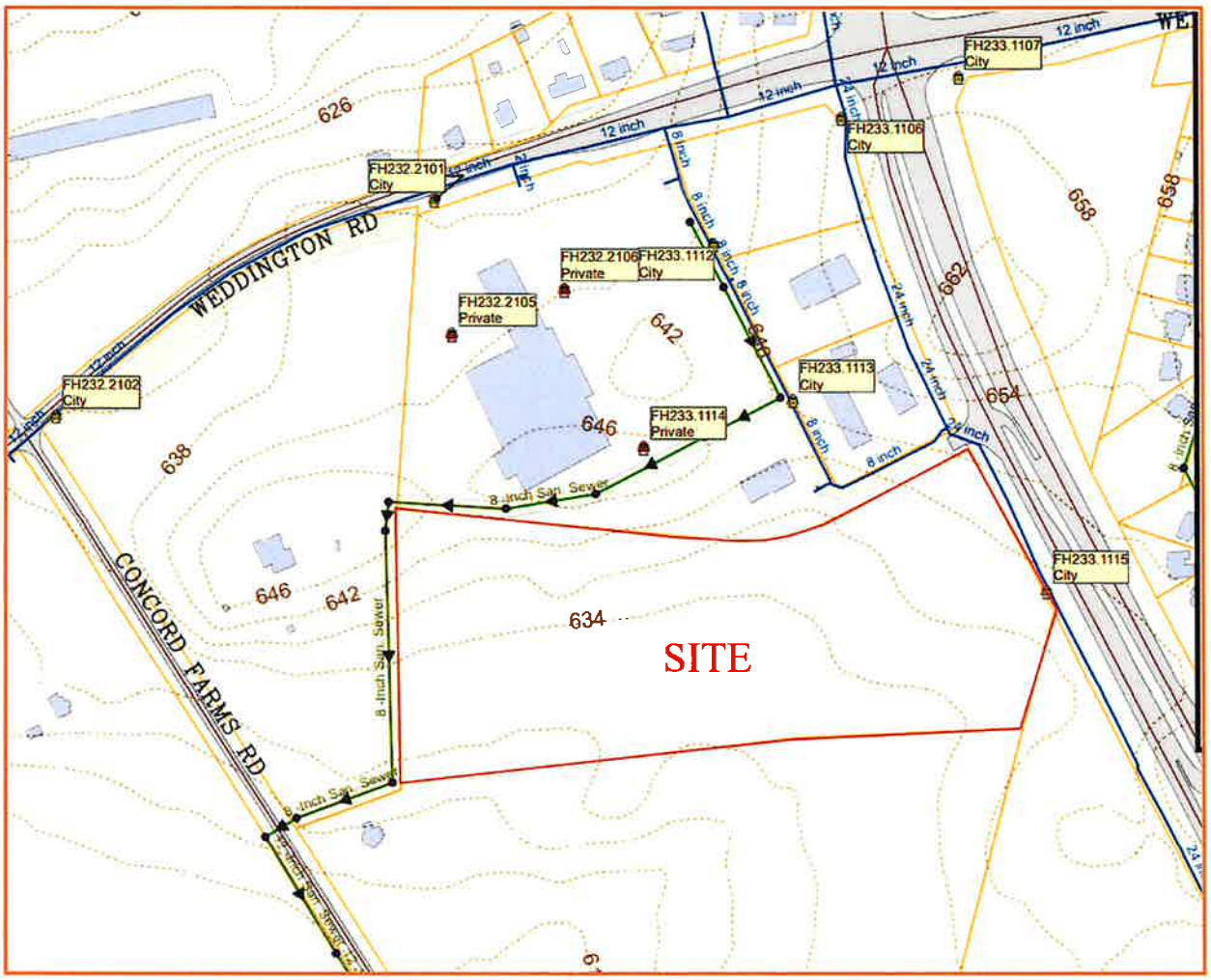
Sincerely,

Greg Angelo
Blackburn Communities, LLC

Community Design Concept

Existing Utility Locations

Sewer and Water located at property boundary.



PROPERTY ID:	PIN: 5600-52-2778-0000
PROPERTY ACREAGE:	13.5851 ACRES
ZONING:	RV
ALLOWED DENSITY PER ACRE:	8
PROPOSED DENSITY PER ACRE:	8
IMPERVIOUS SURFACE:	0.5 RATIO
FRONT SETBACK:	24 FEET MIN.
SIDE SETBACK:	20 FEET MIN.
REAR SETBACK:	20 FEET MIN.
BUILDING HEIGHT:	35 FEET MAX.
TOTAL SINGLE FAMILY HOMES:	108

- 23 SINGLE FAMILY DETACHED (12) 2-BED HOMES / (11) 3-BED HOMES)

- 2 BED / 2.5 BATH UNIT - 70 TOTAL UNITS

- 3 BED / 2.5 BATH UNIT - 15 TOTAL UNITS

Blackburn Communities, LLC | Site Study | George W. Liles Parkway, Concord NC

January 4, 2023 | PROJECT #2022.10

The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e. applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.) © 2023 Roland Architecture, PLLC
john@rolandarchitecture.com | 585.233.1587

ROLAND architecture

Residential: Multi-Family

Winecoff Apartments (CN-PSA-2023-00101)

280 Belvedere Dr. NW.

DRC	Entitled	Units	PRS Routed	Technically Approved
5/20/2021	Yes	39	No	No

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	Yes	No	Yes

Allocation Request

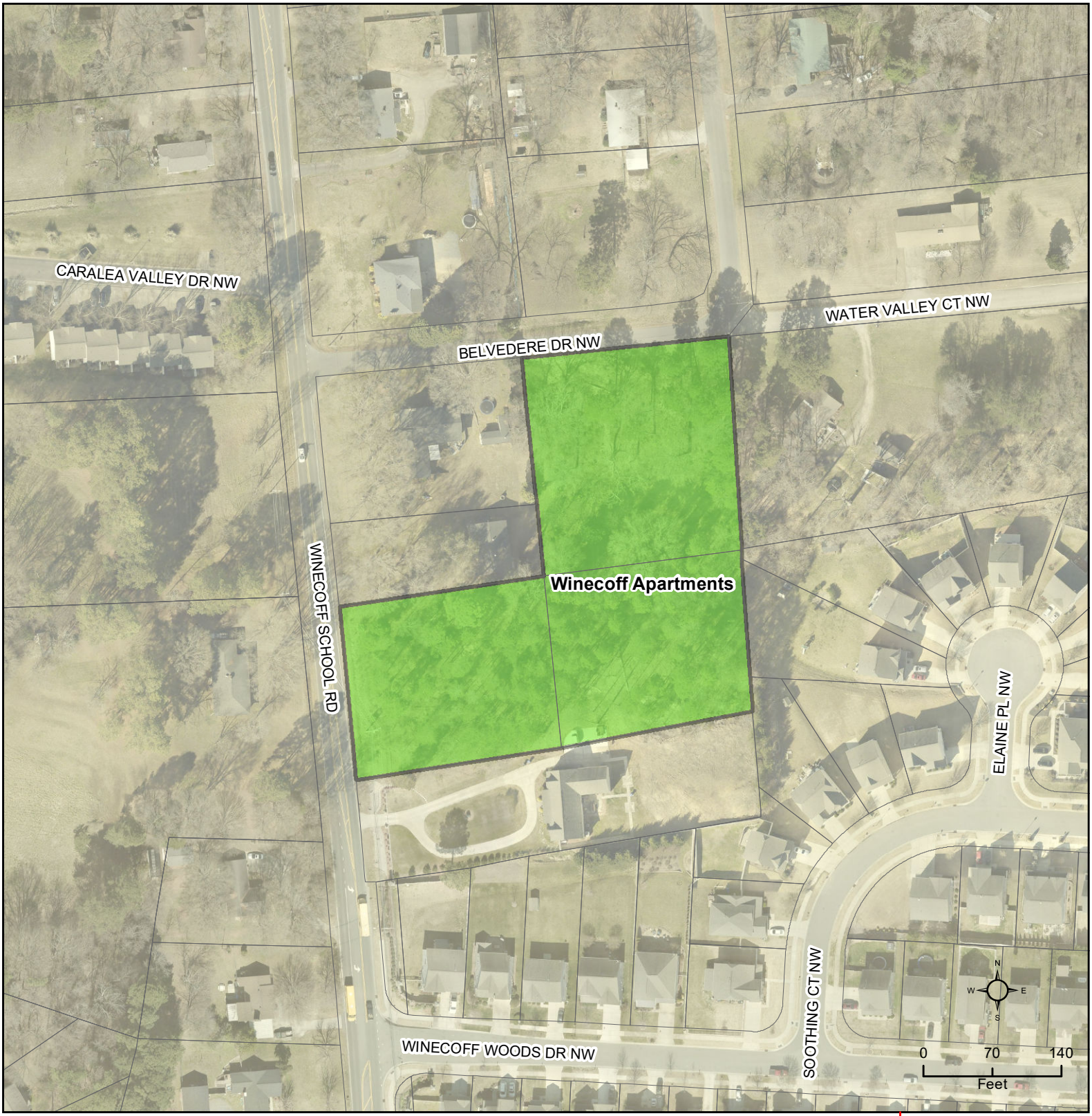
Total	2024
6,325	6,325

Project Scoring

Small Area Plan	Vertical Mixed Use	Redevelopment Site	Horizontal Mixed Use	Downtown (MSD)	Located Adjacent to Existing Sewer	Annex.	Total
0	0	0	0	0	1	0	1

Brief Summary

The applicant is proposing two smaller style apartment buildings, one is a 3 story, and one is a 2 story. The applicant is also proposing 8 garages. The applicant is also proposing an open-air pavilion and a dog park area.

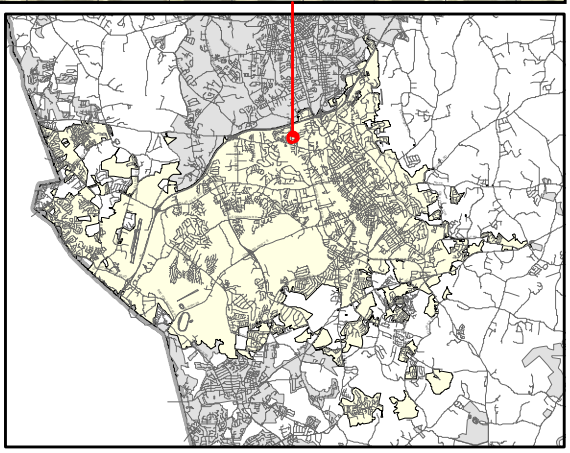


CN-PSA-2023-00101

Type: Residential
Multifamily
39 multifamily units

Allocation Request: 6,325
Project Score: 1

Developments
Parcels
Rivers
Concord
Cabarrus County



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	**Project Title:**	Winecoff Apts				
2.)	**Description of project location:**	Near the corner of Winecoff School Rd and Belvedere Dr NW (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####)				
3.)	**Cabarrus County Parcel Identification Number:**	5611-67-0451, 5611-67-2464, 5611-67-2664	3a.)	**Parcel Acreage:**	2.61	
4.)	**Site Zoning and use:**	RC - multifamily	5.)	**Area Commercial or Industrial Building**	**(sq. ft.)**	
6a.)	**Description of Facility to be served.**	2 apartment buildings	**6b.) Number of Lots**	3 to be combined	**6c.) Number of Units**	
7d.)	**Additional description information:**					

B. Applicant Information

Tran M Chung , Owner (Title) (**Name** of **legal owner**, **board**, **council**, and/or **authorized official with title**; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	381 Sycamore Ridge Rd NE (Applicant's Street or Box Number)
(**Name of Applicant's company, city, town, corporation, sanitary district, water company or other** defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	Concord NC 28025 (Applicant's City, State, Zip Code)
704-640-7304 (Applicant's Phone Number)	(Applicant's Facsimile Number)
Virginia Moore, Architect (Name) vmoore@cmoorearch.com (Email) (Name with Title and Email of contact person, who can answer questions about application)	tmchung78@yahoo.com (Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

Riley Dee Burgess Jr (Typed name of North Carolina Professional Engineer)	Woodbine Design, PC (Company Name)
10051 (NCPE Registration Number)	20816 N. Main St Suite 204 (Street or Box Number)
704-315-8367 (Phone Number)	Cornelius NC 28031 (City, State, Zip Code)
Peyton Woody, PE (Name and affiliation of contact person, who can answer questions about **application & designs**)	pwoody@woodbinedesign.com (Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

☐	Residential Subdivision	☐	Retail (Stores, shopping centers)
☑	Apartments/Condominiums	☐	Institution
☐	Mobile Home Park	☐	Hospital, nursing home, dental
☐	School, preschool, daycare	☐	Church
☐	Restaurants (Food or drink facilities)	☐	Sports Centers
☐	Hotels or motels	☐	Business, offices, factories
☐	Other (specify):_____		

2.) The type of wastewater is (indicate percentage):

100	**% Domestic**
	% Commercial
	% Industrial
	% Other use (Specify) _____

3.) Pretreatment required:
- ◉ No
- ○ Yes **(Specify or attach effluent documentation)**

4.) **Volume of wastewater flow to be allocated for this particular project**: 6,325 gallons per day
*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**
(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**
- a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).
- b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)			No. of Units	Flow	
1 (4) & 2 (30) bedroom units	150	gal/	per unit	34	GPD	5,100
3 (5) bedroom unit	225	gal/	per unit	5	GPD	1,125
1 office	100	gal/	per office	1	GPD	100
		gal/			GPD	
		gal/			GPD	
		gal/			GPD	
				Total	GPD	6,325

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I [signature] (Printed Name) **, the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.**

Signature: [signature] Date: 07.25.2022

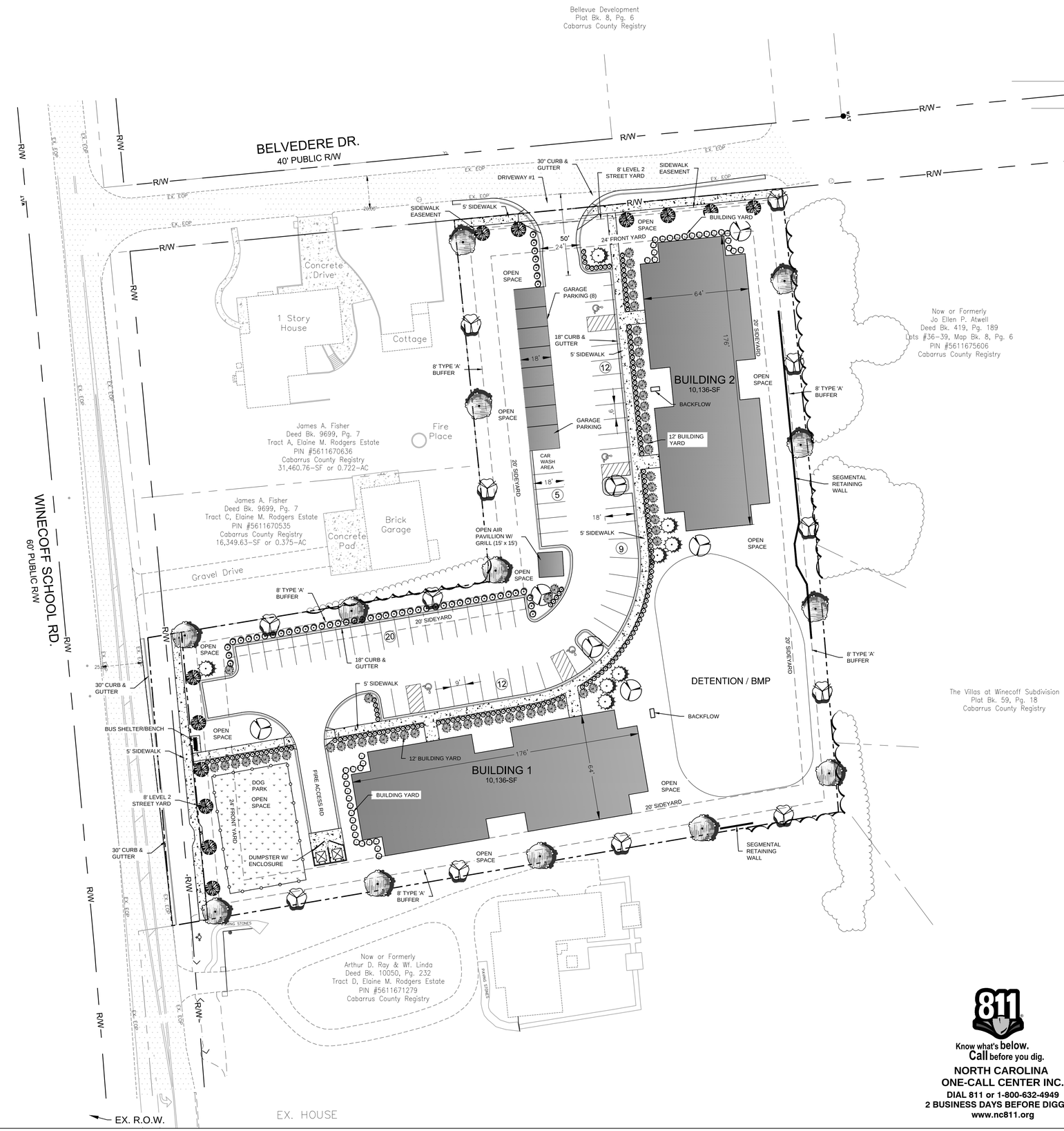
Carlos J. Moore
ARCHITECT, P.A.
Established 1987
222 Church Street North • Concord, NC 28025 • 704-788-8333 • Fax 704-782-0487 • www.cmoorearch.com

Project Narrative for Winecoff School Rd
PIN – 5611-67-0451, 5611-67-2464, 5611-67-2664
Zoned RC
2.619 acres

The project site is an undeveloped wooded parcels just south of Belvedere Dr NW. The project went before DRC in May of 2021. A traffic impact analysis was requested and performed. It is attached for your reference.

The project consists of developing 2 small apartments buildings, one is 3 story and one is 2 story along with 8 garages. Efforts are made to create a pleasant, small scale, affordable, apartment community. The project can be phased if requested by the city. There are 5 – 3 bedroom units, 30 – 2 bedroom units, 4 – 1 bedroom units, and 1 office. The 2 story building is situated more towards the residential neighborhood to be sensitive with the scale of the neighborhood and the 3 story building is situated towards Winecoff School Rd.

Garages are proposed as an added amenity, as well as an open air pavilion, and a dog park area.



ZONING CODE SUMMARY

PROJECT NAME: WINCOFF APARTMENTS
OWNER: TRAN M. CHUNG
PLANS PREPARED BY: Woodbine Design, PC PHONE # 704-315-8367
ZONING: RC JURISDICTION: CITY OF CONCORD
TAX PARCEL ID: (5611-67-0451), (5611-67-2464) & (5611-67-2664)
LOT SIZE: 114,109.48 / 2.619 SQ. FT./ACRES
PROPOSED USE: APARTMENTS
MAX. BUILDING HEIGHT: 35 FEET PROPOSED HEIGHT: XX FEET
MAX. BUILDING LENGTH: 180 FEET PROPOSED LENGTH: XX FEET
BUILDING COVERAGE: PROP. = 25,340 SQ. FT.
DENSITY ALLOWED: 15 UNITS/AC = 2.619-ac x 15 = 39.29 UNITS
DENSITY PROPOSED: 15 UNITS/AC or 39 UNITS

YARD REQUIREMENTS:
SETBACK (FRONT): 24 FT. FROM R/W, SIDE YARD (R): 20 FT.
SIDE YARD (L): 20 FT. REAR YARD: 20 FT.

OPEN SPACE:
REQUIRED = 20% (EXCLUDING BMP)
PROVIDED = SITE 114,083.64 - BLDG. (20,272+22969+11,225) - PAVE - POND = ACTIVE OPEN SPACE 59,617.64-SF
PROVIDED = 59,617.64-SF/114,083.64=52%

IMPERVIOUS AREA DATA

EXIST IMPERV COVERAGE:	0 (REMOVED)	SQ. FT./ACRES
PAVEMENT COVERAGE:	22,969 / 0.53	SQ. FT./ACRES
GRAVEL COVERAGE:	1270 / 0.03	SQ. FT./ACRES
CONCRETE COVERAGE:	3010 / 0.078	SQ. FT./ACRES
BUILDING COVERAGE:	20,488 / 0.47	SQ. FT./ACRES
PAVILION COVERAGE:	225 / 0.005	SQ. FT./ACRES
TOTAL IMPERVIOUS:	48,117 / 1.10	SQ. FT./ACRES
LOT SIZE:	114,083.64 / 2.619	SQ. FT./ACRES
PERCENT IMPERVIOUS:	42% FOR OVERALL SITE, MAX ALLOWED 50%	

LANDSCAPING & BUFFER DATA

BUFFERS YARD:
FRONT: (NO) / YES ____ FT. REAR NO / (YES) 8' TYPE 'A'
SIDE (R): NO / (YES) 8' TYPE 'A' FT. SIDE (L): NO / (YES) 8' TYPE 'A'
POINTS REQUIRED = .2 POINTS/LF

BUILDING YARD:
FRONT: NO / (YES) 8' CATEGORY 2 FT. REAR (NO) / YES ____
SIDE (R): NO / (YES) 8' CATEGORY 2 FT. SIDE (L): NO / (YES) 8' CATEGORY 2
POINTS REQUIRED = .5 POINTS/LF

STREET YARD:
REQUIRED: 8' LEVEL 1
NOTE: LANDSCAPE CALCS TO BE DETERMINED
POINTS REQUIRED = .24 POINTS/LF

PARKING LOT YARD:
REQUIRED: 10% NET AREA OF PARKING LOT
PLANTINGS REQUIRED = 1 SHADE TREE & 8 SHRUBS PER EACH 10 PARKING SPACES.

PARKING

PER CONCORD ZONING ORDINANCE SECTION NO. 10.3
REQUIRED: 60 PROVIDED: 58+8 GARAGES=66
HC REQ'D: 4 HC PROVIDED: 4
MIN PARKING = 1.5 SPACES/UNIT

WATERSHED

WATERSHED: NOT WITHIN A WATERSHED DISTRICT

TIME TABLE

1. PROJECT SHALL BEGIN UPON APPROVAL AND END WITHIN 1-YEAR, NO PHASING

GENERAL NOTES

1. SITE ADDRESS SHALL BE POSTED ON BUILDING FOR EMERGENCY RESPONSE TEAMS.
2. CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE APPLICANT.
3. BEFORE YOU DIG STOP. CALL THE NC ONE-CALL CENTER AT 1-800-632-4949. ITS THE LAW.
4. SITE LIGHTING SHALL BE PERMITTED SEPARATELY, NO LIGHTING IS PROPOSED AT THIS TIME.
5. THIS SITE SHALL UTILIZE CENTRAL DUMPSTER LOCATION AS SHOWN.
6. SIGNAGE SHALL BE PERMITTED SEPARATELY AND IN ACCORDANCE WITH THE CITY OF CONCORD ORDINANCE.
7. NO ONSITE DEMOLITION LANDFILL OR STUMP HOLE SHALL BE LOCATED ON THIS SITE.

811 Know what's below. Call before you dig.
NORTH CAROLINA ONE-CALL CENTER INC.
DIAL 811 or 1-800-632-4949
2 BUSINESS DAYS BEFORE DIGGING
www.nc811.org

PLOTTED: 7/1/2021
W:\21020-WINECOFF APARTMENTS_CAD\04A-BASE-WINCOFF APARTMENT.DWG

IF ANY CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED, EITHER ON THE CONSTRUCTION DOCUMENTS OR THE FIELD CONDITIONS, THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY, AND SHALL NOT COMMENCE OPERATION UNTIL THE CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE RESOLVED.

Woodbine Design, P.C.
Land planning & civil engineering
blending nature & man
www.woodbinedesign.com 980.722.2669
woodbinedesign@gmail.com 704.315.8367
pwoody@woodbinedesign.com
20816 N. Main Street, Suite 204
Cornelius, NC 28031

PRELIMINARY NOT FOR CONSTRUCTION

SEAL

SEAL NO: C-4063

NORTH ARROW
Graphic Scale 1" = 30 ft.

Project: WINCOFF APARTMENTS
Location: 280 BELVEDERE DR NW CONCORD, CABARRUS COUNTY, NC
Sheet Title: SITE PLAN

DEVELOPER/OWNER
TRAN M. CHUNG
381 SYCAMORE RIDGE
CONCORD, NC 28025

Designed By: Woodbine Design
Drawn By: NA
Date: 4/26/21
Revisions:
6/18/21-DRC Comments
7/1/21-NCDOT Comments

1 / A-1 FRONT ELEVATION - 3 STORY BUILDING

SCALE 1/4"=1'-0"

SCHEMATIC DESIGN DRAWING
NOT FOR CONSTRUCTION

NOTICE:
ALL FEDERAL, STATE, LOCAL CODES, ORDINANCES AND REGULATIONS SHALL BE CONSIDERED AS PART OF PLANS AND SPECIFICATIONS FOR THIS BUILDING AND SHALL TAKE PREFERENCE OVER ANYTHING SHOWN, DESCRIBED OR IMPLIED WHERE VARIANCES OCCUR.

THESE DRAWINGS ARE DIAGRAMATIC, NOT INDICATING ALL CONDITIONS AND DETAILS, AND ARE INTENDED TO BE USED BY EXPERIENCED MECHANICS. EACH DRAWING IS COMPLEMENTARY TO THE OTHERS. ALL CONDITIONS AND DIMENSIONS MUST BE VERIFIED BY THE CONTRACTORS PRIOR TO INSTALLATION. WORK PERFORMED NOT IN COMPLIANCE WITH THE INTENT OF THESE DOCUMENTS ARE THE RESPONSIBILITY OF THE PERSONS PERFORMING THE WORK. LIMIT OF LIABILITY IS THE AMOUNT OF FEE CHARGED.

THIS DRAWING AND THE INFORMATION THEREON IS THE PROPERTY OF CARLOS MOORE, ARCHITECT. ANY REPRODUCTION, ALTERATION, OR USE FOR OTHER THAN THE INTENDED PROJECT, WITHOUT THE WRITTEN CONSENT OF CARLOS MOORE, IS STRICTLY FORBIDDEN.

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Carlos Moore
EST. 1987
ARCHITECT PA
222 CHURCH ST. N. CONCORD, NC 28025
T-704.786.8333 F-704.782.0487
WWW.CMOOREARCH.COM

PROJECT TITLE:
NEW CONSTRUCTION OF THE
WINECOFF APTS
WINECOFF SCH RD & BELVEDERE, CONCORD, NC

SHEET TITLE:
SCHEMATIC ELEVATION

TODAY'S DATE: X
SCHEMATIC DESIGN APPR: XXXX
ORIGINAL SEAL DATE: XXXX

REVISIONS:

DRAWING NUMBER: 200201 EL
DRAWN BY: XXX
PROJECT MGR: XXX
CHECKED BY: V. MOORE

SHEET
A-1
OF . TOTAL # OF SHEETS: .

Nonresidential

U-Haul Concord Warehouse (CN-PSA-2023-00033)

75 Commercial Park

DRC	Entitled	Units	PRS Routed	Technically Approved
12/15/2022	Yes	10,260 sf self storage building	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	No	No	No

Allocation Request

Total	2024
100	**100**

Office	Small Area Plan	Part of Approved Mixed Use	Annexation (Not ED)	Logistics/Distribution	Total
0	0	0	0	0	0

Brief Summary

The applicant is looking to expand their overall business to include constructing a private warehouse that will go on this parcel. This parcel is zoned General Commercial (C-2) and doesn't allow for self-storage since the original U-Haul was permitted. U-Haul went through the Certificate of Non-Conformity Adjustment request and were approved on October 25, 2022, to build this warehouse. The reason this one is going through the Preliminary Sewer Allocation is because they require a state permit for their sewer.

CN-PSA-2023-00033

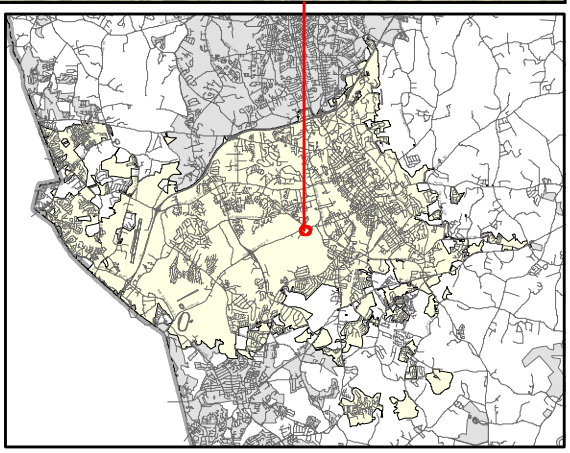
Type: Nonresidential

10,260 sf self storage building

Allocation Request: 100

Project Score: 0

Developments
Parcels
Rivers
Concord
Cabarrus County



Concord
NORTH CAROLINA

PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	**Project Title:**	UHAUL Concord Warehouse				
2.)	**Description of project location:**	75 Commercial Park Drive (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####))				
3.)	**Cabarrus County Parcel Identification Number:**	56108221480000	3a.)	**Parcel Acreage:**	1.63	
4.)	**Site Zoning and use:**	C-2	5.)	**Area Commercial or Industrial Building (sq. ft.)**	10260	
6a.)	**Description of Facility to be served.**	Warehouse	6b.) **Number of Lots**	1	6c.) **Number of Units**	1
7d.)	**Additional description information:**	Private Building				

B. Applicant Information

AREC 30, LLC (Title) (**Name** of **legal owner**, **board**, **council**, and/or **authorized official with title**; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	9136 Wilkinson Blvd. (Applicant's Street or Box Number)
UHAUL Co. of North Carolina (**Name of Applicant's company, city, town, corporation, sanitary district, water company or other** defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	Charlotte, NC 28214 (Applicant's City, State, Zip Code)
(704) 533-6535 (Applicant's Phone Number)	(Applicant's Facsimile Number)
Max Stuart (Name) maxstuart@uhaul.com (Email) (Name with Title and Email of contact person, who can answer questions about application)	(Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

Dan Brewer (Typed name of North Carolina Professional Engineer)	ESP Associates, Inc. (Company Name)
17582 (NCPE Registration Number)	20484 Chartwell Center Drive, Suite D (Street or Box Number)
(704) 990-9428 (Phone Number)	Cornelius, NC 28031 (City, State, Zip Code)
Ron George (Name and affiliation of contact person, who can answer questions about **application & designs**)	rgeorge@espassociates.com (Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

☐	Residential Subdivision	☐	Retail (Stores, shopping centers)
☐	Apartments/Condominiums	☐	Institution
☐	Mobile Home Park	☐	Hospital, nursing home, dental
☐	School, preschool, daycare	☐	Church
☐	Restaurants (Food or drink facilities)	☐	Sports Centers
☐	Hotels or motels	☑	Business, offices, factories
☐	Other (specify):_____		

2.) The type of wastewater is (indicate percentage):

	% Domestic
100	**% Commercial**
	% Industrial
	% Other use (Specify) _____

3.) Pretreatment required:
(●) No
( ) Yes **(Specify or attach effluent documentation)**

4.) **Volume of wastewater flow to be allocated for this particular project**: 100 gallons per day
*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**
(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**

a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{**Flow rates NOT listed in table 15A NCAC 2T .0114** must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)	No. of Units	Flow
1 employee	100 gal/ day	1	GPD 100
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
		Total	GPD 100

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I Max Stuart (Printed Name), **the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.**

Signature: _____ Date: 1/31/23

SANITARY SEWER CALCULATIONS

UHAUL CONCORD WAREHOUSE

CONCORD, NC

Prepared for:

UAHUL OF NORTH CAROLINA, INC.

9136 Wilkinson Boulevard
Charlotte, NC 28214

Prepared by:

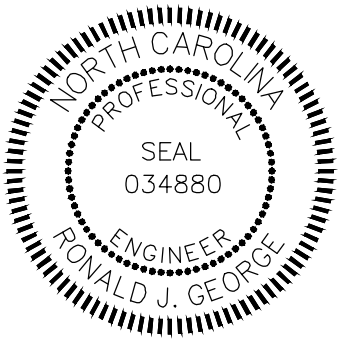
ESP Associates, Inc.

20484 Chartwell Center Drive, Suite D
Cornelius, NC 28031
(704) 990-9428

Project Number: JN72.400

Original: February 16, 2023

License No. F-1407



Narrative

The property contains a small warehouse building and is predominantly grassed area. It is located on the west side of Commercial Park Drive SW. The proposed building is a private warehouse with one loading bay.

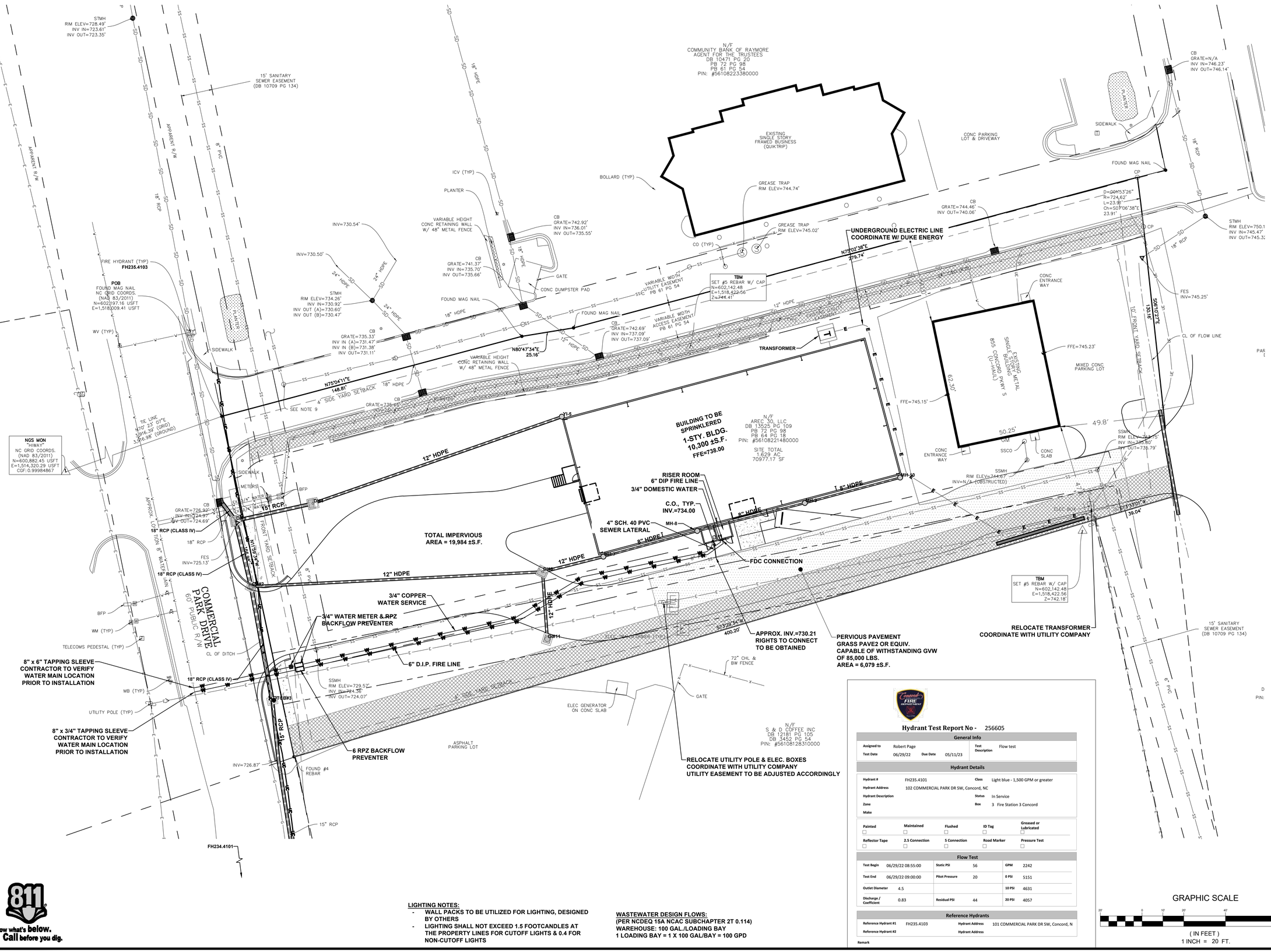
Calculations are in accordance with 15A NCAC 02T.0114(c) and the domestic flows are based on the following:

100 gpd per loading bay

Estimated flows:

1– Bay x 100 gpd = 100 gpd

Total sewage flow: 100 gpd



811 Know what's below. Call before you dig.

LIGHTING NOTES:
- WALL PACKS TO BE UTILIZED FOR LIGHTING, DESIGNED BY OTHERS
- LIGHTING SHALL NOT EXCEED 1.5 FOOTCANDLES AT THE PROPERTY LINES FOR CUTOFF LIGHTS & 0.4 FOR NON-CUTOFF LIGHTS

WASTEWATER DESIGN FLOWS:
(PER NCDEQ 15A NCAC SUBCHAPTER 2T 0.114)
WAREHOUSE: 100 GAL./LOADING BAY
1 LOADING BAY = 1 X 100 GAL/BAY = 100 GPD

Hydrant Test Report No - 256605

General Info					
Assigned to	Robert Page			Test Description	Flow test
Test Date	06/29/22	Due Date	05/11/23		

Hydrant Details			
Hydrant #	FH235.4101	Class	Light blue - 1,500 GPM or greater
Hydrant Address	102 COMMERCIAL PARK DR SW, Concord, NC		
Hydrant Description		Status	In Service
Zone		Box	3 Fire Station 3 Concord
Make			

Painted	Maintained	Flushed	ID Tag	Greased or Lubricated
☐	☐	☐	☐	☐
Reflector Tape	**2.5 Connection**	**5 Connection**	**Road Marker**	**Pressure Test**
☐	☐	☐	☐	☐

Flow Test					
Test Begin	06/29/22 08:55:00	Static PSI	56	GPM	2242
Test End	06/29/22 09:00:00	Pitot Pressure	20	0 PSI	5151
Outlet Diameter	4.5			10 PSI	4631
Discharge / Coefficient	0.83	Residual PSI	44	20 PSI	4057

Reference Hydrants			
Reference Hydrant #1	FH235.4103	Hydrant Address	101 COMMERCIAL PARK DR SW, Concord, N
Reference Hydrant #2		Hydrant Address	
Remark			

GRAPHIC SCALE
20' 0 10' 20' 40' 80'
(IN FEET)
1 INCH = 20 FT.

ESP Associates, Inc.
20484 Chartwell Center Dr.
Suite 100
Cornelius, NC 28031
1-800-960-7317
NC License F-1407
www.espassociates.com

NORTH CAROLINA PROFESSIONAL ENGINEER SEAL 17502 DANIEL E. BREWER
2/3/23

NO.	DATE	REVISION	BY

SITE UTILITY PLAN

UHAUL CONCORD WAREHOUSE
75 COMMERCIAL PARK DRIVE SW
CONCORD, NC

UHAUL OF NORTH CAROLINA

PROJECT INFORMATION	
PROJECT MANAGER:	DB
DESIGNED BY:	RJG
DRAWN BY:	RJG
PROJECT NUMBER:	JN72.400
ORIGINAL DATE:	02/03/23

SHEET:
C-5.0

Nonresidential

R R BBQ Dining Patio (CN-PSA-2023-00034)

755 Pitts School Rd. NW

DRC	Entitled	Units	PRS Routed	Technically Approved
	Yes	842 sf patio addition to restaurant	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	No	No	No

Allocation Request

Total	2024
3,040	**3,040**

Office	Small Area Plan	Part of Approved Mixed Use	Annexation (Not ED)	Logistics/Distribution	Total
0	0	0	0	0	0

Brief Summary

The applicant is seeking to add 842 sf of uncovered patio space to the restaurant to add 76 seats. This parcel is zoned General Commercial (C-2).

CN-PSA-2023-00034

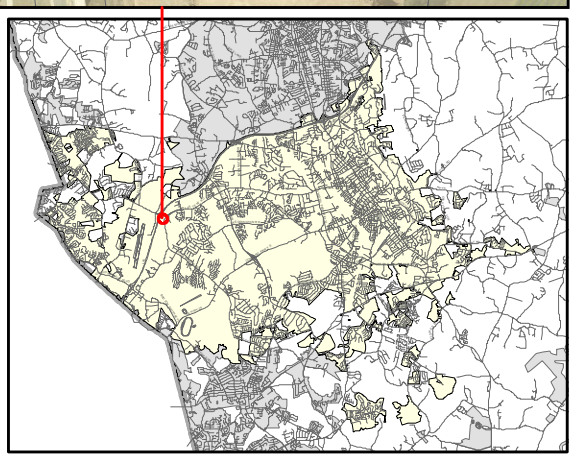
Type: Nonresidential

6.390 sf restaurant

Allocation Request: 3,040

Project Score: 0

Developments
Parcels
Rivers
Concord
Cabarrus County



Concord
NORTH CAROLINA

PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	Project Title:	R & R BBQ Dining Patio						
2.)	Description of project location:	755 Pitts School Road near int Poplar Tent Road & Pitts School Road (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####)						
3.)	Cabarrus County Parcel Identification Number:	46904429800000	3a.)	Parcel Acreage:	1.8			
4.)	Site Zoning and use:	C-2	5.)	Area Commercial or Industrial Building (sq. ft.)	6390			
6a.)	Description of Facility to be served.	Restaurant	6b.) Number of Lots	1	6c.) Number of Units	1		
7d.)	Additional description information:	Additional 76 seats on exterior dining patio at existing restaurant						

B. Applicant Information

Robert M. Critz, Manager (Title) (Name of legal owner, board, council, and/or authorized official with title; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	P. O. Box 84 (Applicant's Street or Box Number)
SP Realty No. 2, LLC (Name of Applicant's company, city, town, corporation, sanitary district, water company or other defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	Concord, NC 28026 (Applicant's City, State, Zip Code)
704-788-2906 (Applicant's Phone Number)	704-788-2865 (Applicant's Facsimile Number)
Robert Critz (Name) (Email) (Name with Title and Email of contact person, who can answer questions about application)	critz@critzpa.com (Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design ~~Engineer~~ Information if available

William E. Milligan / Architect (Typed name of North Carolina ~~Professional Engineer~~)	Milligan Architecture, Inc. (Company Name)
~~(NCPE~~ Registration Number)	6451 Morehead Road (Street or Box Number)
Architect NC 3757 (Phone Number)	Harrisburg, NC 28075 (City, State, Zip Code)
704-455-5581 (Name and affiliation of contact person, who can answer questions about application & designs)	bill@milligan-architecture.com ~~(Engineer's~~ Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

☐	Residential Subdivision	☐	Retail (Stores, shopping centers)
☐	Apartments/Condominiums	☐	Institution
☐	Mobile Home Park	☐	Hospital, nursing home, dental
☐	School, preschool, daycare	☐	Church
☑	Restaurants (Food or drink facilities)	☐	Sports Centers
☐	Hotels or motels	☐	Business, offices, factories
☐	Other (specify):____		

2.) The type of wastewater is (indicate percentage):

	% Domestic
100	% Commercial
	% Industrial
	% Other use (Specify) ____

3.) Pretreatment required:
- ◉ No
- ○ Yes (Specify or attach effluent documentation)

ADDITIONAL

4.) **Volume of wastewater flow to be allocated for this particular project:** 3040 gallons per day

*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**

(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**

a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)	No. of Units	Flow
Restaurant - Additional Seats	40 gal/ day	76	GPD 3040
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
		Total	GPD 3040

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I _ Robert M. Critz _____, **the undersigned, do hereby make application for preliminary wastewater**
(Printed Name)

allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.

Robert M. Critz — 02/23/2023

Signature: Date:

MILLIGAN ARCHITECTURE, INC.

March 13, 2023

City Of Concord
WSAAC

RE: R & R BBQ Dining Patio

PRB: CN-PSA-2023-00034

Project Description:

Project is located at 755 Pitts School Road near hthe intersection of Polar Tent Rd & Pitts School Road And consists of an 842 SF addition of an unconditioned covered outdoor patio. Project increases seating capacity by 76 seats ; however, capacity increase does not require additional toilets per NCBC Chapter 29 Minimum fixture requirements.

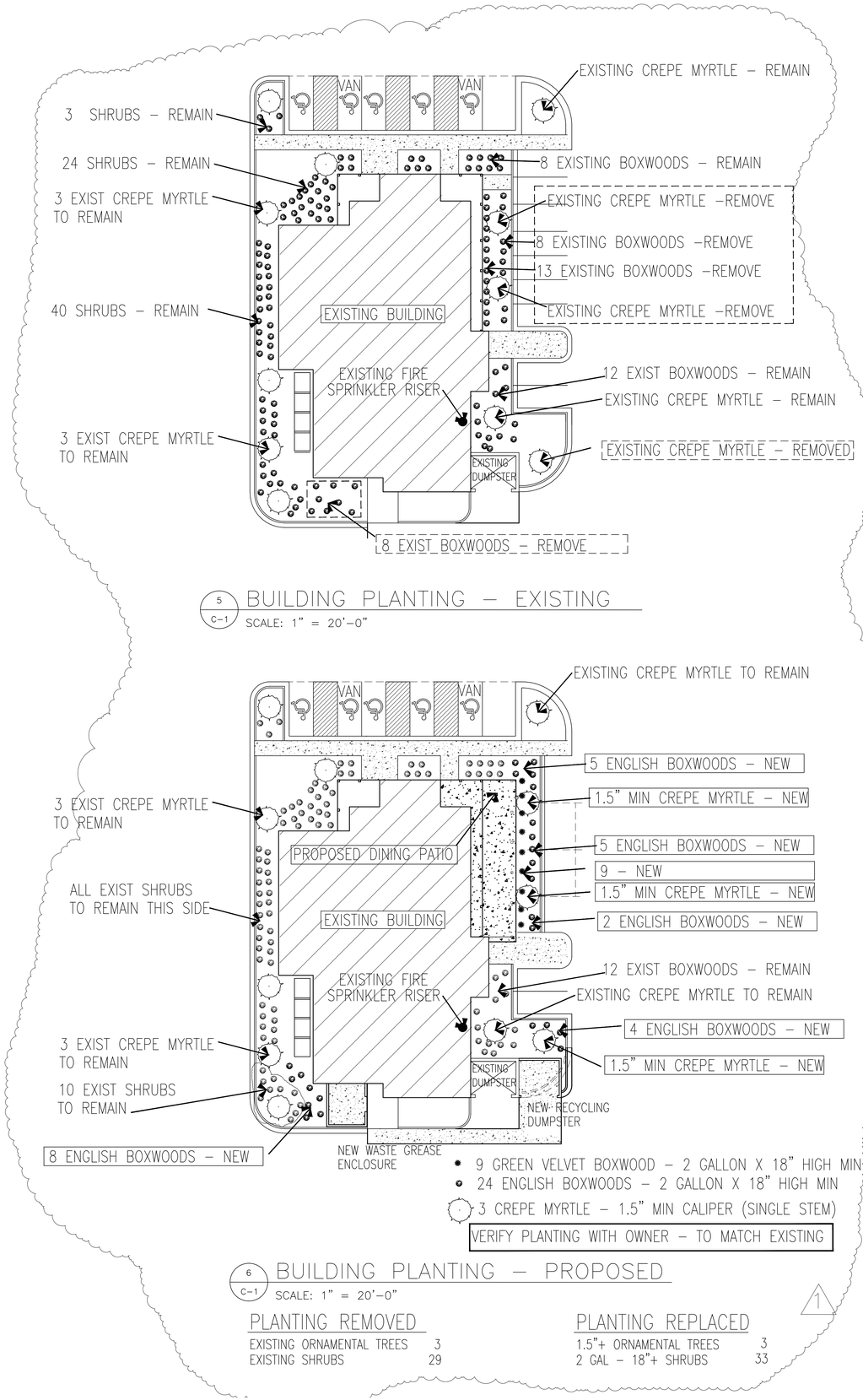
Project is being constructed in the existing parking lot with displaced landscaping being replaced.

No new utility connections are required.

Submitted by:
Milligan Architecture, Inc.

William E. Milligan / Architect (NC3757)

6451 MOREHEAD ROAD • HARRISBURG, NC 28075 • 704-455-5581 • (FAX) 704-455-5444



5 / C–1 BUILDING PLANTING – EXISTING

SCALE: 1" = 20'–0"

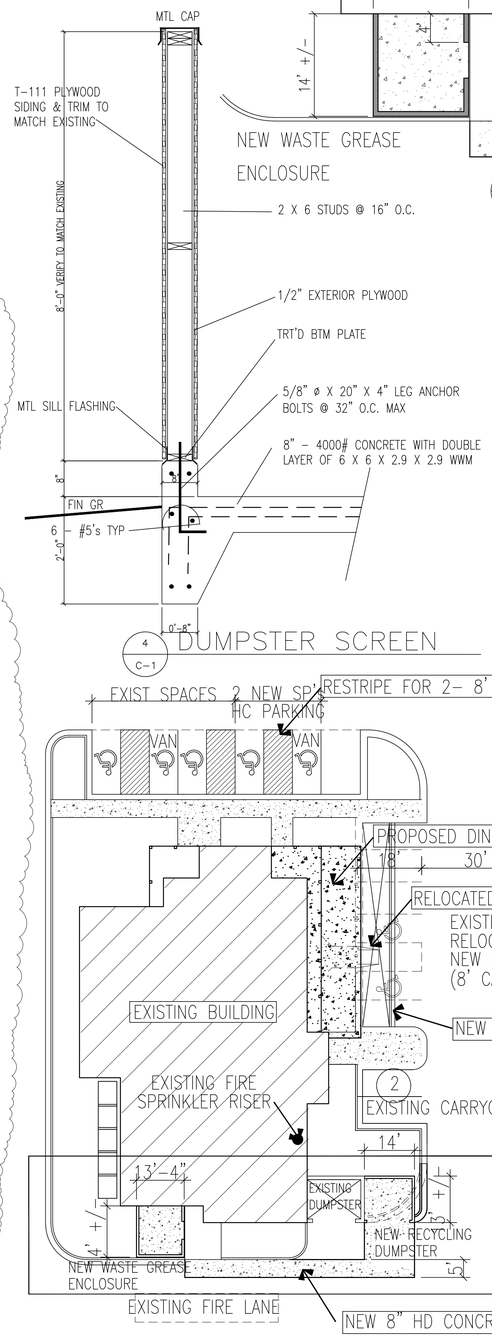
- 9 GREEN VELVET BOXWOOD – 2 GALLON X 18" HIGH MIN
- 24 ENGLISH BOXWOODS – 2 GALLON X 18" HIGH MIN
- 3 CREPE MYRTLE – 1.5" MIN CALIPER (SINGLE STEM)

VERIFY PLANTING WITH OWNER – TO MATCH EXISTING

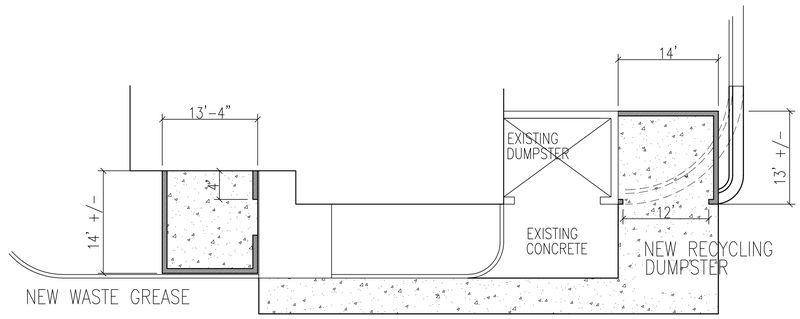
6 / C–1 BUILDING PLANTING – PROPOSED

SCALE: 1" = 20'–0"

PLANTING REMOVED		PLANTING REPLACED	
EXISTING ORNAMENTAL TREES	3	1.5"+ ORNAMENTAL TREES	3
EXISTING SHRUBS	29	2 GAL – 18"+ SHRUBS	33

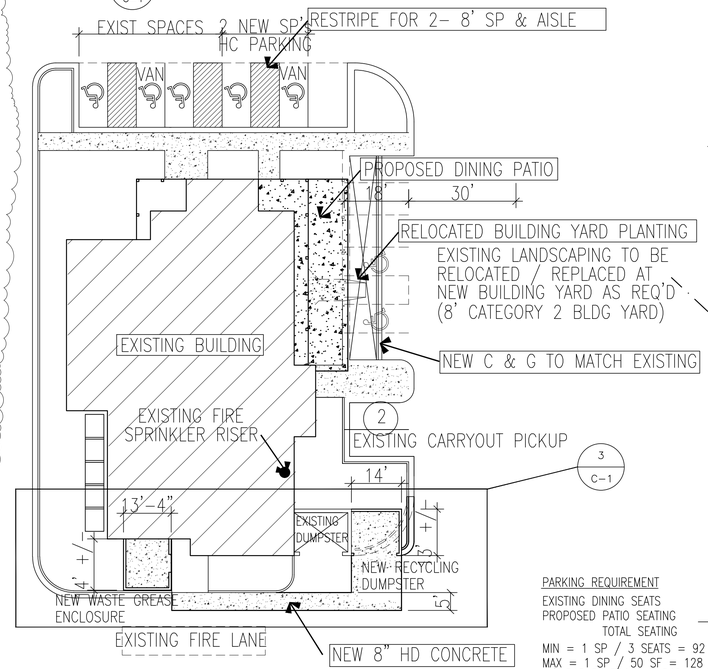


4 / C–1 DUMPSTER SCREEN



3 / C–1 DUMPSTER PLAN

SCALE: 1" = 10'–0"



2 / C–1 ENLARGED SITE PLAN

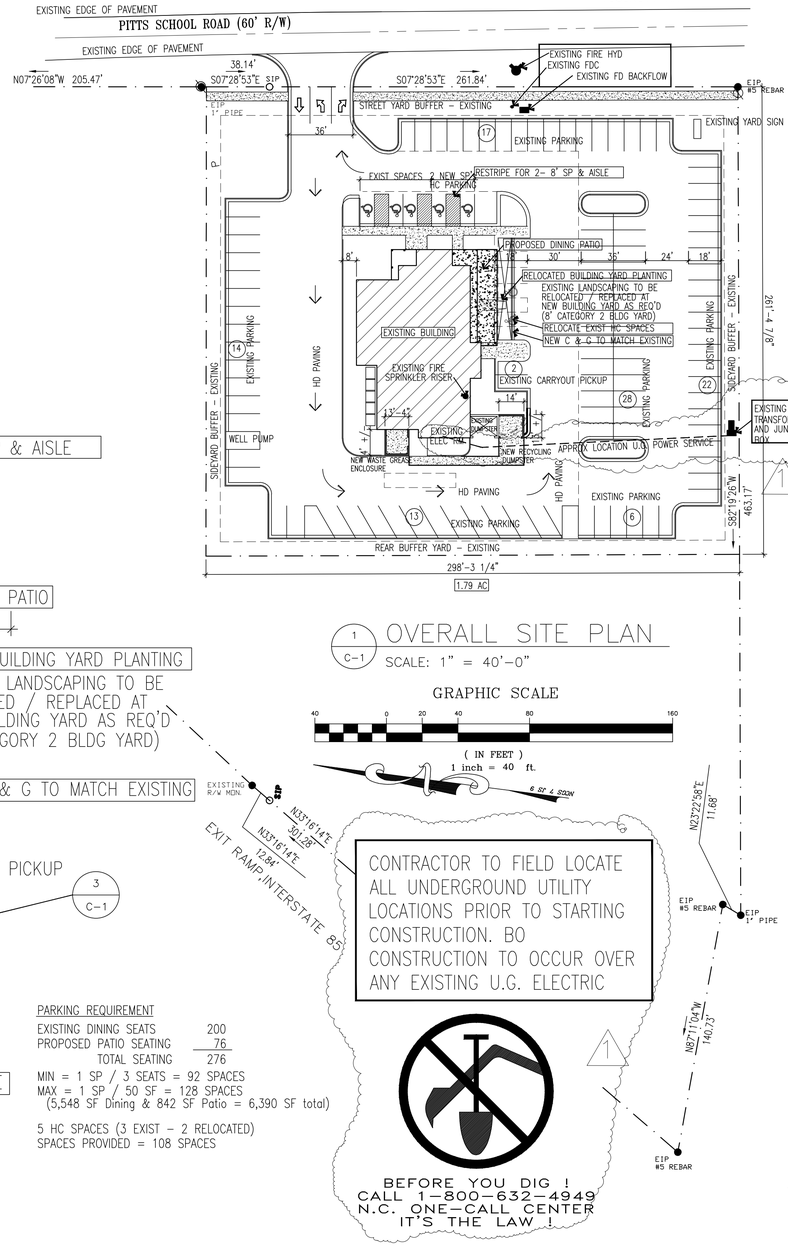
SCALE: 1" = 20'–0"

PARKING REQUIREMENT

EXISTING DINING SEATS	200
PROPOSED PATIO SEATING	76
TOTAL SEATING	276

MIN = 1 SP / 3 SEATS = 92 SPACES
MAX = 1 SP / 50 SF = 128 SPACES
(5,548 SF Dining & 842 SF Patio = 6,390 SF total)

5 HC SPACES (3 EXIST – 2 RELOCATED)
SPACES PROVIDED = 108 SPACES



1 / C–1 OVERALL SITE PLAN

SCALE: 1" = 40'–0"

GRAPHIC SCALE

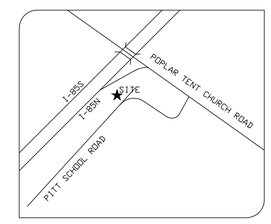
40 0 20 40 80 160

(IN FEET)

1 inch = 40 ft.

CONTRACTOR TO FIELD LOCATE ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO STARTING CONSTRUCTION. BO CONSTRUCTION TO OCCUR OVER ANY EXISTING U.G. ELECTRIC

BEFORE YOU DIG ! CALL 1–800–632–4949 N.C. ONE–CALL CENTER IT'S THE LAW !



VICINITY MAP

WILLIAM E. MILLIGAN REGISTERED ARCHITECT NORTH CAROLINA 3757 02/14/2023

MILLIGAN ARCHITECTURE, P.A. REGISTERED ARCHITECTURAL CORPORATION CERT. NO. 50789 HARRISBURG, N.C.

SEAL

MILLIGAN ARCHITECTURE, INC.
6451 MOREHEAD ROAD HARRISBURG, NC 28075
704–455–5581

PROJECT PROPOSED NEW OUTDOOR DINING AREA FOR:
R&R BAR–B–QUE
755 PITTS SCHOOL ROAD CABARRUS COUNTY CONCORD, NC 28027

SHEET TITLE
SITE PLAN

WEM	02/06/23
DRAWN BY:	DATE:
1 02/17/23	

JOB NO.: 22–024

SHEET NO. C–1

OF 1

1 ADDED LANDSCAPING PLANS & ELEC SERVICE LOCATION

Nonresidential

Express Oil & Advance Auto Services (CN-PSA-2023-00035)

1529 Concord Pkwy. N.

DRC	Entitled	Units	PRS Routed	Technically Approved
1/26/23	Yes	12,470 sf Advance Auto & Quick Service	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	No	No	No

Allocation Request

Total	2024
1,189	**1,189**

Office	Small Area Plan	Part of Approved Mixed Use	Annexation (Not ED)	Logistics/Distribution	Total
0	0	0	0	0	0

Brief Summary

This proposal is for a 5,581-sf quick service/auto service retail store. Next to this building is the proposed 6,889 sf auto parts store. These are proposed to be on the same parcel. This parcel is zoned General Commercial (C-2).

CN-PSA-2023-00035

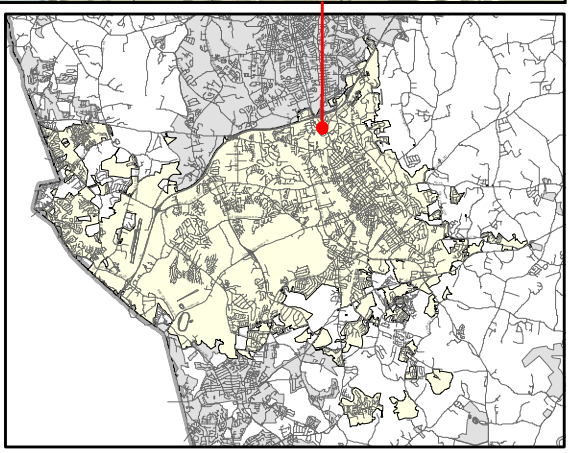
Type: Nonresidential

12,470 sf advance Auto and Quick Service

Allocation Request: 1,189

Project Score: 0

Developments
Parcels
Rivers
Concord
Cabarrus County



Concord
NORTH CAROLINA

PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	**Project Title:**	Express Oil/Advanced Auto Parts				
2.)	**Description of project location:**	Site is located approximately ±540 LF north of the intersection of Country Club Dr NE (NS 99191) and Concord Pkwy N (US-29) (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####)				
3.)	**Cabarrus County Parcel Identification Number:**	56211900480000	3a.)	**Parcel Acreage:**	±1.89 ac	
4.)	**Site Zoning and use:**	C-2, General Commercial; Quick Service Auto Service Store	5.)	**Area Commercial or Industrial Building (sq. ft.)**	12,470 total (Advance Auto = 6889 sf; Quick Servi	
6a.)	**Description of Facility to be served.**	Auto service station	6b.) **Number of Lots**	2	6c.) **Number of Units**	2
7d.)	**Additional description information:**	existing site is one parcel. We are proposing two buildings and a property line to divide the parcel into two.				

B. Applicant Information

David J. Reif SVP (Title) (Name of legal owner, board, council, and/or authorized official with title, as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	450 S. Orange Ave., Suite 90 (Applicant's Street or Box Number)
National Retail Properties, LP by NNN GP Corp., its general partner (Name of Applicant's company, city, town, corporation, sanitary district, water company or other defined in property records and/or as listed in the NC Secretary of State Corporation filings, as applicable.)	Orlando, FL 32801 (Applicant's City, State, Zip Code)
407-650-1156 (Applicant's Phone Number)	(Applicant's Facsimile Number)
David Reif (Name) david.reif@nnnreit.com (Email) (Name with Title and Email of contact person, who can answer questions about application)	david.reif@nnnreit.com (Applicant's Email Address)
REQUIRED Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.	

C. Design Engineer Information if available

Willis Swaringen (Typed name of North Carolina Professional Engineer)	Bohler Engineering NC, PLLC (Company Name)
051703 (NCPE Registration Number)	4130 Parklake Ave Suite 130 (Street or Box Number)
919-578-9000 (Phone Number)	Raleigh, NC 27612 (City, State, Zip Code)
Willis Swaringen (Name and affiliation of contact person, who can answer questions about application & designs)	wswaringen@bohlereng.com (Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

☐	Residential Subdivision	☑	Retail (Stores, shopping centers)
☐	Apartments/Condominiums	☐	Institution
☐	Mobile Home Park	☐	Hospital, nursing home, dental
☐	School, preschool, daycare	☐	Church
☐	Restaurants (Food or drink facilities)	☐	Sports Centers
☐	Hotels or motels	☐	Business, offices, factories
☑	Other (specify): Service Station		

2.) The type of wastewater is (indicate percentage):

	% Domestic
100	**% Commercial**
	% Industrial
	% Other use (Specify) ____

3.) Pretreatment required:
(●) No
( ) Yes **(Specify or attach effluent documentation)**

4.) **Volume of wastewater flow to be allocated for this particular project:** 1,188.9 gallons per day
*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**
(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**

a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{**Flow rates NOT listed in table 15A NCAC 2T .0114** must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)			No. of Units	Flow	
Service Station	250	gal/	fixture	2	GPD	500
Store w/o Food Service	100	gal/	1000 SF	6.889	GPD	689
		gal/			GPD	
		gal/			GPD	
		gal/			GPD	
		gal/			GPD	
				Total	GPD	1189

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I National Retail Properties, LP (Printed Name), **the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.**

National Retail Properties, LP
By: NNN GP Corp. as general partner
By: Daniel J. Reif, its Senior Vice President

Signature: Date: 3-30-23

2023

WASTEWATER FLOW CALCULATIONS: EXPRESS OIL/ADVANCE AUTO SERVICE

1529 Concord Pkwy N
Concord, NC 28025

Bohler Project #: NCB220281.00
1st Submission: April 6, 2023

Willis Swaringen, PE

BOHLER ENGINEERING NC, PLLC

4130 Parklake Avenue, Suite 130, Raleigh, NC 27612
NCBELS # P-1132 | P: 919-578-9000 | F: 919-703-2665
www.bohlerengineering.com

TABLE OF CONTENTS

1. NARRATIVE 1

1.1 BACKGROUND 1
1.2 WASTEWATER FLOW SUMMARY 2

APPENDIX A | PROPOSED DEVELOPMENT CONCEPT PLAN

1. NARRATIVE

1.1 BACKGROUND

The following narrative is for a proposed Express Oil and Advance Auto Service located at 1529 Concord Parkway N, Concord, NC 28025. The total site area is ±1.89 acres and is currently on one parcel (PIN 56211900480000). The proposed development will separate the parcel into two lots, one for an Advance Auto Service and the second for an Express Oil (Appendix A). The development includes, but is not limited to, the construction of curb and gutter, stormwater, sanitary, and water utilities, along with grading activities to serve the lot. Site access will be accomplished by utilizing the existing driveway along Concord Parkway N as a shared access for both lots.

Figure 1: Aerial View of Site

.

1.2 WASTEWATER FLOW SUMMARY

Though the parcel will be divided into two lots, all wastewater permitting will be done together through the City of Concord Preliminary Wastewater Flow Application.

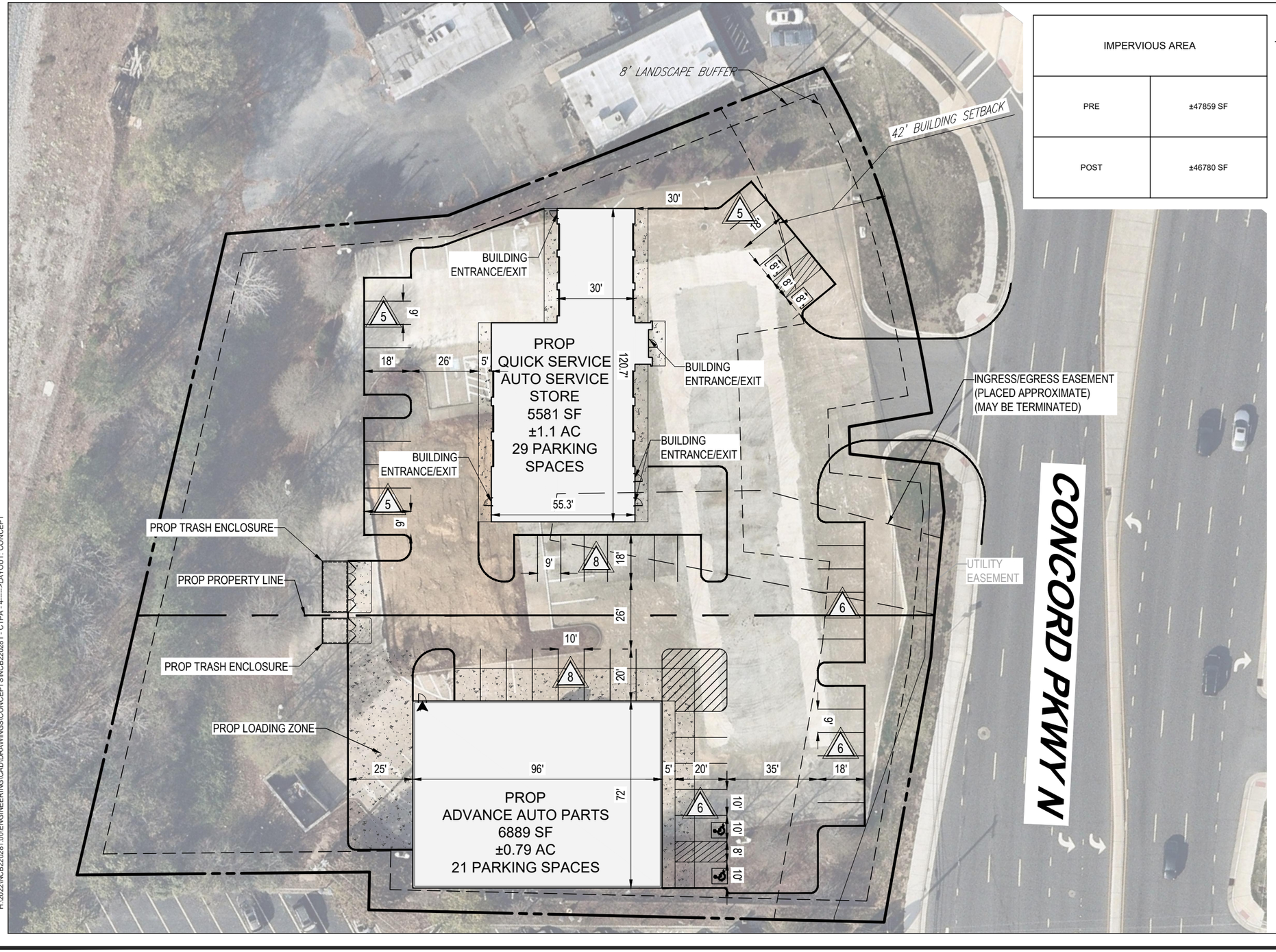
All flow calculations used in determining the permitted flow was used in accordance with 15A NCAC 2T.0114. The site consists of two buildings and, based on the 'Types of Establishments' listed, one's considered as a 'Service Station' (Express Oil) and the other is considered a 'Store and shopping center without food service' (Advance Auto). Using the associated rates with these establishments, the expected usage for the Express Oil is 500 GPD and the expected usage of the Advance Auto is 689 GPD. The expected total usage for the project is approximately 1,189 GPD. Table 1 below shows the full calculation. Please note that in reality, the typical usage of these facilities is much lower.

Table 1

Type of Establishment	NC2T Rate	Rate (gal)	Multiplier	Usage (GPD)	Total
Express Oil					
Service Station	250 gal / fixture	250	2	500	
Advance Auto					
Store w/o Food Service	100 gal / 1000 SF	6.889	100	688.9	
					1188.9 GPD

APPENDIX A |PROPOSED DEVELOPMENT CONCEPT PLAN

BOHLER
BOHLER ENGINEERING NC, PLLC



IMPERVIOUS AREA	
PRE	±47859 SF
POST	±46780 SF

CONCEPT PLAN NOTES

1. THIS CONCEPT WAS PREPARED STRICTLY AND SOLELY BASED UPON INFORMATION IDENTIFIED IN THE PLAN REFERENCES.
2. THE CONCEPT REPRESENTED HEREIN IDENTIFIES A DESIGN CONCEPT RESULTING SOLELY FROM LAYOUT PREFERENCES AND GUIDANCE DICTATED AND IDENTIFIED SOLELY BY THE CLIENT. THE FEASIBILITY WITH RESPECT TO OBTAINING LOCAL, COUNTY, STATE, AND OTHER APPLICABLE APPROVALS IS NOT WARRANTED, AND CAN ONLY BE ASSESSED AFTER FURTHER EXAMINATION AND VERIFICATION OF APPLICABLE REQUIREMENTS AND THE PROCUREMENT OF ALL NECESSARY JURISDICTIONAL APPROVALS.
3. THIS CONCEPTUAL PLAN IS PREPARED FOR CONCEPTUAL PRESENTATION PURPOSES, ONLY, AND IS NOT INTENDED TO AND SHOULD NOT BE UTILIZED AS A ZONING AND CONSTRUCTION DOCUMENT.
4. THE EXISTING CONDITIONS SHOWN HEREON ARE BASED UPON INFORMATION THAT WAS SUPPLIED TO THE ENGINEER BY THE OWNER AND OTHERS NOT UNDER ENGINEER'S CONTROL, AT THE TIME OF PLAN PREPARATION AND MAY BE SUBJECT TO CHANGE UPON PERFORMANCE OF ADDITIONAL DUE DILIGENCE AND/OR FIELD SURVEY.
5. IT IS STRONGLY RECOMMENDED THAT A ZONING CONFORMANCE ANALYSIS BE PERFORMED TO DETERMINE AND EVALUATE IF THERE ARE ANY RESTRICTIONS AND/OR ZONING ISSUES, CONCERNS OR RESTRICTIONS THAT MAY OR COULD IMPACT THE FEASIBILITY OF THIS PROJECT AS THE OWNER HAS DESCRIBED IT.

PRELIMINARY INFORMATION	
PARCEL SIZE FROM SURVEY	±1.89 AC
PROPOSED QUICK SERVICE AUTO SERVICE STORE PARCEL SIZE	±1.1 AC
PROPOSED ADVANCE AUTO PARTS PARCEL SIZE	±0.79 AC
ZONING (CITY OF CONCORD)	C-2, GENERAL COMMERICAL
QUICK SERVICE AUTO SERVICE STORE MINIMUM ALLOWED PARKING (CITY OF CONCORD)	1 SPACE PER 500 GROSS FLOOR AREA (SF), PLUS 1 PER EMPLOYEE
QUICK SERVICE AUTO SERVICE STORE MAXIMUM ALLOWED PARKING (CITY OF CONCORD)	1 SPACE PER 375 GROSS FLOOR AREA (SF), INCLUDING ALL SERVICE AREAS, PLUS 1 PER EMPLOYEE
ADVANCE AUTO PARTS MINIMUM ALLOWED PARKING (CITY OF CONCORD)	1 PER 300 SF GFA
ADVANCE AUTO PARTS MAXIMUM ALLOWED PARKING (CITY OF CONCORD)	1 PER 200 SF GFA
PROPOSED QUICK SERVICE AUTO SERVICE STORE PARKING SPACES	27 SPACES
PROPOSED ADVANCE AUTO PARTS PARKING SPACES	22 SPACES
FRONT BUILDING SETBACK	42'
REAR BUILDING SETBACK	NONE
SIDE BUILDING SETBACK	NONE
FRONT LANDSCAPE BUFFER	8'
SIDE LANDSCAPE BUFFER	8'
REAR LANDSCAPE BUFFER	8'

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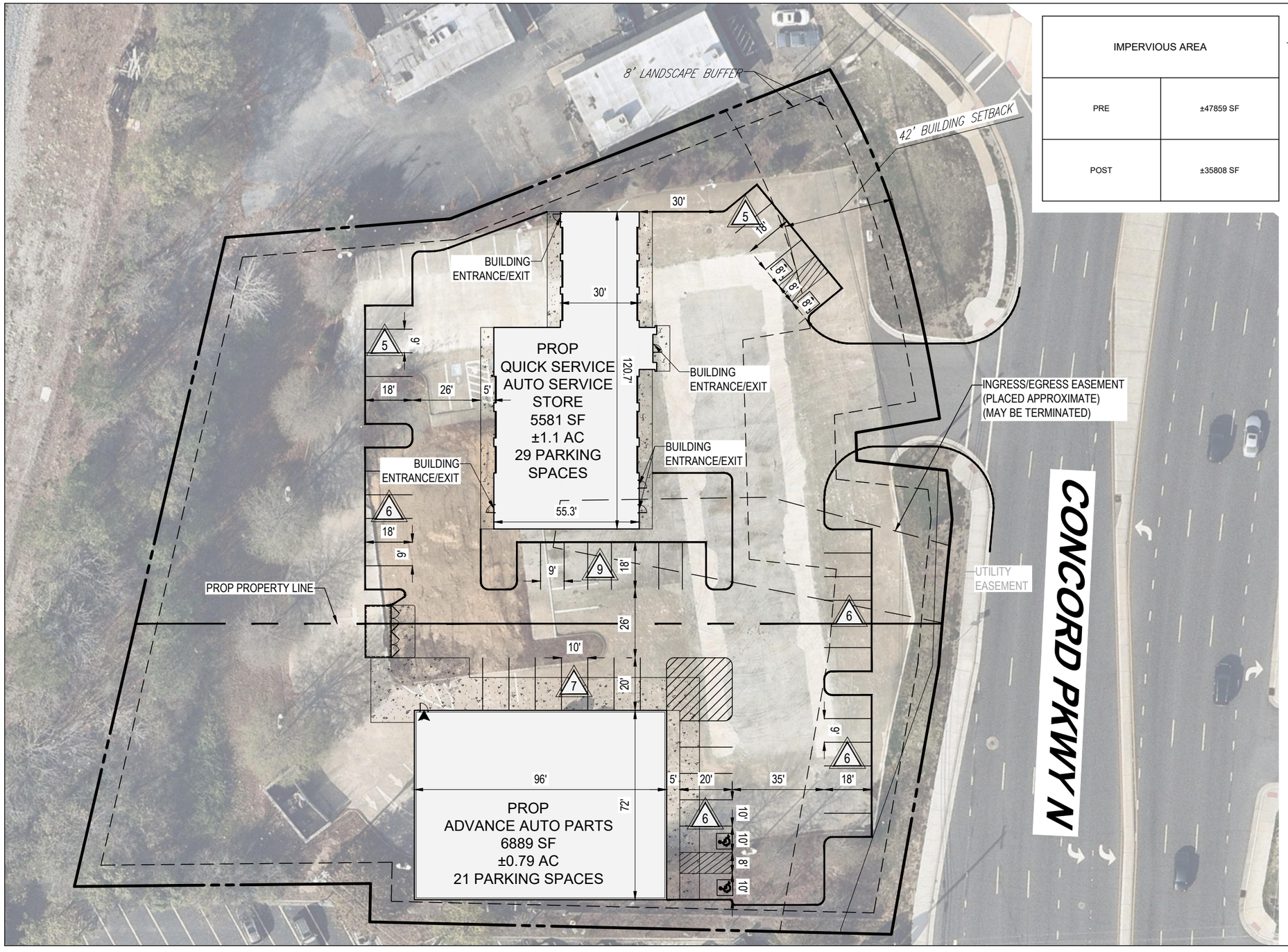
BOHLER
BOHLER ENGINEERING NC, PLLC
NCBELS P-1132
4130 PARKLAKE AVENUE, SUITE 130
RALEIGH, NC 27612
Phone: (919) 578-9000
NC@BohlerEng.com

PROPOSED QUICK SERVICE AUTO SERVICE STORE

1529 CONCORD PARKWAY, CONCORD NC 28025

1/20/2023 | IRF | NCB220281

40 20 10 0 40
1"= 40'



IMPERVIOUS AREA	
PRE	±47859 SF
POST	±35808 SF

CONCEPT PLAN NOTES

1. THIS CONCEPT WAS PREPARED STRICTLY AND SOLELY BASED UPON INFORMATION IDENTIFIED IN THE PLAN REFERENCES.
2. THE CONCEPT REPRESENTED HEREIN IDENTIFIES A DESIGN CONCEPT RESULTING SOLELY FROM LAYOUT PREFERENCES AND GUIDANCE DICTATED AND IDENTIFIED SOLELY BY THE CLIENT. THE FEASIBILITY WITH RESPECT TO OBTAINING LOCAL, COUNTY, STATE, AND OTHER APPLICABLE APPROVALS IS NOT WARRANTED, AND CAN ONLY BE ASSESSED AFTER FURTHER EXAMINATION AND VERIFICATION OF APPLICABLE REQUIREMENTS AND THE PROCUREMENT OF ALL NECESSARY JURISDICTIONAL APPROVALS.
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5. IT IS STRONGLY RECOMMENDED THAT A ZONING CONFORMANCE ANALYSIS BE PERFORMED TO DETERMINE AND EVALUATE IF THERE ARE ANY RESTRICTIONS AND/OR ZONING ISSUES, CONCERNS OR RESTRICTIONS THAT MAY OR COULD IMPACT THE FEASIBILITY OF THIS PROJECT AS THE OWNER HAS DESCRIBED IT.

PRELIMINARY INFORMATION	
PARCEL SIZE FROM SURVEY	±1.89 AC
PROPOSED QUICK SERVICE AUTO SERVICE STORE PARCEL SIZE	±1.1 AC
PROPOSED ADVANCE AUTO PARTS PARCEL SIZE	±0.79 AC
ZONING (CITY OF CONCORD)	C-2, GENERAL COMMERICAL
QUICK SERVICE AUTO SERVICE STORE MINIMUM ALLOWED PARKING (CITY OF CONCORD)	1 SPACE PER 500 GROSS FLOOR AREA (SF), PLUS 1 PER EMPLOYEE
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PROPOSED ADVANCE AUTO PARTS PARKING SPACES	21 SPACES
FRONT BUILDING SETBACK	42'
REAR BUILDING SETBACK	NONE
SIDE BUILDING SETBACK	NONE
FRONT LANDSCAPE BUFFER	8'
SIDE LANDSCAPE BUFFER	8'
REAR LANDSCAPE BUFFER	8'

H:\2022\NCB220281.00\ENGINEERING\CAD\DRAWINGS\CONCEPTS\NCB220281 - CTPA - 3---->LAYOUT: CONCEPT

BOHLER
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NCBELS P-1132
4130 PARKLAKE AVENUE, SUITE 130
RALEIGH, NC 27612
Phone: (919) 578-9000
NC@BohlerEng.com

PROPOSED QUICK SERVICE AUTO SERVICE STORE

1529 CONCORD PARKWAY, CONCORD NC 28025

1/20/2023 | IRF | NCB220281

40 20 10 0 40
1"= 40'

Nonresidential

Auto Parts Retail (CN-PSA-2023-00036)

3699 Concord Pkwy S.

DRC	Entitled	Units	PRS Routed	Technically Approved
2/16/23	Yes	12,000 sf. auto parts store	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	No	No	Yes

Allocation Request

Total	2024
1,200	1,200

Office	Small Area Plan	Part of Approved Mixed Use	Annexation (Not ED)	Logistics/Distribution	Total
0	0	0	0	0	0

Brief Summary

This proposal is for a 12,000 sq. ft. auto parts store. This parcel is zoned General Commercial (C-2).

CN-PSA-2023-00036

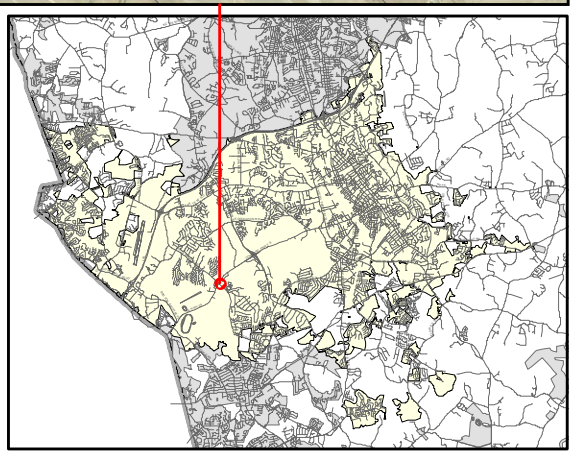
Type: Nonresidential

12,000 sf Auto parts store

Allocation Request: 1,200

Project Score: 0

Developments
Parcels
Rivers
Concord
Cabarrus County



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	Project Title:	Retail - Concord, NC					
2.)	Description of project location:	E corner of Concord Parkway S and Pitts School Road SW (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####)					
3.)	Cabarrus County Parcel Identification Number:	55093377060000	3a.)	Parcel Acreage:	1.34 ac		
4.)	Site Zoning and use:	C-2 Commercial	5.)	Area Commercial or Industrial Building (sq. ft.)	12,000		
6a.)	Description of Facility to be served.	Auto Parts Retailer	6b.) Number of Lots	1	6c.) Number of Units	1	
7d.)	Additional description information:	Stand alone autoparts retailer					

B. Applicant Information

Chris Klentz, EIT (Title) (**Name** of **legal owner**, **board**, **council**, and/or **authorized official with title**; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	3475 Corporate Way, Suite A (Applicant's Street or Box Number)
Gaskins + LeCraw (**Name of Applicant's company, city, town, corporation, sanitary district, water company or other** defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	Duluth, GA 30096 (Applicant's City, State, Zip Code)
678.546.8100 (Applicant's Phone Number)	n/a (Applicant's Facsimile Number)
Chris Klentz (Name) cklentz@gaskinslecraw.com (Email) (Name with Title and Email of contact person, who can answer questions about application)	cklentz@gaskinslecraw.com (Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

Timothy Kyle Sharpe (Typed name of North Carolina Professional Engineer)	Gaskins + LeCraw (Company Name)
54209 (NCPE Registration Number)	3475 Corporate Way Suite A (Street or Box Number)
678.546.8100 (Phone Number)	Duluth, GA 30096 (City, State, Zip Code)
Chris Klentz (Name and affiliation of contact person, who can answer questions about **application & designs**)	ksharpe@gaskinslecraw.com (Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

☐	Residential Subdivision	☑	Retail (Stores, shopping centers)
☐	Apartments/Condominiums	☐	Institution
☐	Mobile Home Park	☐	Hospital, nursing home, dental
☐	School, preschool, daycare	☐	Church
☐	Restaurants (Food or drink facilities)	☐	Sports Centers
☐	Hotels or motels	☐	Business, offices, factories
☐	Other (specify):_____		

2.) The type of wastewater is (indicate percentage):

	% Domestic
100	**% Commercial**
	% Industrial
	% Other use (Specify) _____

3.) Pretreatment required:

◉ No

○ Yes **(Specify or attach effluent documentation)**

4.) **Volume of wastewater flow to be allocated for this particular project**: 1,200 gallons per day

*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**

(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**

a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)	No. of Units	Flow
Stores and shopping centers w/o food service	100 gal/ 1,000sf	12,000 sf	GPD 1,200
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
		Total	GPD 1,200

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I Chris Klentz, **the undersigned, do hereby make application for preliminary wastewater**

(Printed Name)

allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.

Chris Klentz

Digitally signed by Chris Klentz
DN: cn=Chris Klentz, c=US, email=chris.klentz@lecraweng.com
Date: 2023.01.23 15:35:00 -05'00'

Signature: Date:

January 23, 2023

Sherri V. Moore
City of Concord Engineering Coordinator
PO Box 308
Concord, NC 28028

Re: Auto Parts Retailer – Concord, NC
3699 Concord Parkway South
Concord, NC 28027

Dear Ms. Moore:

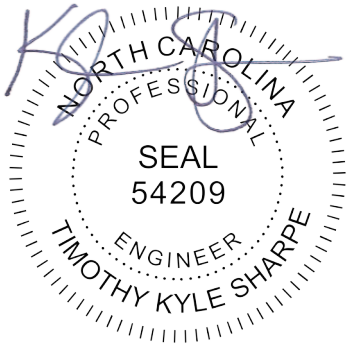
For the above referenced project, the proposed daily sewage flow calculations are being submitted for your review. It is my understanding that, by submitting this letter along with the project information below, you will notify us if any upgrades are necessary to the downstream system. The project information is as follows:

- Project Name: Retail – Concord, NC
- Location: 3699 Concord Parkway S, Concord, NC 28027 (PID 55093377060000)
- Property Zoning: C-2
- Contact Name & Engineering Firm: Chris Klentz/ Gaskins + LeCraw
- Contact Info: (direct) 678.257.1915 (email) cklentz@gaskinslecraw.com
- Project Description:
  - This project includes the demolition of the existing gas station and parking lot and the construction of a new auto parts retailer and it's associated parking lot, utilities, and stormwater management
- Proposed Flow Calculations:

Stores and shopping centers w/o food service: 100 gallons/1,000 sf

Anticipated Daily Flow: 1,200 GPD = [(100gal/1,000 sf) * 12,000 sf]

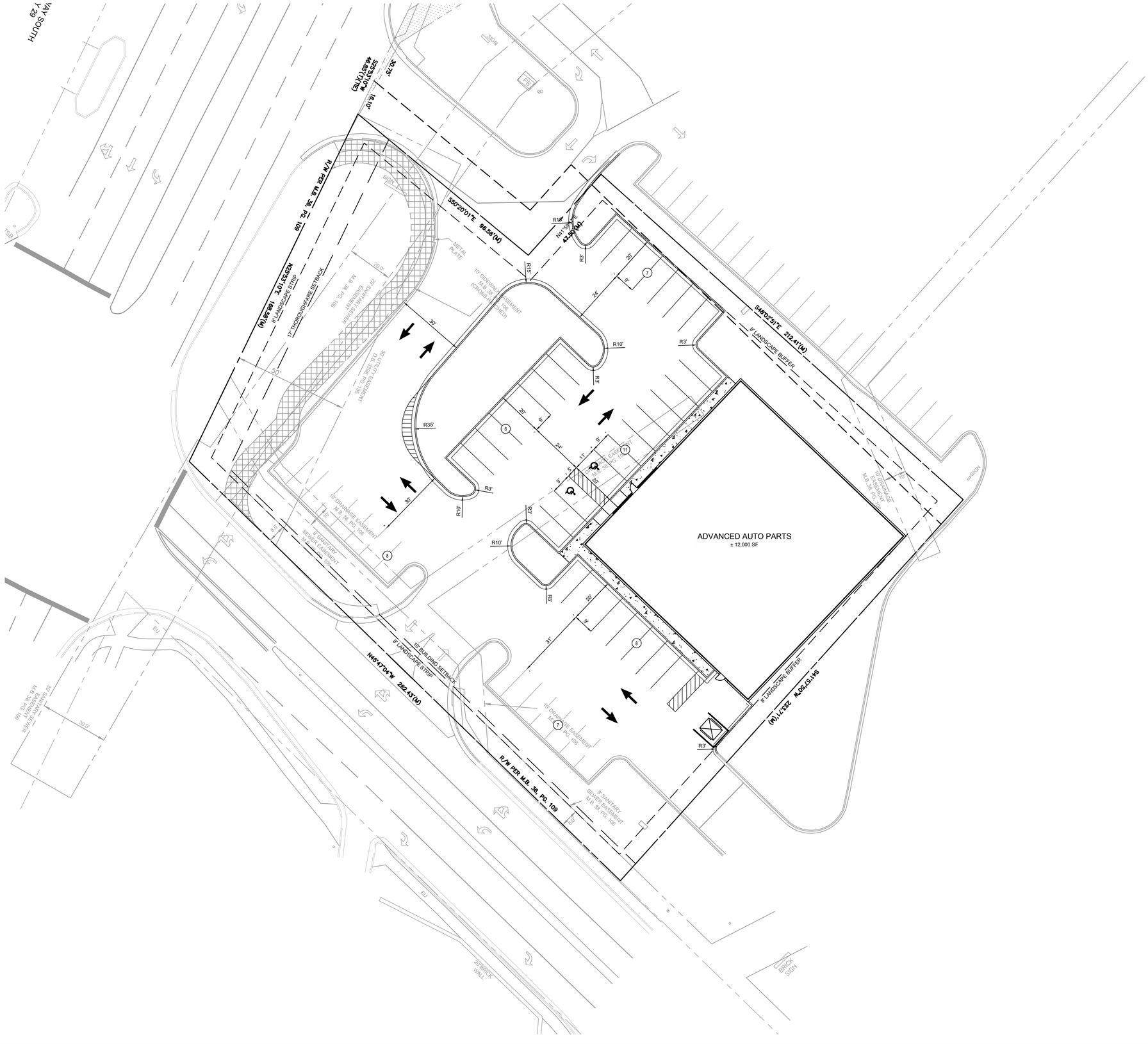
If there is anything else that you require to perform this analysis, please do not hesitate to contact me.



1/23/23

Sincerely,

Timothy Sharpe, PE



GENERAL SITE NOTES

1) ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS SPECIFIED OTHERWISE.

2) ALL TREES SHALL HAVE PROPER PROTECTION DURING CONSTRUCTION UNLESS APPROVED PLANS INDICATE OTHERWISE.

3) BOUNDARY & TOPOGRAPHIC SURVEY BY R.B. PHARR & ASSOCIATES, P.A., DATED NOVEMBER 15, 2022. BENCHMARK IS NOTED ON SURVEY.

4) FLOOD PLAIN IS NOT PRESENT ON THIS SITE AS SHOWN ON THE FEMA FIRM MAP NUMBER 3710550900K, DATED NOVEMBER 16, 2018

5) 1 HANDICAP SPACE IS REQUIRED TO BE VAN ACCESSIBLE WITH A MINIMUM 96" WIDE ACCESS AREA.

6) ACCESSIBLE PARKING AREAS, INCLUDING AISLES, SHALL SLOPE NO MORE THAN 2% IN ANY DIRECTION.

7) THE OWNER IS RESPONSIBLE FOR OBTAINING ANY NECESSARY AGREEMENTS FROM ADJACENT PROPERTY OWNERS IN ORDER TO PERFORM THE REQUIRED OFFSITE WORK, INCLUDING, STORM DRAINAGE, CURB AND GUTTER AND PAVEMENT TIE-INS AND GRADING.

8) REFERENCE ARCH PLANS FOR DIRECTIONAL SIGNAGE, SITE SIGNAGE, BUILDING DIMENSIONS, ETC.

9) ALL NEW PAVEMENT SHALL MEET OR EXCEED GEOTECHNICAL SPECIFICATION. SEE REPORT PREPARED BY GEOTECH, DATED MONTH DAY, YEAR.

SITE SUMMARY

SITE AREA	
SITE AREA:	1.35 ACRES (58,714 S.F.)
IMPERVIOUS AREA:	--- S.F. (--%)
PERVIOUS AREA:	--- S.F. (--%)
ZONING CLASSIFICATION	
JURISDICTION:	CITY OF CONCORD
ZONING:	C-2 (GENERAL COMMERCIAL)
ADJACENT ZONING:	C-2 (GENERAL COMMERCIAL)
OVERLAY DISTRICT	CONCORD PARKWAY CORRIDOR
BUILDING SETBACKS	
FRONT:	10'
SIDE:	0'
REAR:	0'
BUILDING SUMMARY	
BUILDING AREA:	10,000 S.F.
BUILDING COVERAGE:	17%
PARKING SUMMARY	
PARKING REQ.:	(MIN) 1 SPACES/300 S.F.
PARKING REQ.:	34 SPACES
	(MAX) 1 SPACES/200 S.F.
	50 SPACES
PARKING PROV.:	49 SPACES
STANDARD STALL DIMENSIONS:	9' x 20'
MIN. DRIVE WIDTH:	24'

PREPARED IN THE OFFICE OF:

GASKINS + LECRAW

© 2022 GASKINS + LECRAW, INC.
3475 CORPORATE WAY
SUITE A
DULUTH, GA 30096
PHONE - 678.546.8100
FAX - 770.441.0298
www.gaskinslecraw.com
P-2646

REVISIONS:

	DATE	DRAWN BY:	CHECKED BY:

Nonresidential

Common Park Circle Dual Brand Hotel (CN-PSA-2023-00037)

7890 Commons Park Circle NW

DRC	Entitled	Units	PRS Routed	Technically Approved
1/27/2022	Yes	88,039 sf (166 room) hotel	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	No	Yes	Yes

Allocation Request

Total	2024
24,375	**24,375**

Office	Small Area Plan	Part of Approved Mixed Use	Annexation (Not ED)	Logistics/Distribution	Total
0	0	0	0	0	0

Brief Summary

This proposal is for an 88,039 sf 166 room hotel. This hotel is to be 5 stories with a pool and outdoor patio. This parcel is zoned General Commercial (C-2).

CN-PSA-2023-00037

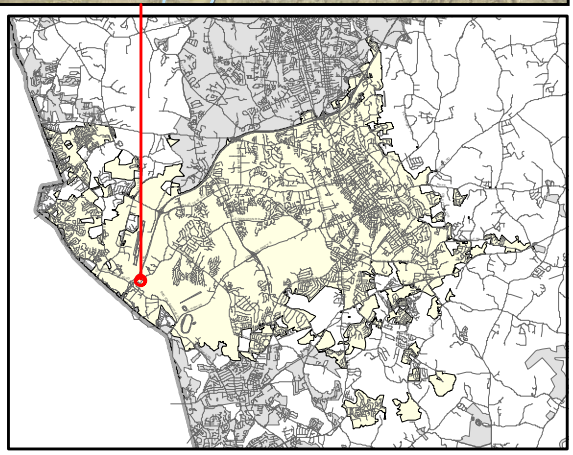
Type: Nonresidential

88,039 sf (166 room) hotel

Allocation Request: 24,375

Project Score: 0

Developments
Parcels
Rivers
Concord
Cabarrus County



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	Project Title:	Common Park Circle Dual Brand Hotel					
2.)	Description of project location:	7890 Commons Park Circle NW (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####))					
3.)	Cabarrus County Parcel Identification Number:	4599-04-6350-0000	3a.)	Parcel Acreage:	2.817		
4.)	Site Zoning and use:	C-2 & Hotel	5.)	Area Commercial or Industrial Building (sq. ft.)	88,039		
6a.)	Description of Facility to be served.	Hotel	6b.) Number of Lots	1	6c.) Number of Units	N/A	
7d.)	Additional description information:	5 story dual brand hotel with 166 rooms					

B. Applicant Information

Samir Patel, Sr. Manager, Development (Title) (Name of legal owner, board, council, and/or authorized official with title; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	2706 James ST (Applicant's Street or Box Number)
Concord Lodging LLC (Name of Applicant's company, city, town, corporation, sanitary district, water company or other defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	Coralville, IA 52241 (Applicant's City, State, Zip Code)
641-680-1244 (Applicant's Phone Number)	310-496-6193 (Applicant's Facsimile Number)
SAMIR PATEL (Name) SAMIR.PATEL@HAWKEYEHOTELS.COM (Email) (Name with Title and Email of contact person, who can answer questions about application)	SAMIR.PATEL@HAWKEYEHOTELS.COM (Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

Michael Newman (Typed name of North Carolina Professional Engineer)	MDV Engineering (Company Name)
28274 (NCPE Registration Number)	215 Johnston ST (Street or Box Number)
704-400-1044 (Phone Number)	Rock Hill, SC 29730 (City, State, Zip Code)
Michael Newman (Name and affiliation of contact person, who can answer questions about application & designs)	michael@mdveng.com (Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

☐	Residential Subdivision	☐	Retail (Stores, shopping centers)
☐	Apartments/Condominiums	☐	Institution
☐	Mobile Home Park	☐	Hospital, nursing home, dental
☐	School, preschool, daycare	☐	Church
☐	Restaurants (Food or drink facilities)	☐	Sports Centers
☑	Hotels or motels	☐	Business, offices, factories
☐	Other (specify):____		

2.) The type of wastewater is (indicate percentage):

	% Domestic
100	% Commercial
	% Industrial
	% Other use (Specify) ____

3.) Pretreatment required:

◯ No

◉ Yes (Specify or attach effluent documentation)

Grease Interceptor

4.) **Volume of wastewater flow to be allocated for this particular project:** 24,375 gallons per day

*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**

(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**

a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)			No. of Units	Flow	
Hotel	120	gal/	room	85	GPD	10,200
Hotel with in-room cooking facilities	175	gal/	room	81	GPD	14,175
		gal/			GPD	
		gal/			GPD	
		gal/			GPD	
		gal/			GPD	
				Total	GPD	24,375

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I SAMIR PATEL (Printed Name), **the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.**

Samir Patel — Signature:

3/23/23 — Date:

April 19, 2023

City Council
City of Concord
35 Cabarrus Ave W
Concord, NC 28025

Reference: Fairfield Inn/Towneplace Suites
7890 Commons Park Circle NW
Concord, NC 28027

Dear City Council Members:

Concord Lodging, LLC is pleased to present the following request for wastewater capacity needed for the above reference project. This proposed dual brand hotel project is located on Parcel Identification Number 4599-04-6350-0000 and address 7890 Commons Park Circle NW in the City of Concord, Cabarrus County, North Carolina. This is a 2.817 acre parcel, zoned C-2, and is part of the previous Weddington Road Commons project developed in 2009. This proposed commercial hotel use is a by-right development in the C-2 zoning district and is consistent with the surrounding commercial businesses.

This proposed dual brand hotel project consists of a 5-story 166 room structure, pool, outdoor amenities patio, 166 parking spaces, and associated improvements. Access will be from the existing private drive named Commons Park Circle NW with no access to Weddington Road.

Water & Sewer services for this dual brand hotel will connect to existing service stub-outs previously installed in the private drive located on the north side of the site. These existing service stub-outs were installed in 2009 to serve this parcel and are part of the City of Concord public water and sewer system. Additionally, enclosed is a spreadsheet prepared by Concord Lodging, LLC showing the potential positive economic impacts this project will provide to the local community.

Concord Lodging, LLC respectfully requests that the Concord City Council approve this Preliminary Wastewater Flow Application based upon the information provided.

Respectfully Submitted,

Michael Newman, P.E.

215 Johnston Street, Rock Hill, South Carolina, 29730 * 704.400.1044 * email: michael@mdveng.com

TAX BENEFITS FOR THE CITY OF CONCORD AND STATE OF NORTH CAROLINA FROM PROPOSED HOTEL

Real Estate Tax Revenue Annually

FAIRFIELD INN & TOWNEPLACE SUITES

**Projected First Annual Real Estate Tax* $160,000

		Year 1	Year 2	Year 3	Year 4	Year 5	Year 6-20	TOTAL 20 YEARS
Total First Annual Real Estate Tax Projections	**$160,000**							
Estimated State Share of Real Estate Tax 12%		$ 19,200	$ 19,776	$ 20,369	$ 20,980	$ 21,610	$ 413,976	**$ 515,911**
Estimated City/County/School District Share of Real Estate Tax 88%		$ 140,800	$ 164,800	$ 169,744	$ 174,836	$ 180,081	$ 14,382,751	**$ 15,213,013**

Sales Tax Revenue Annually

			Year 1	Year 2	Year 3	Year 4	Year 5	Year 6-20	TOTAL 20 YEARS
Revenue from Sales Tax on Meeting Rooms and other Misc. Items	**7.0%**	=	$ 8,463	$ 9,327	$ 10,173	$ 10,778	$ 11,192	$ 214,406	**$ 264,339**
	Total Annual Sales Tax (7%)	=	**$ 8,463**	**$ 9,327**	**$ 10,173**	**$ 10,778**	**$ 11,192**	$ 214,406	**$ 264,339**

			Year 1	Year 2	Year 3	Year 4	Year 5	Year 6-20	TOTAL 20 YEARS
Lodging Tax Revenue Annually	*Projected Annual Hotel Room Rental Revenue*		$ 6,045,130	$ 6,661,980	$ 7,266,493	$ 7,698,288	$ 7,994,376	$ 137,901,357	**$ 173,567,624**
State of NC Lodging/Sales Tax	7.25%	=	$ 438,272	$ 482,994	$ 526,821	$ 558,126	$ 579,592	$ 9,997,848	**$ 12,583,653**
Cabarrus County Lodging/Sales Tax	6%		$ 362,708	$ 399,719	$ 435,990	$ 461,897	$ 479,663	$ 8,274,081	$ 10,414,057
	Total Annual Lodging/Sales Tax	=	**$ 800,980**	**$ 882,712**	**$ 962,810**	**$ 1,020,023**	**$ 1,059,255**	$ 18,271,930	**$ 22,997,710**

Total Annual Tax Revenue from All Sources

		Year 1	Year 2	Year 3	Year 4	Year 5	Year 6-20	TOTAL 20 YEARS
State of North Carolina Revenue	=	$ 457,472	$ 502,770	$ 547,190	$ 579,106	$ 601,202	$ 10,411,824	**$ 13,099,564**
Cabarrus County Revenue	=	$ 511,971	$ 573,846	$ 615,907	$ 647,511	$ 670,936	$ 22,871,239	**$ 25,891,409**
Total Annual Revenue to State/City/County	=	**$ 969,442.91**	**$ 1,076,615.12**	**$ 1,163,096.69**	**$ 1,226,617.44**	**$ 1,272,138.13**	**$ 33,283,062.96**	**$ 38,990,973.24**

Other Positive Impacts To Local/State Economy

Total Job Creation Impact/Payroll Budget

		Year 1	Year 2	Year 3	Year 4	Year 5	Year 6-20	TOTAL 20 YEARS
FFIS-TPS	=	$ 1,569,169	$ 1,660,684	$ 1,843,252	$ 1,901,800	$ 1,973,681	$ 37,809,578	**$ 46,758,164**

Total Consumer Spending Impact

			Year 1	Year 2	Year 3	Year 4	Year 5	Year 6-20	TOTAL 20 YEARS
***Anticipated Dollars to local impact- Hotel & Other Local Spending*	City of Concord	=	$ 12,953,850	$ 13,323,960	$ 14,064,180	$ 14,434,290	$ 14,804,400	$ 187,090,605	**$ 256,671,285**

SUMMARY

	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6-20	TOTAL 20 YEARS
ANNUAL TAX REVENUE TO CABARRUS CO.	$ 511,971	$ 573,846	$ 615,907	$ 647,511	$ 670,936	$ 22,871,239	**$ 25,891,409**
ANNUAL LODGING/SALES TAX REV.	$ 457,472	$ 502,770	$ 547,190	$ 579,106	$ 601,202	$ 10,411,824	**$ 13,099,564**
TOTAL SALES TAX REVENUE	**$ 969,443**	**$ 1,076,615**	**$ 1,163,097**	**$ 1,226,617**	**$ 1,272,138**	**$ 33,283,063**	**$ 38,990,973**
ANNUAL JOB CREATION IN DOLLARS	$ 1,569,169	$ 1,660,684	$ 1,843,252	$ 1,901,800	$ 1,973,681	$ 32,565,742	**$ 41,514,327**
ANNUAL CONSUMER SPENDING	$ 12,953,850	$ 13,323,960	$ 14,064,180	$ 14,434,290	$ 14,804,400	$ 187,090,605	**$ 256,671,285**
TOTAL ADDITIONAL LOCAL ECONOMIC IMPACT	**$ 14,523,019**	**$ 14,984,644**	**$ 15,907,432**	**$ 16,336,090**	**$ 16,778,081**	**$ 219,656,347**	**$ 298,185,612**
TOTAL ANNUAL TAX REVENUE GENERATION & ECONOMIC IMPACT	**$ 15,492,461**	**$ 17,137,875**	**$ 18,233,625**	**$ 18,789,324**	**$ 19,322,358**	**$ 286,222,472**	**$ 337,176,585**
TOTAL TWENTY YEAR REVENUE TO CABARRUS COUNTY	**$ 337,176,585**						

SITE ANALYSIS

TAX PARCEL NUMBER (PIN)	4599-04-6350
SITE AREA	(122,721 SF) 2.8173 ACRES
EXISTING ZONING	C-2
PROPOSED HOTEL BUILDING, 5 STORY (NO MEETING or RESTAURANT SPACE)	±93,340 SF
PROPOSED NUMBER OF ROOMS	166 ROOMS
PARKING REQUIRED @ 1 per ROOM + 1 per 800 SF OF Meeing/Rest. Space	166 SPACES
PARKING PROVIDED (33 COMPACT - 20%)	166 SPACES
PARKING BIKE SPACES REQUIRED @ 1/30 Rooms	6 SPACES
PARKING BIKE SPACES PROVIDED	6 SPACES
MAX. ALLOWED BLDG. HEIGHT *	72' (48+24)
PROPOSED BUILDING HEIGHT	±68.33' (5-story)
EXISTING IMPERVIOUS AREA	8,737 SF (0.201 ACRES)
PROPOSED IMPERVIOUS AREA	82,216 (1.887 ACRES)
TOTAL IMPERVIOUS AREA	90,953 SF (2.088 ACRES) ±74.1%

* PER TABLE 7.7.2-A OF THE CONCORD DEVELOPMENT ORDINANCE THE MAXIMUM HEIGHT MAY BE INCREASED BY ONE (1) FOOT FOR EACH ONE (1) FOOT OF ADDITIONAL BUILDING SETBACK. IN THIS CASE 24' OF ADDITIONAL BUILDING FRONT SETBACK IS PROVIDED; THEREFORE, THE INCREASED MAX. ALLOWED BUILDING HEIGHT 72' (48' + 24'=72').

PAVING LEGEND

CONCRETE PAVEMENT
ITEM 710 6" PORTLAND CEMENT CONCRETE (4500 PSI)
PAVEMENT #4 BARS @ 12" O.C. EACH WAY
ITEM 520 4" GRADED AGGREGATE BASE

LIGHT DUTY PAVEMENT
ITEM 610 2" TYPE S 9.5A ASPHALTIC CONCRETE SURFACE COURSE
ITEM 520 6" GRADED AGGREGATE BASE COURSE (ABC)

HEAVY DUTY PAVEMENT
ITEM 610 1.5" TYPE S 9.5A ASPHALTIC CONCRETE SURFACE COURSE
ITEM 610 1.5" TYPE I 19.0B ASPHALTIC CONCRETE
ITEM 520 8" GRADED AGGREGATE BASE COURSE (ABC)

NC GRANDLAND, LLC
D.B. 10542, PG. 239
LOT 5
WEDDINGTON ROAD COMMONS
M.B. 58, PG. 45-46
PARCEL 45990435540000

ITS CONCORD LP
D.B. 11710, PG. 295
LOT 1
WEDDINGTON ROAD COMMONS
M.B. 58, PG. 45-46
PARCEL 45990458820000

RIDDHI VINAYAK, INC.
D.B. 12904, PG. 204
LOT 3
KINGS GRANT NORTHEAST QUADRANT
M.B. 35, PG. 38
PARCEL 45990349840000

CONCORD WP COL CONCORD LLC
D.B. 14019, PG. 249
LOT 3
WEDDINGTON ROAD COMMONS
M.B. 58, PG. 45-46
PARCEL 45990495290000

DUAL BRAND HOTEL
±18,677 S.F.
(FOOTPRINT)
FFE=608.80

PROPOSED DUMPSTER ENCLOSURE
PROPOSED TRANSFORMER
PROPOSED RETAINING WALL (TYP.)
PROPOSED SECONDARY ELECTRICAL SERVICE CONDUIT
PROPOSED GENERATOR PAD
PROPOSED SIDEWALK
PROPOSED RETAING WALL
GATE (TYP.)
PROPOSED 4" DOMESTIC WATER SERVICE
PROPOSED 6" FIRE LINE
PROPOSED 6" LINE TO REMOTE FDC
PROPOSED ELECTRICAL SERVICE CONDUIT
PROPOSED REMOTE FDC
PROPOSED SIDEWALK (TYP.)
PROPOSED 6" SEWER SERVICE
CURB FLUME
CONNECT TO EXISTING SEWER SERVICE STUB-OUT
PROPOSED 6" RPZ FIRE LINE BACKFLOW ASSEMBLY
PROPOSED 4" RPZ DOMESTIC BACKFLOW ASSEMBLY
PROPOSED 1" RPZ IRRIGATION BACKFLOW ASSEMBLY
PROPOSED 2" TO 4" FITTING
PROPOSED UTILITY EASEMENT
PROPOSED 2" DOMESTIC WATER SERVICE
PROPOSED 1" IRRIGATION WATER METER
EXISTING WINDSTREAM UNDERGROUND CABLE
SITE BOUNDARY
PROPOSED 10' CITY OF CONCORD ELECTRIC EASEMENT
PROPOSED 18" CURB & GUTTER (TYP.)
PROPOSED SIGN (WILL BE PERMITTED SEPARATELY)
PROPOSED FENCE
PROPOSED NATURAL GAS SERVICE
3 ~ INVERTED "U" BIKE RACKS (6 SPACES)
ADA RAMP (TYP.)
DOOR (TYP.)
AMENITY PATIO
POOL
POOL EQUIPMENT ROOM
EXIST. TREE (TYP.)
8' TYPE A BUFFER (OUTSIDE 20' DRAINAGE ESMT.)
10' SETBACK
8' STREET YARD
5' LANDSCAPE BUFFER M.B. 58, PG. 45
5' LANDSCAPE BUFFER M.B. 58, PG. 44-45
8' STREET YARD STREET TREE BUFFER M.B. 58, PG. 44-45
20' DRAINAGE EASEMENT M.B. 33, PG. 39
30' ACCESS EASEMENT M.B. 58, PG. 45-46
5' PUBLIC ACCESS AND UTILITY EASEMENT M.B. 58, PG. 45-46
PROPOSED 26' MIN. FIRE APPARATUS ACCESS AISLE
POSSIBLE OVERLAP AREA 3,829 SQ. FT. 0.0879 ACRES
TERRACE IN CO. CONCORD, LLC D.B. 17753, PG. 212 LOT 4 WEDDINGTON ROAD COMMONS M.B. 58, PG. 45-46 PARCEL 45990435540000 122,721 SQ. FT 2.8173 ACRES
WEDDINGTON ROAD 100' PUBLIC R/W
COMMONS PARK CIRCLE NW

LINE LEGEND:

EASEMENT
PROPERTY LINE
PROPERTY LINE (NOT SURVEYED)
RIGHT-OF-WAY
RIGHT-OF-WAY (NOT SURVEYED)
SETBACK
CHAIN LINK FENCE
FIBER OPTIC LINE
GAS LINE
POWER LINE
POWER LINE (UNDERGROUND)
SANITARY SEWER PIPE
STORM DRAIN PIPE
TELEPHONE LINE (UNDERGROUND)
WATER LINE

LEGEND:

CB - CATCH BASIN
C&G - CURB & GUTTER
CBX - CABLE BOX
CMP - CORRUGATED METAL PIPE
DI - DROP INLET
ECM - EXISTING CONCRETE MONUMENT
EIP - EXISTING IRON PIPE
EIR - EXISTING IRON ROD
EMM - EXISTING METAL MONUMENT
EN - EXISTING NAIL
EU - END UNKNOWN
FH - FIRE HYDRANT
GM - GAS METER
GP - GATE POST
GV - GAS VALVE
GW - GUY WIRE
ICV - IRRIGATION CONTROL VALVE
JBX - JUNCTION BOX
LMP - LAMP POST
LP - LIGHT POLE
(M) - MEASURED
M.B. - MAP BOOK
N.G.S. - NATIONAL GEODETIC SURVEY
NIR - NEW IRON ROD
NN - NEW NAIL
O/HANG - OVERHANG
PB - POWER BOX
PIN - PARCEL IDENTIFICATION NUMBER
PM - POWER METER
PP - POWER POLE
PG. - PAGE
PVC - PLASTIC PIPE
(R) - RECORDED
R/W - RIGHT-OF-WAY
RCP - REINFORCED CONCRETE PIPE
SDMH - STORM DRAIN MANHOLE
SSMH - SANITARY SEWER MANHOLE
(T) - TOTAL
TB - TELEPHONE BOX
TPED - TELEPHONE PEDESTAL
TERR. - TERRACOTTA PIPE
WB - WATER BOX
WM - WATER METER
WV - WATER VALVE

CONTROL POINT
NC GRID NAD83
N:594,333.07 FT
E:1,490,901.90 FT
NAVD88 ELEV:601.47 FT

0 10' 20' 40' 80'
SCALE: 1"= 20'

MDV Engineering P-0883
C/O Ayer Design Group
215 Johnston Street
Rock Hill, SC 29730
Phone: 704-400-1044
Email:michael@mdveng.com

PROJECT
DUAL BRAND HOTEL DEVELOPMENT
7890 COMMONS PARK CIRCLE NW
CONCORD, NC 28027
(CABARRUS COUNTY)

FOR
HAWKEYE HOTELS
2706 JAMES ST.
CORALVILLE, IA 52241
PH: 319.752.7400 ext. 1028

REVISIONS

DWG. NAME : 2022-101
DRAWN BY : MDN
DATE. : 5.31.22
SCALE: 1:20

SITE & UTILITY PLAN

C-100

TOWNEPLACE SUITES
BY MARRIOTT
Fairfield
BY MARRIOTT
ELEVATE
architecture
studio

Nonresidential

14 Cabarrus Ave (CN-PSA-2023-00038)

14 Cabarrus Ave. W.

DRC	Entitled	Units	PRS Routed	Technically Approved
	Yes	1,600 sf event center max occupancy is 49	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	No	No	No

Allocation Request

Total	2023
945	945

Office	Small Area Plan	Part of Approved Mixed Use	Annexation (Not ED)	Logistics/Distribution	Total
0	1	0	0	0	1

Brief Summary

This proposal is to create a bar/cocktail lounge that will not serve food. They are calling the business "The Loft at 14th" and are planning to create a mid-to-upper scale establishment. This parcel is zoned City Center (CC) and is in the Center City Plan. This parcel is also in the Downtown Master Plan.

CN-PSA-2023-00038

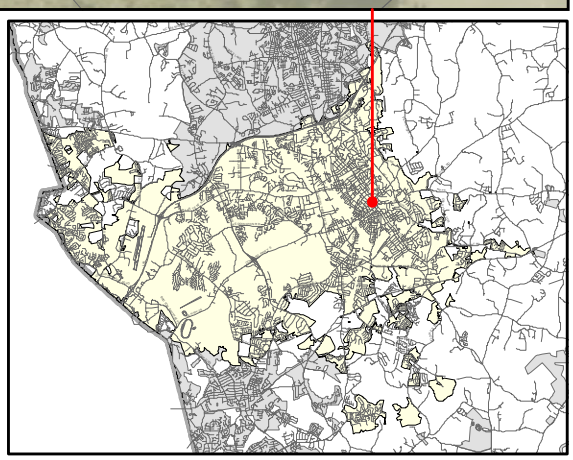
Type: Nonresidential

1,600 sf event center max occ. is 49

Allocation Request: 945

Project Score: 1

Developments
Parcels
Rivers
Concord
Cabarrus County



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	Project Title:	14 Cabarrus Ave West					
2.)	Description of project location:	14 Cabarrus Ave West, Concord, NC 28025 (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####)					
3.)	Cabarrus County Parcel Identification Number:	56208860910000	3a.)	Parcel Acreage:	778/SF		
4.)	Site Zoning and use:	CC	5.)	Area Commercial or Industrial Building (sq. ft.)	1600		
6a.)	Description of Facility to be served.		6b.) Number of Lots	1	6c.) Number of Units	1	
7d.)	Additional description information:	Currently a working event space, MAX Occupancy is 49					

B. Applicant Information

Garrett Price , Owner (Title) (**Name** of **legal owner**, **board**, **council**, and/or **authorized official with title**; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	503 New Castle CT NE (Applicant's Street or Box Number)
GTP Properties, LLC (**Name of Applicant's company, city, town, corporation, sanitary district, water company or other** defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	Concord, NC 28025 (Applicant's City, State, Zip Code)
(704) 692-6549 (Applicant's Phone Number)	 (Applicant's Facsimile Number)
Mark Dail (Name) mark@thedails.com (Email) (Name with Title and Email of contact person, who can answer questions about application)	garret@garrettprice.com (Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

(Typed name of North Carolina Professional Engineer)	(Company Name)
(NCPE Registration Number)	(Street or Box Number)
(Phone Number)	(City, State, Zip Code)
(Name and affiliation of contact person, who can answer questions about **application & designs**)	(Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

☐	Residential Subdivision	☐	Retail (Stores, shopping centers)
☐	Apartments/Condominiums	☐	Institution
☐	Mobile Home Park	☐	Hospital, nursing home, dental
☐	School, preschool, daycare	☐	Church
☐	Restaurants (Food or drink facilities)	☐	Sports Centers
☐	Hotels or motels	☐	Business, offices, factories
☑	Other (specify): Bar/Cocktail Lounge		

2.) The type of wastewater is (indicate percentage):

	% Domestic
100	**% Commercial**
	% Industrial
	% Other use (Specify) _____

3.) Pretreatment required:

◉ No

○ Yes **(Specify or attach effluent documentation)**

4.) **Volume of wastewater flow to be allocated for this particular project**: 915 gallons per day

*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**

(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**

a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)	No. of Units	Flow
Bar/Cocktail Lounge	20 gal/ seat	49	GPD 980
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
		Total	GPD 945 (credit of 35)

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I Mark Dail (Printed Name), **the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.**

Signature: Mark Dail Date: 6/24/2023

Project Narrative

14 Cabarrus Ave W

Concord, NC 28025

Lot is currently being used as an event space called 'The Loft at 14th'. The Loft will be converted to a bar/cocktail lounge that will NOT serve food. The MAX Occupancy is certified at 49 and with a 20G/Seat Daily Flow we have a GPD of 915 considering the credit of 35gpd for current use.

Minor exterior cosmetic renovations will be performed to include painting, roof coating, signage, etc. The interior upfit will include bar serving/seating space, window replacements, painting, minor relocation of non-structural walls, bathrooms renovations, ADA compliance, additional plumbing and electrical to accommodate bar and serving areas, and code upgrades. The space will not include structural renovations (unless required).

The bar/cocktail lounge aims to be a smaller mid-to-upper scale establishment.

Nonresidential

Concord Station West (CN-PSA-2023-00040)

535 Concord Pkwy. N.

DRC	Entitled	Units	PRS Routed	Technically Approved
	Yes	16,500 sf of shopping center with food service	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	No	No	No

Allocation Request

Total	2024
2,145	2,145

Office	Small Area Plan	Part of Approved Mixed Use	Annexation (Not ED)	Logistics/Distribution	Total
0	0	0	0	0	0

Brief Summary

This proposal is for MPV Properties to construct a commercial building that won't exceed 16,500 square feet on an outparcel of the Concord Station West Shopping Center. This parcel is zoned General Commercial (C-2).

CN-PSA-2023-00040

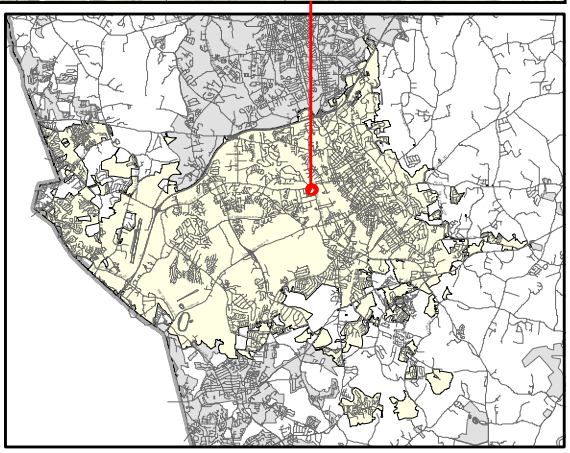
Type: Nonresidential

16,500 sf shopping center with food service

Allocation Request: 2,145

Project Score: 0

Developments
Parcels
Rivers
Concord
Cabarrus County



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	Project Title:	Concord Station West					
2.)	Description of project location:	SW corner of Concord Parkway N (US-29) and Poplar Tent Dr (SR-1394) (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####)					
3.)	Cabarrus County Parcel Identification Number:	5610 88 9731	3a.)	Parcel Acreage:	25.669		
4.)	Site Zoning and use:	C-2 (General Commercial)	5.)	Area Commercial or Industrial Building (sq. ft.)	16,500		
6a.)	Description of Facility to be served.	Shopping Center with Food Service	6b.)	Number of Lots	1	6c.) Number of Units	1
7d.)	Additional description information:						

B. Applicant Information

Concord Retail Investment Group LLC — Manager (Title)	2400 South Blvd, Suite 300
(Name of legal owner, board, council, and/or authorized official with title; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant)	(Applicant's Street or Box Number)
MPV Properties, LLC	Charlotte, NC 28203
(Name of Applicant's company, city, town, corporation, sanitary district, water company or other defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	(Applicant's City, State, Zip Code)
704-575-0396	704-248-2101
(Applicant's Phone Number)	(Applicant's Facsimile Number)
George Macon (Name) GMacon@mpvre.com (Email)	GMacon@mpvre.com
(Name with Title and Email of contact person, who can answer questions about application)	(Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

Alex Spence	Urban Design Partners
(Typed name of North Carolina Professional Engineer)	(Company Name)
050635	1213 W Morehead St, Ste 450
(NCPE Registration Number)	(Street or Box Number)
704-334-3303	Charlotte, NC 28202
(Phone Number)	(City, State, Zip Code)
Alex Spence	aspence@urbandesignpartners.com
(Name and affiliation of contact person, who can answer questions about application & designs)	(Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

☐	Residential Subdivision	☑	Retail (Stores, shopping centers)
☐	Apartments/Condominiums	☐	Institution
☐	Mobile Home Park	☐	Hospital, nursing home, dental
☐	School, preschool, daycare	☐	Church
☐	Restaurants (Food or drink facilities)	☐	Sports Centers
☐	Hotels or motels	☐	Business, offices, factories
☐	Other (specify):_____		

2.) The type of wastewater is (indicate percentage):

	% Domestic
100	**% Commercial**
	% Industrial
	% Other use (Specify) _____

3.) Pretreatment required:
- ◉ No
- ○ Yes **(Specify or attach effluent documentation)**

4.) **Volume of wastewater flow to be allocated for this particular project:** 2,145 gallons per day
*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**
(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**
- a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).
- b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{**Flow rates NOT listed in table 15A NCAC 2T .0114** must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)	No. of Units	Flow
Shopping center with food service	130 gal/ 1000	16,500 sf	GPD 2,145
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
		Total	GPD 2,145

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I _ George Mason _ **the undersigned, do hereby make application for preliminary wastewater**
(Printed Name)

allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.

Signature: _____ Date: 5/1/2023

CONCORD STATION WEST
PRELIMINARY WASTEWATER FLOW APPLICATION
NARRATIVE AND CALCS

DATE: 04/28/2023

UDP PROJECT NO: 23-CLT-009

APPLICANT

MPV Properties

George Macon

2400 South Boulevard, Suite 300

Charlotte, NC 28203

704-575-0369

ENGINEER

Urban Design Partners

Alex Spence, P.E.

1213 W Morehead Street, Suite 450

Charlotte, NC 28208

704-334-3303

704-334-3305 (fax)

PROJECT LOCATION

535 Concord Pkwy N, Concord, NC 28027

NARRATIVE

MPV Properties intends to construct a commercial use within the existing 25.669 ac shopping center site at the southwest corner of Concord Parkway N and Poplar Tent Dr (PIN # 5610 88 9731, Zoning: C-2).

This development will consist of one commercial building ("Building") not to exceed ±16,500 square feet. The Building will be located on an outparcel of the Concord Station West Shopping Center that was redeveloped by MPV Properties in 2021. The Shopping Center is currently 100% leased. For reference, the major tenants in this shopping center include Elevation Church and Stars and Strikes. Please refer to Exhibit A for approximate outparcel Building location.

There is an existing sewer main on Concord Parkway (NCDOT plans C-4918A) located at the access on the east side of the property and an existing private sewer service within the Shopping Center serving the current use(s). The Building will be served through a connection to the existing sewer infrastructure.

The following calculations illustrate the sanitary sewer demands for each building based on values provided by the City of Concord and found in 15A NCAC 02T .0114.

SANITARY SEWER CALCULATIONS

Shopping Center:

Shopping center with food service: 16,500 sf * 130 GPD/1000 sq ft = 2,145 GPD

Total Sanitary Sewer Demand: 2,145 GPD

15A NCAC 02T .0114 REFERENCES

Stores, shopping centers, malls and flea markets	
Auto, boat, recreational vehicle dealerships/showrooms with restrooms	125 gal/plumbing fixture
Convenience stores, with food preparation	60 gal/100 sq ft
Convenience stores, without food preparation	250 gal/plumbing fixture
Flea markets	30 gal/stall
Shopping centers and malls with food service	130 gal/1000 sq ft
Stores and shopping centers without food service	100 gal/1000 sq ft

GRAPHIC SCALE
60 0 30 60 120
1 INCH = 60 FEET

URBAN DESIGN PARTNERS
1213 w morehead st ste 450
charlotte, nc 28208
P 704.334.3303
urbandesignpartners.com
nc firm no: P-0418 sc coa no: C-03044

PRELIMINARY DRAWING
FOR REVIEW PURPOSES ONLY

04/28/2023

Concord Retail
Investment Group, LLC
2400 South Boulevard, Suite 300
Charlotte, NC 28203

Concord Station West

PIN: 5610889731

535 Concord Pkwy N Concord, NC 28027

NO. DATE: BY: REVISIONS:

Project No: 23-CLT-009
Date: 04.28.2023
Sheet No:

EX-A

Nonresidential

Cannon Run Amenity (CN-PSA-2023-00041)

8820 Harris Rd.

DRC	Entitled	Units	PRS Routed	Technically Approved
	Yes	4,000 sf amenity building and 3,000 sf pool	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	No	No	No

Allocation Request

Total	2024
3,200	**3,200**

Office	Small Area Plan	Part of Approved Mixed Use	Annexation (Not ED)	Logistics/Distribution	Total
0	0	1	0	0	1

Brief Summary

This proposal is for the amenity center and pool to lie within the Cannon Run neighborhood. The parcel is zoned Planned Unit Development (PUD), and the neighborhood is part of a conditional rezoning.

CN-PSA-2023-00041

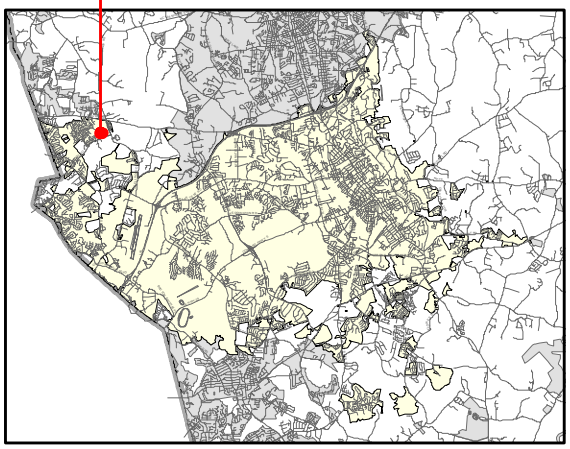
Type: Nonresidential

4,000 sf Amenity Building and 3,000sf pool

Allocation Request: 3,200

Project Score: 1

Developments
Parcels
Rivers
Concord
Cabarrus County



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	Project Title:	Cannon Run Amenity					
2.)	Description of project location:	Located east of proposed Resolve Ave NW, approx 1450 lf NW of the intersection of Harris Road (SR 1449) and Odell School Road (SR 1442), in Cannon Run Subdivision (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####))					
3.)	Cabarrus County Parcel Identification Number:	46814796510000	3a.)	Parcel Acreage:	60.78		
4.)	Site Zoning and use:	PUD	5.)	Area Commercial or Industrial Building (sq. ft.)	0		
6a.)	Description of Facility to be served.	Amenity Area	6b.) Number of Lots	0	6c.) Number of Units	0	
7d.)	Additional description information:	4,000 SF Amenity Building and 3,000 SF Pool					

B. Applicant Information

Glenn Warren , Project Manager (Title) (**Name** of **legal owner**, **board**, **council**, and/or **authorized official with title**; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	11121 Carmel Commons Blvd #450 (Applicant's Street or Box Number)
Pulte Home Company, LLC (**Name of Applicant's company, city, town, corporation, sanitary district, water company or other** defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	Charlotte, NC 28226 (Applicant's City, State, Zip Code)
252.531.1919 (Applicant's Phone Number)	N/A (Applicant's Facsimile Number)
Glenn Warren (Name) Glenn.Warren@PulteGroup.com (Email) (Name with Title and Email of contact person, who can answer questions about application)	Glenn.Warren@PulteGroup.com (Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

Kevin Vogel (Typed name of North Carolina Professional Engineer)	LandDesign (Company Name)
21164 (NCPE Registration Number)	223 N. Graham Street (Street or Box Number)
704.333.0325 (Phone Number)	Charlotte, NC 28202 (City, State, Zip Code)
Austin Aiello (Name and affiliation of contact person, who can answer questions about **application & designs**)	aaiello@landdesign.com (Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

☐	Residential Subdivision	☐	Retail (Stores, shopping centers)
☐	Apartments/Condominiums	☐	Institution
☐	Mobile Home Park	☐	Hospital, nursing home, dental
☐	School, preschool, daycare	☐	Church
☐	Restaurants (Food or drink facilities)	☐	Sports Centers
☐	Hotels or motels	☐	Business, offices, factories
☑	Other (specify): Amenity Area		

2.) The type of wastewater is (indicate percentage):

100	**% Domestic**
	% Commercial
	% Industrial
	% Other use (Specify) _____

3.) Pretreatment required:
(●) No
( ) Yes **(Specify or attach effluent documentation)**

4.) **Volume of wastewater flow to be allocated for this particular project**: 3,200 gallons per day
*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**
(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**

a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)			No. of Units	Flow	
Amenity	0.5	gal/	SF	4,000	GPD	2,000
Pool	0.4	gal/	SF	3,000	GPD	1,200
		gal/			GPD	
		gal/			GPD	
		gal/			GPD	
		gal/			GPD	
				Total	GPD	3,200

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I Glenn Warren, **the undersigned, do hereby make application for preliminary wastewater**
(Printed Name)

allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.

Signature: Date: 5/2/23

PROJECT NARRATIVE

Project: Cannon Run Amenity
LDI PN: 1020222
Date: Created: May 2, 2023

Description:

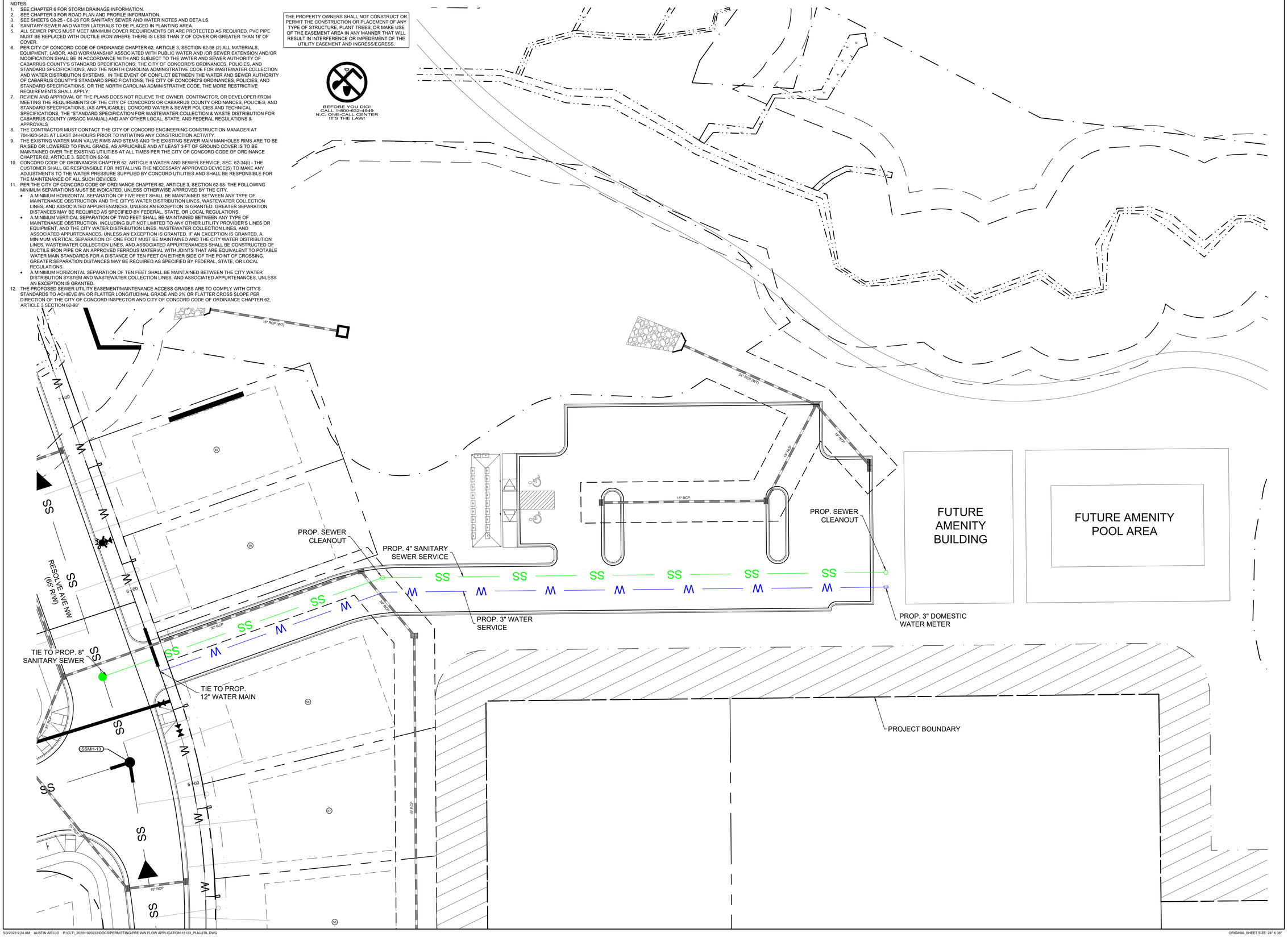
Cannon Run Amenity lies within the Cannon Run Subdivision in the City of Concord, North Carolina. The single-family development contains 211 individual units. The amenity area is located northwest of the intersection of Harris Road (SR 1449) and Odell School Road (SR 1442), with a driveway connecting along proposed Resolve Avenue NW.

The amenity area will include flows from the amenity building and pool. We have estimated a total flow of 3,200 GPD. 2,000 GPD is required for the 4,000 sf amenity building and 1,200 GPD for the 3,000 sf pool. Utilities required for the amenity area include a 4" sewer line connecting to a proposed 8" line and 3" water line tying to a proposed 12" water main along proposed Resolve Avenue NW.

NOTES:
1. SEE CHAPTER 6 FOR STORM DRAINAGE INFORMATION.
2. SEE CHAPTER 3 FOR ROAD PLAN AND PROFILE INFORMATION.
3. SEE SHEETS CB-25 - CB-26 FOR SANITARY SEWER AND WATER NOTES AND DETAILS.
4. SANITARY SEWER AND WATER LATERALS TO BE PLACED IN PLANTING AREA.
5. ALL SEWER PIPES MUST MEET MINIMUM COVER REQUIREMENTS OR ARE PROTECTED AS REQUIRED. PVC PIPE MUST BE REPLACED WITH DUCTILE IRON WHERE THERE IS LESS THAN 3' OF COVER OR GREATER THAN 16' OF COVER.
6. PER CITY OF CONCORD CODE OF ORDINANCE CHAPTER 62, ARTICLE 3, SECTION 62-98 (2) ALL MATERIALS, EQUIPMENT, LABOR, AND WORKMANSHIP ASSOCIATED WITH PUBLIC WATER AND /OR SEWER EXTENSION AND/OR MODIFICATION SHALL BE IN ACCORDANCE WITH AND SUBJECT TO THE WATER AND SEWER AUTHORITY OF CABARRUS COUNTY'S STANDARD SPECIFICATIONS; THE CITY OF CONCORD'S ORDINANCES, POLICIES, AND STANDARD SPECIFICATIONS, AND THE NORTH CAROLINA ADMINISTRATIVE CODE FOR WASTEWATER COLLECTION AND WATER DISTRIBUTION SYSTEMS. IN THE EVENT OF CONFLICT BETWEEN THE WATER AND SEWER AUTHORITY OF CABARRUS COUNTY'S STANDARD SPECIFICATIONS; THE CITY OF CONCORD'S ORDINANCES, POLICIES, AND STANDARD SPECIFICATIONS, OR THE NORTH CAROLINA ADMINISTRATIVE CODE, THE MORE RESTRICTIVE REQUIREMENTS SHALL APPLY.
7. REVIEW AND APPROVAL OF THE PLANS DOES NOT RELIEVE THE OWNER, CONTRACTOR, OR DEVELOPER FROM MEETING THE REQUIREMENTS OF THE CITY OF CONCORD'S OR CABARRUS COUNTY ORDINANCES, POLICIES, AND STANDARD SPECIFICATIONS, (AS APPLICABLE), CONCORD WATER & SEWER POLICIES AND TECHNICAL SPECIFICATIONS, THE "STANDARD SPECIFICATION FOR WASTEWATER COLLECTION & WASTE DISTRIBUTION FOR CABARRUS COUNTY (WSACC MANUAL) AND ANY OTHER LOCAL, STATE, AND FEDERAL REGULATIONS & APPROVALS
8. THE CONTRACTOR MUST CONTACT THE CITY OF CONCORD ENGINEERING CONSTRUCTION MANAGER AT 704-920-5425 AT LEAST 24-HOURS PRIOR TO INITIATING ANY CONSTRUCTION ACTIVITY.
9. THE EXISTING WATER MAIN VALVE RIMS AND STEMS AND THE EXISTING SEWER MAIN MANHOLES RIMS ARE TO BE RAISED OR LOWERED TO FINAL GRADE, AS APPLICABLE AND AT LEAST 3-FT OF GROUND COVER IS TO BE MAINTAINED OVER THE EXISTING UTILITIES AT ALL TIMES PER THE CITY OF CONCORD CODE OF ORDINANCE CHAPTER 62, ARTICLE 3, SECTION 62-98.
10. CONCORD CODE OF ORDINANCES CHAPTER 62, ARTICLE II WATER AND SEWER SERVICE, SEC. 62-34(I) - THE CUSTOMER SHALL BE RESPONSIBLE FOR INSTALLING THE NECESSARY APPROVED DEVICE(S) TO MAKE ANY ADJUSTMENTS TO THE WATER PRESSURE SUPPLIED BY CONCORD UTILITIES AND SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL SUCH DEVICES.
11. PER THE CITY OF CONCORD CODE OF ORDINANCE CHAPTER 62, ARTICLE 3, SECTION 62-98- THE FOLLOWING MINIMUM SEPARATIONS MUST BE INDICATED, UNLESS OTHERWISE APPROVED BY THE CITY.
    - A MINIMUM HORIZONTAL SEPARATION OF FIVE FEET SHALL BE MAINTAINED BETWEEN ANY TYPE OF MAINTENANCE OBSTRUCTION AND THE CITY'S WATER DISTRIBUTION LINES, WASTEWATER COLLECTION LINES, AND ASSOCIATED APPURTENANCES, UNLESS AN EXCEPTION IS GRANTED. GREATER SEPARATION DISTANCES MAY BE REQUIRED AS SPECIFIED BY FEDERAL, STATE, OR LOCAL REGULATIONS.
    - A MINIMUM VERTICAL SEPARATION OF TWO FEET SHALL BE MAINTAINED BETWEEN ANY TYPE OF MAINTENANCE OBSTRUCTION, INCLUDING BUT NOT LIMITED TO ANY OTHER UTILITY PROVIDER'S LINES OR EQUIPMENT, AND THE CITY WATER DISTRIBUTION LINES, WASTEWATER COLLECTION LINES, AND ASSOCIATED APPURTENANCES, UNLESS AN EXCEPTION IS GRANTED. IF AN EXCEPTION IS GRANTED, A MINIMUM VERTICAL SEPARATION OF ONE FOOT MUST BE MAINTAINED AND THE CITY WATER DISTRIBUTION LINES, WASTEWATER COLLECTION LINES, AND ASSOCIATED APPURTENANCES SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE OR AN APPROVED FERROUS MATERIAL WITH JOINTS THAT ARE EQUIVALENT TO POTABLE WATER MAIN STANDARDS FOR A DISTANCE OF TEN FEET ON EITHER SIDE OF THE POINT OF CROSSING. GREATER SEPARATION DISTANCES MAY BE REQUIRED AS SPECIFIED BY FEDERAL, STATE, OR LOCAL REGULATIONS.
    - A MINIMUM HORIZONTAL SEPARATION OF TEN FEET SHALL BE MAINTAINED BETWEEN THE CITY WATER DISTRIBUTION SYSTEM AND WASTEWATER COLLECTION LINES, AND ASSOCIATED APPURTENANCES, UNLESS AN EXCEPTION IS GRANTED.
12. THE PROPOSED SEWER UTILITY EASEMENT/MAINTENANCE ACCESS GRADES ARE TO COMPLY WITH CITY'S STANDARDS TO ACHIEVE 8% OR FLATTER LONGITUDINAL GRADE AND 2% OR FLATTER CROSS SLOPE PER DIRECTION OF THE CITY OF CONCORD INSPECTOR AND CITY OF CONCORD CODE OF ORDINANCE CHAPTER 62, ARTICLE 3 SECTION 62-98"

THE PROPERTY OWNERS SHALL NOT CONSTRUCT OR PERMIT THE CONSTRUCTION OR PLACEMENT OF ANY TYPE OF STRUCTURE, PLANT TREES, OR MAKE USE OF THE EASEMENT AREA IN ANY MANNER THAT WILL RESULT IN INTERFERENCE OR IMPEDEMENT OF THE UTILITY EASEMENT AND INGRESS/EGRESS.

BEFORE YOU DIG!
CALL: 1-800-632-4949
N.C. ONE-CALL CENTER
IT'S THE LAW!



LandDesign.
223 NORTH GRAHAM STREET
CHARLOTTE, NC 28202
704.333.0325
WWW.LANDDESIGN.COM
NC ENG. FIRM LICENSE # C-0658

KEY MAP

SEAL

LANDDESIGN INC CORPORATE SEAL NORTH CAROLINA

NORTH CAROLINA PROFESSIONAL ENGINEER SEAL 21164 KEVIN W. VOGEL

05/03/2023

PROJECT

CANNON RUN

PULTEGROUP, INC.
HARRIS ROAD
CONCORD, NC 28027

LANDDESIGN PROJ.#
1018123/1020222

REVISION / ISSUANCE

NO.	DESCRIPTION	DATE
12	RTAP Submittal - Sewer	03/04/2022
13	RTAP - Storm Bypass	05/17/2022
14	NCDEQ Submittal	07/01/2022
15	NCDEQ Submittal	08/05/2022
16	RTAP Resubmittal	08/16/2022
17	NCDEQ Approved w/ Modifications	08/26/2022
18	RTAP Resubmittal	09/01/2022
19	RTAP Submittal	01/04/2023
20	RTAP Resubmittal	02/17/2023
21	LOT 211 RTAP Submittal	04/25/2023

DESIGNED BY: LDI
DRAWN BY: LDI
CHECKED BY: LDI

SCALE
N/A
HORZ: 1"=20'
0 10' 20' 40'

NORTH

SHEET TITLE

AMENITY UTILITY PLAN

SHEET NUMBER

EXHIBIT

Nonresidential

Highway 73 Industrial (CN-PSA-2023-00042)

1475 Westgate Cir. NW.

DRC	Entitled	Units	PRS Routed	Technically Approved
2/18/2021	Yes	2 industrial buildings totaling 419,000 sf	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	No	No	No

Allocation Request

Total	2024
11,600	**11,600**

Office	Small Area Plan	Part of Approved Mixed Use	Annexation (Not ED)	Logistics/Distribution	Total
0	0	0	0	1	1

Brief Summary

This proposal consists of two light industrial buildings that have a maximum of 500,000 square feet. This project went to Planning and Zoning Commission for a conditional rezoning Z(CD)07-21 and was approved on April 19, 2022. They applied and were approved for a Special Use Permit for distribution in April 2023. These parcels are zoned I-1-CD.

CN-PSA-2023-00042

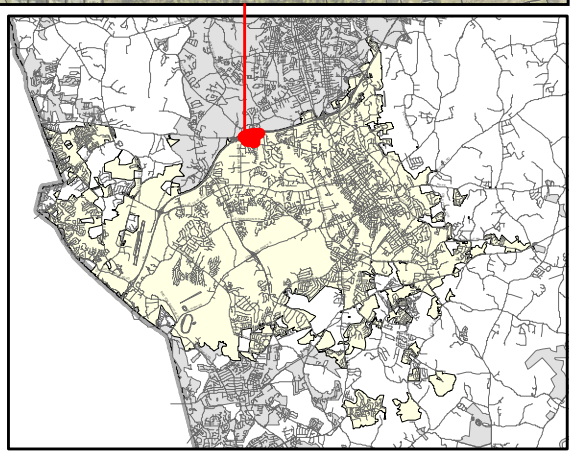
Type: Nonresidential

2 building industrial development totaling 419,000 sf

Allocation Request: 11,600

Project Score: 1

Developments
Parcels
Rivers
Concord
Cabarrus County
Other Municipalities



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	Project Title:	Hwy 73 Industrial					
2.)	Description of project location:	North side of NC Highway 73 from approximately 1400 LF to approx. 3200 LF east of insersection of NC Hwy 73 and I-85 (Example: Site located on (Road name) SR ####, approx ### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####)					
3.)	Cabarrus County Parcel Identification Number:	56018774250000, 56018881810000	3a.)	Parcel Acreage:	+/- 49.85		
4.)	Site Zoning and use:	I-1	5.)	Area Commercial or Industrial Building	(sq. ft.) 419,000		
6a.)	Description of Facility to be served.	Industrial	6b.) Number of Lots	1	6c.) Number of Units	2	
7d.)	Additional description information:	Two building industrial development					

B. Applicant Information

Tyler Jones , SVP (Title) (Name of legal owner, board, council, and/or authorized official with title; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	1 Glenlake Parkway (Applicant's Street or Box Number)
Robinson Weeks Partners (Name of Applicant's company, city, town, corporation, sanitary district, water company or other defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	Atlanta, GA, 30328 (Applicant's City, State, Zip Code)
404.815.2005 (Applicant's Phone Number)	(Applicant's Facsimile Number)
(Name) Tyler@robinsonweeks.com (Email) (Name with Title and Email of contact person, who can answer questions about application)	(Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

Greg Welsh, PE (Typed name of North Carolina Professional Engineer)	Oak Engineering, PLLC (Company Name)
033996 (NCPE Registration Number)	4929 Monroe Road (Street or Box Number)
704.989.4046 (Phone Number)	Charlotte, NC 28205 (City, State, Zip Code)
Greg Welsh, PE (Name and affiliation of contact person, who can answer questions about **application & designs**)	greg@oak.engineering (Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

☐	Residential Subdivision	☐	Retail (Stores, shopping centers)
☐	Apartments/Condominiums	☐	Institution
☐	Mobile Home Park	☐	Hospital, nursing home, dental
☐	School, preschool, daycare	☐	Church
☐	Restaurants (Food or drink facilities)	☐	Sports Centers
☐	Hotels or motels	☑	Business, offices, factories
☐	Other (specify):____		

2.) The type of wastewater is (indicate percentage):

	% Domestic
	% Commercial
100	**% Industrial**
	% Other use (Specify) ____

3.) Pretreatment required:
(●) No
( ) Yes **(Specify or attach effluent documentation)**

4.) **Volume of wastewater flow to be allocated for this particular project:** 11,600 gallons per day
*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**
(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**

a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)	No. of Units	Flow
WAREHOUSE	100 gal/ LOADING BAY	116	GPD 11,600
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
		Total	GPD 11,600

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I Tyler Jones (Printed Name), **the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.**

Signature: _____ Date: 6/22/23

HIGHWAY 73 INDUSTRIAL

PROEJCT NARRATIVE FOR SEWER ALLOCATION

Overview:

The proposed Highway 73 Industrial project consists of two light-industrial buildings located on the north side of Highway 73 in the City of Concord, Cabarrus County, North Carolina. The site has been conditional rezoned to allow for up to 419,000 SF of total building square footage. Each building will be rear-load industrial buildings with adequate employee and visitor parking in the front and truck dock in the rear. Trailer parking is also proposed for each building.

The building space will mostly be high-bay warehouse and light-manufacturing spaces with areas near the parking lots reserved for office space (approximately 10% of the overall building). The buildings will have three or four main office entry features and will likely by multi-tenanted with users leasing 30,000 to 50,000 SF spaces. Targeted tenants will include light-manufacturers, light-assembly and/or local distributors.

The development will incorporate enhanced vegetated buffers and walls to screen the development from adjoining properties. Refer to the approved conditional rezoning application for further details of the proposed buffers.

Environmental:

The property is bisected by a natural stream and associated stream buffers. The development will include a culverted crossing to allow for secondary emergency access between the buildings. The stream crossing along with permanent impact to an intermittent tributary to the main stream has been fully permitted through the US Army Corp of Engineers (USACOE) and the North Carolina Department of Environmental Quality (NCDEQ).

Stormwater management will be provided by up to two permanent stormwater management ponds. Sand filters and/or wet ponds may be used to meet local and state stormwater quality and quantity requirements.

Utilities:

Each building will be equipped with ESFR sprinkler systems which will require an internal fire pump for each building. Fire, domestic water and irrigation will be supplied off an existing watermain located on the near side of Highway 73. Domestic and irrigation will be metered and City-required backflow devices will be provided for all domestic, irrigation and fire services.

A public sanitary pump station is located on the property and will be upgraded as required to support the existing and proposed flow. This pump station currently pumps wastewater to the public gravity sewer system located in Highway 73. The existing forcemain will be rerouted as necessary to accommodate the proposed development. The pump station and forcemain will be placed in a recorded easement and will remain accessible and publicly maintained by the City of Concord.

The anticipated average daily wastewater generate by both buildings combined is estimated to be 11,600 gallons per day. This estimate is based on the number of loading bays multiplied by 100 gallons per day per loading bay as recommended by Section 15A NCAC 02T (North Carolina Administrative Code).

CN-SUP-2021-00011

4208 DAVIDSON HWY, CONCORD NC 28027

4/26/2023 12:46:59 PM

General Conditions

FIRE

General Comments

1.Provide construction type, square footage and height of the largest building
2.Request a hydrant flow to determine available water supply
3.Provide turning radius overlay for apparatus using the template below
4.Provide location of all existing and proposed fire hydrants.
5.Access road between sites shall be paved and meet minimum transportation street standards.
6.Both parking lots on left of building a will need to connect through to prevent dead ends exceeding 150ft

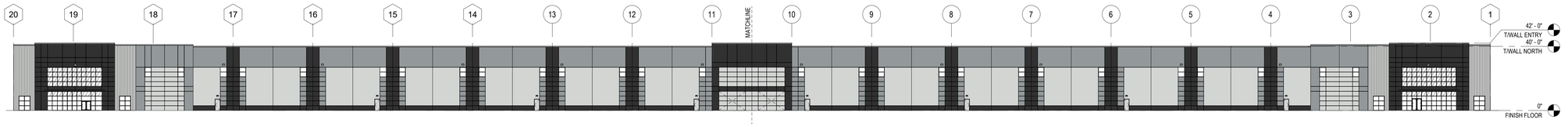
General Comments
1.This jurisdiction abides by and enforces the requirements of NFPA 241 for construction projects. A document we refer to as an NFPA 241 letter is required verifying that all parties involved in this project know of and agree, to abide by the provision requiring water, hydrants, and access roads be in operation prior to vertical combustible construction.
2.When fire apparatus access roads or a water supply for fire protection is required to be installed, such protection shall be installed and made serviceable prior to and during the time of construction except when approved alternative methods of protection are provided. (NCFC 501.4)
3.Needed Fire Flow for the structure must be provided and maintained.
4.The site address shall be posted in a temporary form and upon completion in a permanent form in a visible location in 6-inch characters in a reflective material & contrasting color. (NCFC 505.1)
5.Approved fire apparatus access roads shall be provided for every facility or building within the jurisdiction. The fire apparatus access shall extend to within 150 feet of all portions of the facility as measured by an approved route around the exterior of the facility. (NCFC 503.1.1)
6.Access roads to building are required to be 20 feet in width for buildings up to 30 feet high and 26 feet for those over 30 feet. (NCFC 503.2.1)
7.Fire access roads shall have unobstructed clearance of 13 foot 6 inches. (NCFC 503.2.1)
8.The required turning radius of fire access roads shall be determined by the fire official. (NCFC 503.2.4)

9.Dead end access roads in excess of 150 feet in length shall be provided with an approved area for turning around fire apparatus. (NCFC 503.2.5)
10.Fire lanes required for access to the structure are required to be stripped and marked by signs prohibiting parking in areas where access may be blocked. Blockage to access after construction may result in future requirements for stripping and signage. Contact Concord Fire Prevention Division prior to lane stripping for details. All lanes shall be marked in accordance with department specifications and approved prior to installation. (NCFC 503.3)

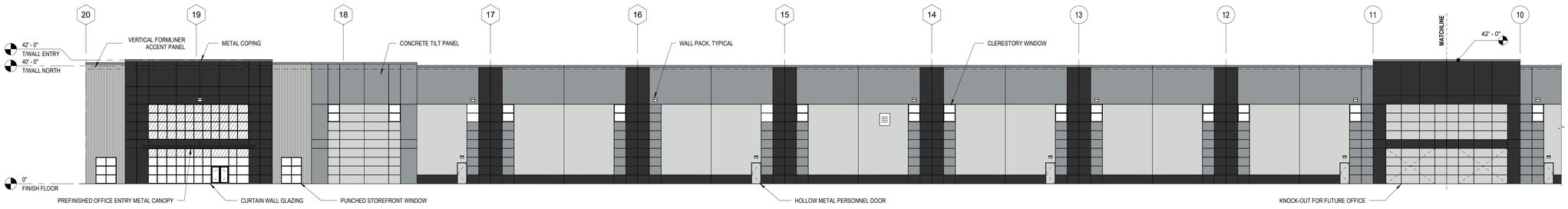
11.Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the building, on-site fire hydrant and mains shall be provided where required by the fire code official. (NCFC 507.5.1)
12.Fire Hydrants – Public hydrants shall be painted yellow and Private Hydrants shall be painted Red. All new hydrants shall be equipped with a 5" Storz fitting.
13.Fire Department Connections (FDC) shall be provided for sprinkler systems and be remote from the building with signage. (NCFC 912.1). The location may not obstruct access to the buildings for other fire apparatus due hose connection (NCFC 912.2) see section 912 for details on FDC's.
14.Fire Hydrants are required within 200 feet of the location of the FDC.
15.Structures under construction are required to have temporary fire extinguishers on site during construction.
16.Fire apparatus access roads shall not exceed 10 percent in grade. (NCFC D103.2)
17.Buildings exceeding three stories or 30 feet in height shall have at least two means of fire apparatus access for each structure. (NCFC D105.1 & D105.2)
18.Buildings exceeding 62,000 sqft. without sprinklers or 124,000 sqft. with sprinklers shall have two access roads placed a distance apart equal to not less than one half of the length of the maximum overall diagonal dimension of the property or area to be served, measured in a straight line between accesses. (NCFC D104.2 & D104.3)
19.Where two access roads are required, they shall be placed a distance apart equal to not less than one half of the length of the maximum overall diagonal dimension of the property or area to be served, measure in a straight line between accesses. (NCFC D104.3)
20.Please see Concord Fire Prevention Division's Web Page for details and specifications (http://www.concordnc.gov/Departments/Fire/Fire-Prevention-Division/Fire-Prevention-Division-Downloads).

Please understand that approval of these documents in no way relieves the owner, architect, or engineer from responsibility related to violations of the governing codes and regulations not found by our office or other reviewing agencies. When such violations are found they must be corrected.

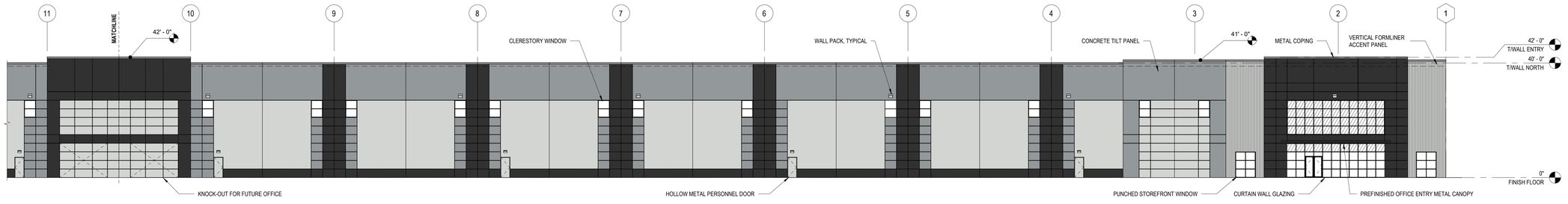
•The Occupancy of the building/upfit area shall not be conducted prior to a Certificate of Compliance & Occupancy being obtained from the Cabarrus County Building Inspection Department.



1 A-201 SOUTH ELEVATION
1" = 30'-0"

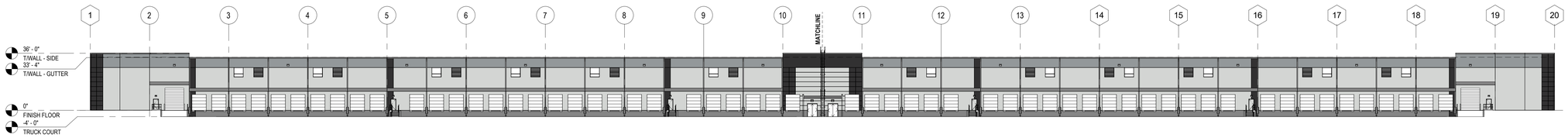


2 A-201 SOUTH ELEVATION 'A'
1/16" = 1'-0"

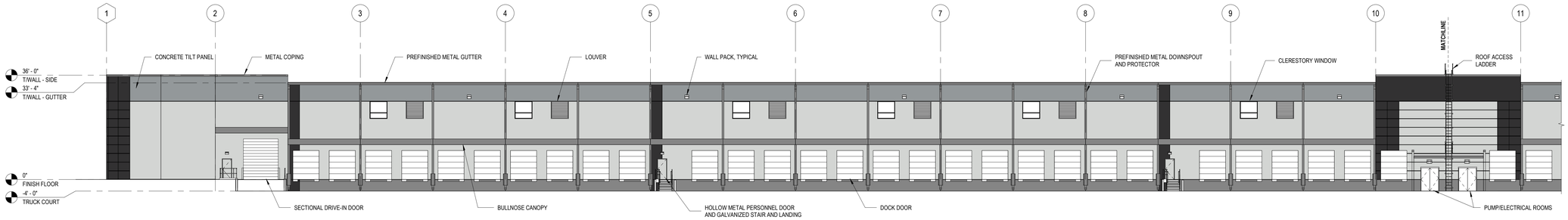


3 A-201 SOUTH ELEVATION 'B'
1/16" = 1'-0"

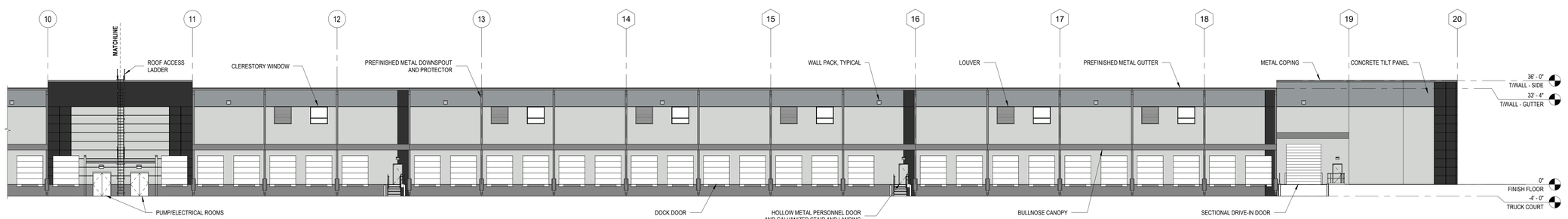
SOUTH ELEVATION



1 A-202 NORTH ELEVATION
1" = 30'-0"

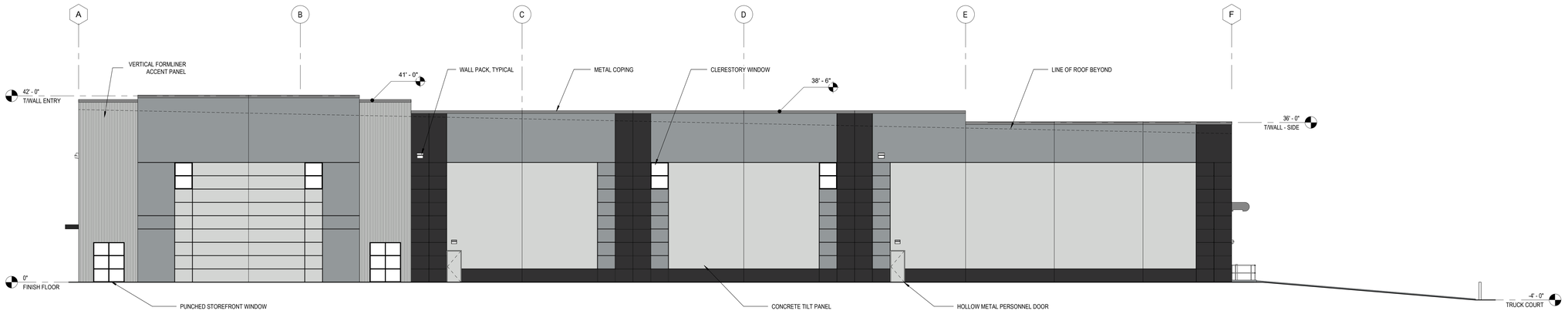


2 A-202 NORTH ELEVATION 'A'
1/16" = 1'-0"

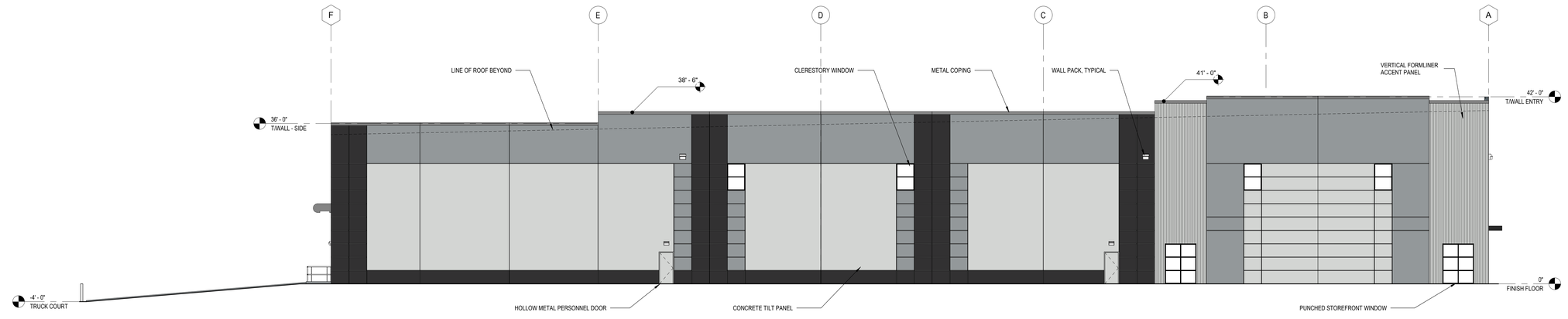


3 A-202 NORTH ELEVATION 'B'
1/16" = 1'-0"

NORTH ELEVATION



1 A-203 EAST ELEVATION
3/32" = 1'-0"

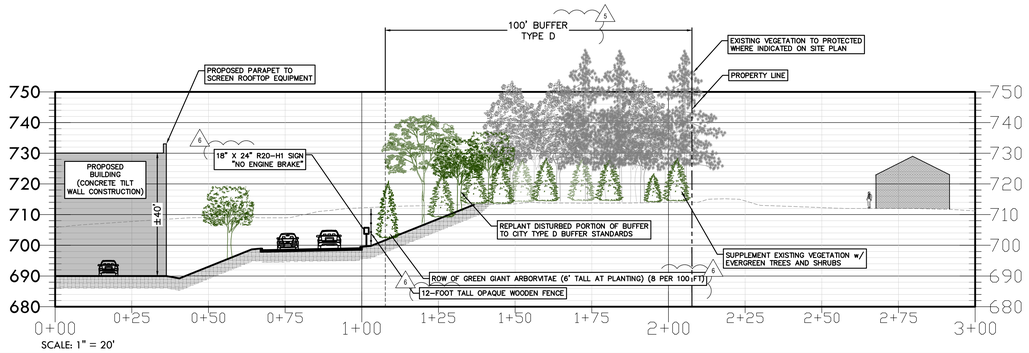


2 A-203 WEST ELEVATION
3/32" = 1'-0"

EAST & WEST ELEVATIONS

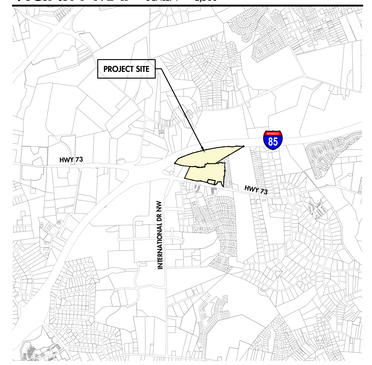
TIA was submitted indicating the industrial portion as Phase 1 and the commercial portion as Phase 2. The TIA indicates that the capacity of NC73 is inadequate to support the traffic from Phase 2. Only recommend approval of the industrial portion (Phase 1) at this time. If the ITE Land Use Code used in the original TIA changes, and/or the estimated trip generation changes then the TIA will need to be revised prior to further approvals.

PROPOSED STORMWATER BMP
BUILDING A AMENITY AREA
12' LEVEL 4 STREET YARD AND 8' PARKING LOT YARD (MEASURED BEHIND UTILITY EASEMENTS)
PROPOSED PRIVATE HYDRANT
HOSE PULL (400 MAX)
30' CLASS 2 STREAM BUFFER (UNDISTURBED)
10' VEGETATED BUFFER
PROPOSED PRIVATE HYDRANT
EMPLOYEE PARKING
BUILDING ENVELOPE A
± 178,500 SF GFA
(TYPE IIA TILT CONCRETE CONSTRUCTION.
APPROX. HEIGHT 45')
TRUCK COURT
PROPOSED PEDESTRIAN SIDEWALK TO CONNECT BUILDING TO PROPERTY LINE
ZONED RC
50' TYPE D BUFFER YARD EXISTING VEGETATION 8-INCHES IN DIAMETER AND GREATER SHALL BE PRESERVED TO THE GREATEST EXTENT POSSIBLE.
PROPOSED CULVERT CROSSING & STREAM IMPACT TO BE PERMITTED THROUGH THE USACOE & NCDEQ
EXISTING REGIONAL PUBLIC LIFT STATION TO REMAIN PUMPS & FORCEMAIN TO BE REMOVED & REPLACED BY DEVELOPER AS REQUIRED TO SUPPORT NEW DEVELOPMENT
PROPOSED PRIVATE HYDRANT
PROPOSED PRIVATE HYDRANT
PROPOSED FDC
ZONED C-2
PROPOSED STORMWATER BMP
PROPOSED STREAM IMPACT TO BE PERMITTEDTHROUGH THE USACOE & NCDEQ
PROPOSED PRIVATE HYDRANT
TRAILER PARKING
TRUCK COURT
PROPOSED FDC
PROPOSED PRIVATE HYDRANT
PROPOSED 26' WIDE PAVED EMERGENCY ACCESS ROAD FOR & PUBLIC UTILITY ACCESS. PAVEMENT SHALL BE CAPABLE OF SUPPORTING A FIRE APPARATUS (MEETING MEDIUM TRANSPORTATION STREET STANDARDS)
FIRE TRUCK TURN MOVEMENTS (TYP)
MX-CC2 (CURRENT ZONING)
C-2 (PROPOSED ZONING)
BUILDING ENVELOPE B
± 240,500 SF GFA
(TYPE IIA TILT CONCRETE CONSTRUCTION.
APPROX. HEIGHT 45')
217,838 SQ. FT. OR 5.0009 ACRES
SUBJECT TO SECTION 9.F OF THE DEVELOPMENT STANDARDS, THE EXISTING VEGETATION IN THESE PORTIONS OF THE 100 FOOT WIDE TYPE D BUFFER SHALL BE PRESERVED. DEVELOPER SHALL INSTALL SUPPLEMENTAL TREES AND SHRUBS IN THE EVENT THAT THE EXISTING VEGETATION IN THESE PORTIONS OF THE 100 FOOT WIDE TYPE D BUFFER DOES NOT MEET THE REQUIREMENTS OF A TYPE D BUFFER.
ZONED RC
EMPLOYEE PARKING
HOSE PULL (400 MAX)
INTERNATIONAL DR NW
ZONED C-2-CD
EXISTING SIGNALIZED INTERSECTION.
HIGHWAY 73
ZONED RC-CU
THIS PORTION OF PARCEL 5601877425 AND ALL OF PARCEL 5601778447 TO BE REZONED TO C-2 (GENERAL COMMERCIAL). THE C-2 PORTION OF THIS REOZONING WILL BE RECOMBINED PRIOR TO CLOSING AND RETAINED BY SELLER
30' BUILDING SETBACK AND 30' TYPE C BUFFER AS DEFINED BY TABLE 11.4-2 OF THE ORDINANCE.
12' LEVEL 4 STREET YARD AND 8' PARKING LOT YARD (MEASURED BEHIND UTILITY EASEMENTS)
PROPOSED 4' TALL BLACK POWDER-COATED ALUMINUM DECORATIVE FENCING w/ EVERGREEN SHRUBS PLANTED 5' O.C. ON STREET-SIDE INSTALL BETWEEN STREET YARD AND PARKING LOT YARD
PROPOSED 24-INCH CURB AND GUTTER, PLANTING STRIP AND 5' CONCRETE SIDEWALK PER CITY OF CONCORD ORDINANCE
EXISTING RIGHT-OF-WAY LINE (EXCEEDS 67.5' FROM C/L OF HWY 73)
BUILDING B AMENITY AREA
ZONED C-2
FIRE TRUCK TURN MOVEMENTS (TYP)
ZONED PUD
PROPOSED FULL MOVEMENT DRIVEWAY FOR CARS AND TRUCKS w/ A 10' X 100' (MIN) LANDSCAPED BOULEVARD. DRIVEWAY SHALL ALIGN WITH BRANSON ROAD NW.
EXISTING PUBLIC HYDRANT (TO BE RELOCATED)
100' TYPE D BUFFER YARD
GREEN GIANT ARBORVITAE 6' TALL AT PLANTING 12.5' O.C. (8 TREES PER 100')
12' TALL DOUBLE SIDED WOOD FENCE ALONG ENTRANCE DRIVE
CONDITIONAL REZONING LIMITS
18" X 24" R20-H1 SIGN "NO ENGINE BRAKE"
NO ENGINE BRAKE
18" X 24" R2-1 SIGN "SPEED LIMIT 10"
SPEED LIMIT 10



SCALE: 1" = 20'

VICINITY MAP
SCALE: 1" = 2,500'



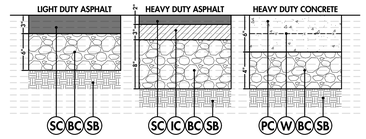
SITE DEVELOPMENT TABLE

PROJECT NAME:	HWY 73 INDUSTRIAL
PETITION NO:	CN-RZC-2021-00004
PETITIONER:	ROBINSON WEEKS PARTNERS
PLANS PREPARED BY:	OAK ENGINEERING, PLLC
ACREAGE:	±49.85 ACRES
TAX PARCEL NUMBERS:	5601888181, 5601879077, 5601877425 & 5601778447
CURRENT ZONING:	MX-CC2 (MIXED-USE COMMERCIAL CENTER LARGE)
PROPOSED ZONING:	I-1 CD (LIGHT INDUSTRIAL): ALL OF PARCELS 5601888181 & 5601879077 AND PART OF 5601877425 C-2 (COMMERCIAL): ALL OF PARCEL 5601778447 AND PART OF 5601877425
EXISTING USE:	VACANT
PROPOSED LAND USE:	3 REFER TO SECTION 2. OF THE DEVELOPMENT STANDARDS
MAXIMUM GFA:	± 419,000 SF
MAXIMUM HEIGHT:	50' (ADDITIONAL SETBACKS AS DEFINED IN ARTICLE 7.11.9 SHALL APPLY)
PARKING:	AS REQUIRED BY THE ORDINANCE FOR THE PERMITTED USES
JURISDICTION:	CITY OF CONCORD
WATERSHED DISTRICT:	NONE
FEMA INFORMATION:	MAP NO. 3710560100K MAP DATES: 11/16/2018 FLOOD ZONE: X

PAVEMENT HATCH LEGEND

LIGHT DUTY ASPHALT | HEAVY DUTY ASPHALT | CONCRETE PAVEMENT

PAVEMENT SECTIONS



SC ASPHALT SURFACE COURSE (S9.5B)
IC INTERMEDIATE COURSE (I19.0B)
BC AGGREGATE BASE COURSE
SB COMPACTED SUBBASE
W 6" x 6" #10 WELDED WIRE MESH (IF REQUIRED BY GEOTECH)

NOTES:
1. CONFIRM WITH GEOTECHNICAL ENGINEER FOR PAVEMENT SECTIONS AND SUBGRADE. NOTIFY ENGINEER IN CASE OF CONFLICT.
2. PROVIDE CONSTRUCTION JOINTS PER ACI AND/OR GEOTECHNICAL ENGINEER RECOMMENDATIONS (CONCRETE PAVEMENT ONLY).

7 DENOTES AREAS (EXCLUDING THE 100 FOOT WIDE TYPE D BUFFER) WHERE NATURAL VEGETATION WILL BE PRESERVED OR REPLANTED. (AREAS WITHIN LANDSCAPE BUFFERS SHALL BE REPLANTED TO REFLECT EXISTING DENSITY/OPACITY OR TO TYPE D BUFFER YARD REQUIREMENTS, WHICHEVER IS GREATER)

IMPERVIOUS AREA CALCULATIONS

PROPOSED IMPERVIOUS AREA
EXISTING SITE AREA: 2,171,512-SF (49.851-AC)

BUILDING IMPERVIOUS:	±419,000-SF
PAVEMENT IMPERVIOUS:	±385,000-SF
CONCRETE IMPERVIOUS:	±125,000-SF
TOTAL IMPERVIOUS:	±929,000-SF (42.8% IMPERVIOUS)

PARKING REQUIREMENTS

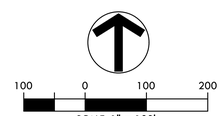
PARKING REQUIREMENT: 1 SPACE PER 400-SF GFA OF SALES/OFFICE AREA PLUS 1 SPACES PER COMPANY VEHICLE AT PEAK SHIFT

BUILDING A
REQUIRED PARKING: ±178,500-SF
ASSUME 15% SALES/OFFICE AREA = 26,800-SF
26,800/400 = 67 SPACES PLUS 10 COMPANY VEHICLES
77 SPACES ARE REQUIRED
PROVIDED PARKING: ±185 SPACES (INCLUSIVE OF ACCESSIBLE SPACES)

BUILDING B
REQUIRED PARKING: ±240,500-SF
ASSUME 15% SALES/OFFICE AREA PER BUILDING = 36,100-SF
36,100/400 = 91 SPACES PLUS 10 COMPANY VEHICLES
101 SPACES ARE REQUIRED
PROVIDED PARKING: 155 SPACES (INCLUSIVE OF ACCESSIBLE SPACES)

NOTES:

1. THE PROPOSED SITE IMPROVEMENTS ARE SUBJECT TO JURISDICTIONAL STREAMS AND ASSOCIATED STREAM BUFFERS IN ACCORDANCE WITH ARTICLE 4 - SECTION 4.3 OF THE CITY OF CONCORD DEVELOPMENT ORDINANCE. ANY STREAM OR WETLAND IMPACTS MUST BE PERMITTED IN ACCORDANCE WITH ARTILCLE 4 - SECTION 4.3.



SCALE: 1" = 100'

OAK ENGINEERING
4929 MONROE ROAD CHARLOTTE, NC 28205
NORTH CAROLINA FIRM LICENSE #P1742
oak.engineering

PE SEAL:
NORTH CAROLINA PROFESSIONAL SEAL 33996 ENGINEER GREGORY T. WELSH

HIGHWAY 73 INDUSTRIAL

REZONING PETITION
CONCORD, NORTH CAROLINA
ROBINSON WEEKS PARTNERS

REZONING PLAN

REVISIONS:
1. 10/18/21 - CITY STAFF COMMENTS
2. 01/25/22 - CITY STAFF COMMENTS
3. 03/10/22 - CITY STAFF COMMENTS
4. 04/13/22 - CITY STAFF COMMENTS
5. 05/06/22 - PLANNING BOARD FEEDBACK
6. 09/29/22 - NEIGHBORHOOD MEETING
7. 10/11/22 - CITY ARBORIST COMMENTS
8. 11/04/22 - SPECIAL USE REVIEW COMMENTS
9. 03/14/23 - SPECIAL USE REVIEW COMMENTS

ENGINEER: GTW
DRAWN BY: ERT
CHECKED BY: LJB

PROJECT #: 021.011

SHEET
RZ-1
SHEET 1 OF 2

DEVELOPMENT STANDARDS

April 13, 2022

1. GENERAL PROVISIONS

A. These Development Standards form a part of the Rezoning Plan associated with the Application for Zoning Map Amendment filed by Robinson Weeks Partners (the "Applicant") for an approximately 49.85 acre site (excluding right of way) located on the north side of Highway 73 (Davidson Highway), east of the Highway 73 – Interstate 85 interchange, which site is more particularly depicted on the Rezoning Plan (hereinafter referred to as the "Site"). The Site is comprised of all of Parcel Nos. 5601888181 and 5601879077 and a portion of Parcel No. 5601877425.

B. The development and use of the Site will be governed by the Rezoning Plan, these Development Standards and the applicable provisions of the Concord Development Ordinance (the "Ordinance").

C. Unless the Rezoning Plan or these Development Standards establish more stringent standards, the regulations established under the Ordinance for the I-1 zoning district shall govern all development taking place on the Site.

D. Future amendments to the Rezoning Plan and/or these Development Standards may be applied for by the then owner or owners of the Site in accordance with the provisions of Article 3 of the Ordinance. Minor amendments to the Rezoning Plan are subject to Section 3.2.9.H of the Ordinance.

2. PERMITTED USES/DEVELOPMENT LIMITATIONS

A. Subject to the limitations set out below, the Site may be devoted to:

(1) any use or uses permitted by right in the I-1 zoning district;

(2) any use or uses permitted with supplemental regulations in the I-1 zoning district;

(3) any special use or uses permitted in the I-1 zoning district upon the issuance of a special use permit in accordance with Article 6.2 of the Ordinance;

(4) any special use or uses with supplemental regulations permitted in the I-1 zoning district upon the issuance of a special use permit in accordance with Article 6.2 of the Ordinance; and

(5) any incidental or accessory uses associated with the uses set out above that are permitted under the Ordinance in the I-1 zoning district.

B. Notwithstanding the terms of paragraph 2.A above, the uses set out below that are listed in the Table of Uses (Section 8.1.8 of the Ordinance) shall be prohibited on the Site.

(1) Agricultural uses.

(2) Resource Extraction uses.

(3) Educational uses.

(4) Government Facilities.

(5) Passenger Terminals.

(6) Indoor Recreation uses.

(7) Outdoor Recreation uses.

(8) Retail Sales and Services.

(9) Vehicle Sales and Service.

(10) Commercial Parking as a Principal Use.

(11) Heavy Industrial uses.

(12) Self Service Storage.

C. A maximum of two principal buildings may be developed on the Site.

D. A total maximum of 419,000 square feet of gross floor area may be developed on the Site.

E. There are two building envelopes depicted on the Rezoning Plan that are designated as Building Envelope A and Building Envelope B. Minor adjustments to the locations of these building envelopes shall be allowed during the permitting process.

F. Each principal building constructed on the Site shall be located in one of the two building envelopes depicted on the Rezoning Plan.

G. All rooftop and above-ground mechanical equipment shall be screened from view to the greatest extent possible, taking into account the existing grade relative to the existing grades surrounding the property. This may be achieved through parapets on buildings, other structural screening, and/or landscaping.

H. A 4' tall black powder-coated aluminum fence with evergreen shrubs planted 5' O.C. on the street-side of the fence will be installed between the street yard and parking lot yard.

I. Technical Site Plan approval required.

J. Compliance with all minimum requirements relative to landcaping, stormwater, transportation, and fire protection.

3. TRANSPORTATION

A. Vehicular access shall be as generally depicted on the Rezoning Plan. The placement and configuration of the access points are subject to any minor modifications required by the City of Concord and/or the North Carolina Department of Transportation ("NCDOT").

B. The alignments of the internal drives and vehicular circulation areas may be modified by Applicant to accommodate changes in traffic patterns, parking layouts and any adjustments required for approval by the City of Concord and/or NCDOT.

C. Internal sidewalks and pedestrian connections shall be provided on the Site as generally depicted on the Rezoning Plan.

D. Off-street parking shall be provided on the Site in accordance with the requirements of the Ordinance.

E. Curb, gutter and sidewalk shall be installed along the Site's frontage on Davidson Highway as generally depicted on the Rezoning Plan.

4. DENSITY AND DIMENSIONAL STANDARDS/SETBACK

A. The development of the Site shall comply with the density and dimensional standards set out in Table 7.6.2.A of the Ordinance.

B. The development of the Site shall comply with the setback requirement set out in Table 7.6.2.B of the Ordinance.

5. DESIGN STANDARDS

A. The maximum height of any building constructed on the Site shall be 50 feet as measured under the Ordinance. For each foot of height over 35 feet, two (2) additional feet of setback shall be provided when abutting residentially zoned property in accordance with Article 7.11.9 of the Ordinance.

B. The development of the Site shall comply with the Supplemental Design Standards and Requirements for Industrial Districts set out in Section 7.11 of the Ordinance.

6. BUFFER YARDS

A. Buffer yards shall be established on the Site as required by the Ordinance and as depicted on the Rezoning Plan.

7. AMENITY AREA

A. An amenity area shall be provided on the Site in the location generally depicted on the Rezoning Plan, and this amenity area shall contain, at a minimum, benches and picnic tables.

8. BINDING EFFECT OF THE REZONING DOCUMENTS AND DEFINITIONS

A. If this Application for Zoning Map Amendment is approved, all conditions applicable to the use and development of the Site imposed under these Development Standards and the Rezoning Plan will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of Applicant and the current and subsequent owners of the Site and their respective successors in interest and assigns.

B. Throughout these Development Standards, the term "Applicant" shall be deemed to include the heirs, devisees, personal representatives, successors in interest and assigns of Applicant or the owner or owners of the Site from time to time who may be involved in any future development thereof.

C. Any reference to the Ordinance herein shall be deemed to refer to the requirements of the Ordinance in effect as of the date this Application for Zoning Map Amendment is approved.

SUBSTANTIAL COMPLIANCE WITH THE "HWY 73 INDUSTRIAL" REZONING PLANS, SHEETS RZ-1 AND RZ-2 REVISED 04/13/22, "NORTH ELEVATION – BUILDING A, AND SOUTH ELEVATION BUILDING A AND EAST & WEST ELEVATION, BUILDING A" DATED MARCH 21, 2022, ALSO "SOUTH ELEVATION BUILDING B, NORTH ELEVATION BUILDING B, AND EAST & WEST ELEVATION BUILDING B", DATED MARCH 11, 2022.

THE SUBJECT PLAN IS NOT DESIGNED TO PRELIMINARY PLAT OR TECHNICAL SITE PLAN STANDARDS AND THEREFORE, ANY INTENDED OR PERCEIVED DEVIATION FROM TECHNICAL STANDARDS RESULTING FROM THE SOMEWHAT CONCEPTUAL NATURE OF THE PLAN SHALL NOT CONSTITUTE APPROVAL TO DEVIATE FROM, OR NEGATE, TECHNICAL STANDARDS WITHIN THE CONCORD DEVELOPMENT ORDINANCE, TECHNICAL STANDARDS MANUAL, OR ANY OTHER

9. CONDITIONS FOR ADJACENT PROPERTY OWNERS

A. Developer shall install a 12 foot tall, double sided, wooden screen fence along that portion of the eastern edge of the access drive from Highway 73 to Building Envelope B that is more particularly depicted on the Rezoning Plan. This wooden screen fence shall be installed prior to the issuance of the first certificate of occupancy for a building located in Building Envelope B.

B. Developer shall install Green Giant Arborvitae along that portion of the eastern edge of the access drive from Highway 73 to Building Envelope B that is more particularly depicted on the Rezoning Plan. The Green Giant Arborvitae shall be installed on the eastern side of the wooden screen fence referenced above in paragraph A, the Green Giant Arborvitae shall each be a minimum of 6 feet in height at the time of installation and the Green Giant Arborvitae shall be planted at the rate of 8 trees per 100 feet or as directed by the City Arborist. The Green Giant Arborvitae shall be installed prior to the issuance of the first certificate of occupancy for a building located in Building Envelope B.

Developer shall be responsible for maintaining the Green Giant Arborvitae and replacing any dead or dying Green Giant Arborvitae. Replacement Green Giant Arborvitae shall each be a minimum of 6 feet in height at the time of installation.

C. Developer shall install a sign adjacent to the access drive from Highway 73 to Building Envelope B that provides that the maximum speed limit on this access drive is 10 miles per hour.

D. Developer shall install a sign adjacent to the access drive from Highway 73 to Building Envelope B that provides that engine braking for trucks is not permitted on this access drive.

E. An existing wooden screen fence is located along or near a portion of the Site's eastern boundary line (the common property line with the Cambridge Commons Community). Portions of this wooden screen fence are in a state of disrepair. Developer, at its cost and expense, shall repair or replace (as necessary) those segments of this wooden screen fence that are in a state of disrepair. In the event that any segment of this wooden screen fence that is in a state of disrepair is not located on the Site and is located on an adjacent parcel of land, the owner of the adjacent parcel of land must consent in writing to the repair or replacement (as necessary) of such segment of this wooden screen fence by Developer. If an owner of an adjacent parcel of land does not consent in writing to the repair or replacement (as necessary) of the segment of the wooden screen fence located on such owner's adjacent parcel of land, then Developer shall have no obligation to do so.

F. Developer, at its cost and expense, shall engage an arborist to review and inspect the existing trees located on the Site that are located along or near the Site's common property line with the Cambridge Commons Community, and Developer shall submit the report of the arborist to the Concord City Arborist for his review and approval. Based upon the report of the arborist as approved by the Concord City Arborist, Developer shall remove any dead or dying trees and/or limbs that are located on the Site along or near the Site's common property line with the Cambridge Commons Community that are identified for removal in the approved report.

ENGINEERING CONDITIONS OF APPROVAL

1) DUE TO LIMITATIONS OF AVAILABLE SEWER CAPACITY ALLOCATION, FLOW ACCEPTANCE IS NOT GUARANTEED UNTIL PROJECT PERMITTING.

2) DEDICATION OF PUBLIC UTILITY EASEMENT WITH A MINIMUM WIDTH OF 30-FT THAT ENCOMPASSES THE EXISTING GRAVITY SEWER MAIN, SEWER LIFT STATION, FORCE MAIN, SEWER ACCESS, AND PROPOSED PUBLIC METER SERVICE ASSEMBLIES WILL BE REQUIRED, IN ACCORDANCE WITH CITY CODE OF ORDINANCE CHAPTER 62, ARTICLE 3, SECTION 62-98. ALL EXISTING AND/OR PROPOSED PUBLIC WATER AND SEWER MAIN AND SERVICES ARE TO BE ENCOMPASSED IN A PUBLIC UTILITY EASEMENT IN ACCORDANCE WITH CITY CODE OF ORDINANCE CHAPTER 62, ARTICLE 3, SECTION 62-98.

3) SERVICE TO THE EXISTING CUSTOMERS AND ACCESS TO THE EXISTING PUBLIC WATER AND SEWER SYSTEM IS TO BE MAINTAINED THROUGHOUT THE PROJECT DEVELOPMENT, IN ACCORDANCE WITH CITY CODE OF ORDINANCE CHAPTER 62, ARTICLE 3, SECTION 62-98.

4) THE PROPOSED LIFT STATION AND FORCE MAIN MODIFICATIONS SHALL BE IN ACCORDANCE TO THE CITY OF CONCORD PUMP STATION AND FORCE MAIN TECHNICAL SPECIFICATIONS, TITLE 15A NCAC 2T, THE CITY CODE OF ORDINANCE CHAPTER 62, ARTICLE 3, SECTION 62-98, AND SUBJECT TO THE CITY'S REVIEW AND APPROVAL.

5) THE MODIFICATIONS LIFT STATION AND FORCE MAIN SHALL BE SUBJECT TO THE CITY OF CONCORD'S ONE-TIME MAINTENANCE-OPERATION FEES IN ACCORDANCE WITH CITY CODE OF ORDINANCE CHAPTER 62, ARTICLE 3, SECTION 62-98.

6) THE INTERNAL INDIVIDUAL UTILITIES THAT WILL SERVICE THE PROPOSED INDUSTRIAL SPECULATIVE BUILDINGS WILL BE PRIVATELY MAINTAINED/OPERATED UTILITIES THAT ARE SERVED THROUGH A MASTER WATER METERED SERVICES, DEDICATED FIRE LINES, AND PRIVATE SEWER LINES THAT EXTEND FROM THE CITY'S PUBLIC SYSTEMS AND SUBJECT TO CITY REVIEW AND APPROVAL.

7) CURRENT HYDRANT FLOW TEST DATA IS BE OBTAINED FROM THE EXISTING WATER MAIN AND A HYDRAULIC EVALUATION BE CONDUCTED TO VERIFY WHETHER OR NOT THE EXISTING WATER MAIN WILL SUPPORT THE REQUIRED FIRE FLOW REQUIREMENTS IN ACCORDANCE WITH NC FIRE CODE AND TITLE 15A NCAC 18C. THE CUSTOMER SHALL BE RESPONSIBLE FOR INSTALLING THE NECESSARY APPROVED DEVICE(S) TO MAKE ANY ADJUSTMENTS TO THE WATER PRESSURE SUPPLIED BY CONCORD UTILITIES AND SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL SUCH DEVICES IN ACCORDANCE TO CONCORD CODE OF ORDINANCES CHAPTER 62, ARTICLE II WATER AND SEWER SERVICE, SEC. 62-34(l).

8) PER CITY OF CONCORD CODE OF ORDINANCE CHAPTER 62, ARTICLE 3, SECTION 62-98 (2) THE PUBLIC WATER AND /OR SEWER EXTENSION AND/OR MODIFICATION SHALL BE IN ACCORDANCE WITH AND SUBJECT TO THE WATER AND SEWER AUTHORITY OF CABARRUS COUNTY'S STANDARD SPECIFICATIONS; THE CITY OF CONCORD'S ORDINANCES, POLICIES, AND STANDARD SPECIFICATIONS, AND THE NORTH CAROLINA ADMINISTRATIVE CODE FOR WASTEWATER COLLECTION AND WATER DISTRIBUTION SYSTEMS. IN THE EVENT OF CONFLICT BETWEEN THE WATER AND SEWER AUTHORITY OF CABARRUS COUNTY'S STANDARD SPECIFICATIONS; THE CITY OF CONCORD'S ORDINANCES, POLICIES, AND STANDARD SPECIFICATIONS, OR THE NORTH CAROLINA ADMINISTRATIVE CODE, THE MORE RESTRICTIVE REQUIREMENTS SHALL APPLY.

OAK ENGINEERING
4929 MONROE ROAD - CHARLOTTE, NC 28205
NORTH CAROLINA FIRM LICENSE #P1742
oak.engineering

PE SEAL:

NORTH CAROLINA PROFESSIONAL SEAL 33996 ENGINEER GREGORY T. WELSH

HIGHWAY 73 INDUSTRIAL

REZONING PETITION
CONCORD, NORTH CAROLINA
ROBINSON WEEKS PARTNERS

DEVELOPMENT STANDARDS

REVISIONS:
1. 10/18/21 - CITY STAFF COMMENTS
2. 01/25/22 - CITY STAFF COMMENTS
3. 03/10/22 - CITY STAFF COMMENTS
4. 04/13/22 - CITY STAFF COMMENTS
5. 07/13/22 - PLANNING BOARD FEEDBACK
6. 09/29/22 - NEIGHBORHOOD MEETING
7. 10/11/22 - CITY ARBORIST COMMENTS
8. 11/04/22 - SPECIAL USE REVIEW COMMENTS

ENGINEER: GTW
DRAWN BY: ERT
CHECKED BY: LJB

PROJECT #: 021.011

SHEET
RZ-2
SHEET 2 OF 2

Nonresidential

Chick-fil-a (CN-PSA-2023-00051)

268 Concord Pkwy. S.

DRC	Entitled	Units	PRS Routed	Technically Approved
3/23/2023	Yes	5,872 sf 90 seat restaurant with drive-thru	Yes (with at risk letter)	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	No	No	No

Allocation Request

Total	2024
1,800	1,800

Office	Small Area Plan	Part of Approved Mixed Use	Annexation (Not ED)	Logistics/Distribution	Total
0	1	0	0	0	1

Brief Summary

This proposal consists of relocating the existing Chick-fil-a at 985 Concord Parkway to the new location at 268 Concord Parkway. This is going to replace the existing bank. The project has submitted construction documents PRS2023-02703 after signing an at-risk letter acknowledging sewer allocation isn't guaranteed. This parcel is zoned General Commercial (C-2).

CN-PSA-2023-00051

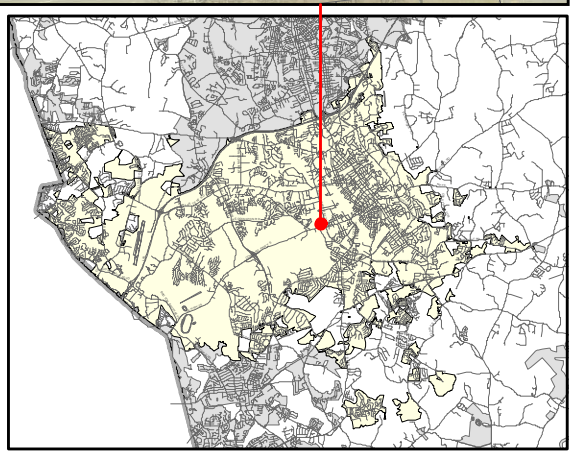
Type: Nonresidential

5,872 sf 90 seat resturant with drive-thru

Allocation Request: 1,800

Project Score: 1

Developments
Parcels
Rivers
Concord
Cabarrus County



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	Project Title:	Chick-fil-A Restaurant				
2.)	Description of project location:	PROPOSED Site is located at 268 Concord Pkwy and is RELOCATION of existing 95 seat CFA at 985 Concord Pkwy (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####))				
3.)	Cabarrus County Parcel Identification Number:	02-023-0004.32	3a.)	Parcel Acreage:	1.639	
4.)	Site Zoning and use:	C-2	5.)	Area Commercial or Industrial Building (sq. ft.)	5,872	
6a.)	Description of Facility to be served.	Restaurant	6b.) Number of Lots	1	6c.) Number of Units	
7d.)	Additional description information:	The development proposes a 90 seat Restaurant with drive-thru				

B. Applicant Information

Brent Edmiston, Development & Construction Director (Title) (**Name** of **legal owner**, **board**, **council**, and/or **authorized official with title**; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	5200 Buffington Road (Applicant's Street or Box Number)
Chick-fil-A (**Name of Applicant's company, city, town, corporation, sanitary district, water company or other** defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	Atlanta, GA 30349 (Applicant's City, State, Zip Code)
336-210-6072 (Applicant's Phone Number)	 (Applicant's Facsimile Number)
Brent Edmiston (Name) brent.edmiston@cfacorp.com (Email) (Name with Title and Email of contact person, who can answer questions about application)	brent.edmiston@cfacorp.com (Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

Jeff Carter (Typed name of North Carolina Professional Engineer)	Carter Engineering Consultants (Company Name)
030180 (NCPE Registration Number)	1010 Commerce Dr (Street or Box Number)
770-725-1200 (Phone Number)	Bogart, Ga. 30622 (City, State, Zip Code)
Mark Campbell (Name and affiliation of contact person, who can answer questions about **application & designs**)	mark@carterengineering.com (Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

☐	Residential Subdivision	☐	Retail (Stores, shopping centers)
☐	Apartments/Condominiums	☐	Institution
☐	Mobile Home Park	☐	Hospital, nursing home, dental
☐	School, preschool, daycare	☐	Church
☑	Restaurants (Food or drink facilities)	☐	Sports Centers
☐	Hotels or motels	☐	Business, offices, factories
☐	Other (specify):____		

2.) The type of wastewater is (indicate percentage):

	% Domestic
100	% Commercial
	% Industrial
	% Other use (Specify) _____

3.) Pretreatment required:
◉ No
○ Yes **(Specify or attach effluent documentation)**

4.) **Volume of wastewater flow to be allocated for this particular project**: 1,800 gallons per day
*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**
(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**
a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).
b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**
{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)	No. of Units	Flow
Restaurant - Single Service	20 gal/ seat	90 seats	GPD 1,800
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
		Total	GPD 1,800

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I Brent Edmiston, **the undersigned, do hereby make application for preliminary wastewater**
(Printed Name)

allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.

Brent Edmiston — Signature:

7/28/23 — Date:

CARTER
ENGINEERING

Concord City Council Members
City of Concord, NC
City Hall
35 Cabarrus Ave. W.
Concord, NC 28025

Re: Sewer Allocation for 268 Concord Parkway CFA
Concord, N.C.

Dear City Council Members,

This letter is to formally request sewer allocation for the proposed Chick-fil-A at 268 Concord Pkwy. This project will relocate the existing Chick-fil-A at 985 Concord Pkwy. to this proposed location at 268 Concord Pkwy. The Proposed Site is a 1.64 acre commercial development that is zoned C-2 (General Commercial District). The existing bank building at 268 Concord Parkway is to be demolished and the new Chick-fil-A constructed with associated parking and utilities. The relocation of the existing Chick-fil-A to this location is to provide better access and on site drive through stacking as well as the latest Chick-fil-A building.

We are requesting the reallocation of 1,800 gallons per day (GPD) from the existing Chick-fil-A facilities to the proposed facilities. The existing facilities currently service 95 seats at 20 gallons per seat for a total of 1,900 GPD. The proposed facility will provide 90 seats at 20 gallons per seat for a required 1,800 GPD. At the completion of the new facilities, the existing facilities will close and therefore not require any sewer capacity allowing the reallocation of 1,800 GPD to the new facility.

Thank you for considering this application and please contact me if you have any questions or comments.

Thanks

Mark Campbell

Mark Campbell, P.E.
Carter Engineering Consultants

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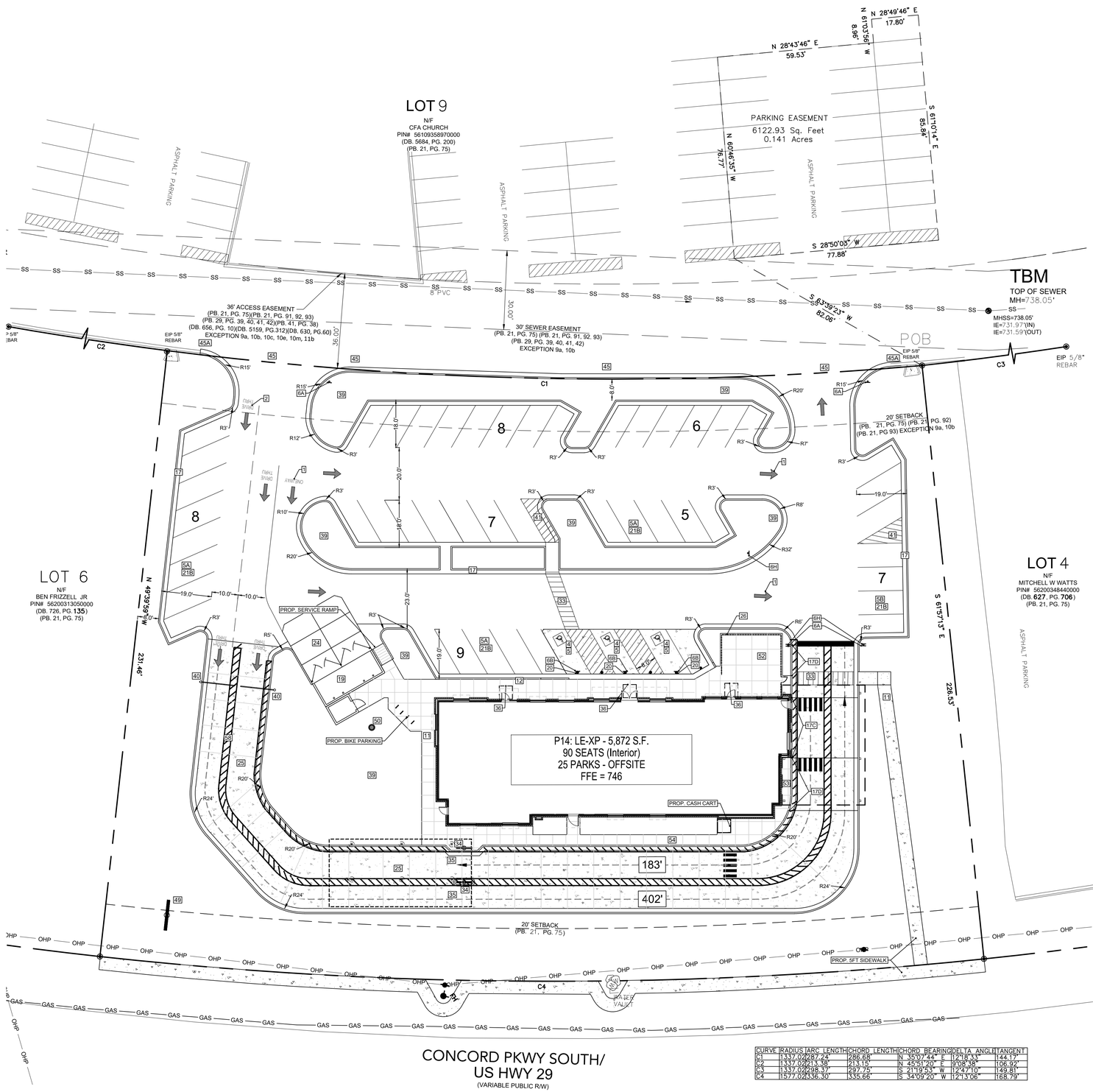
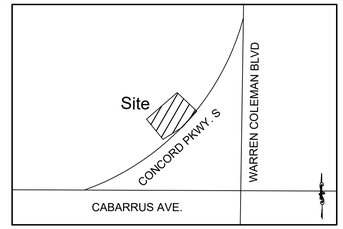
SITE PLAN DESIGN NOTES & KEY PLAN

1	PAINTED DIRECTIONAL ARROW
2	PAINTED DRIVE-THRU GRAPHICS
3	PAINTED STOP LINE GRAPHIC
4	PAINTED HANDICAP PARKING SYMBOL
5	ACCESSIBLE PARKING STALL
5A	60° PARKING STALL @ 9' x 18' MIN.
5B	90° PARKING STALL @ 9' x 18.5' (OR 9'X18')
~~5C~~	~~BICYCLE PARKING~~
6	DIRECTIONAL SIGNAGE (SEE SIGNAGE PACKAGE)
6A	"STOP" SIGN (SEE SIGNAGE PACKAGE)
6B	"ACCESSIBLE PARKING" SIGN (SEE SIGNAGE PACKAGE)
~~6C~~	~~"SINGLE BUILDING FOR DRIVE-THRU SERVICE" (SEE SIGNAGE PACKAGE)~~
~~6D~~	~~"RIGHT TURN ONLY" SIGN (SEE SIGNAGE PACKAGE)~~
6E	"ONE WAY" SIGN (USE APPLICABLE DIRECTION) (SEE SIGNAGE PACKAGE)
~~6F~~	~~"LEFT TURN ONLY" SIGN (SEE SIGNAGE PACKAGE)~~
6G	"PEDESTRIAN CROSSWALK" SIGN (SEE SIGNAGE PACKAGE)
6H	"DO NOT ENTER" SIGN (SEE SIGNAGE PACKAGE)
~~6I~~	~~"NO PARKING" SIGN (SEE SIGNAGE PACKAGE)~~
~~6J~~	~~"TWO ORDER LANES" SIGN (SEE SIGNAGE PACKAGE)~~
~~6K~~	~~"LANES MERGE" SIGN (SEE SIGNAGE PACKAGE)~~
7	SIDEWALK ACCESSIBLE RAMP
~~8~~	~~CURB RAMP WITH FLARED SIDES~~
~~8A~~	~~CURB RAMP WITH SHORT FLARED SIDES~~
~~9~~	~~RETURNED CURB ACCESSIBLE RAMP~~
10	TRUNCATED DOMES - CAST IN PLACE (ONLY IF REQUIRED)
11	TYPICAL CONCRETE SIDEWALK (SEE DETAIL FOR REVISIONS)
11A	TYPICAL CONCRETE SIDEWALK SECTION **WITH ADDED BLACK TENT MIX FOR AREAS WITH A CROSS SLOPE TO STEEP FOR PEDESTRIAN ACCESS**
12	SIDEWALK WITH CURB & GUTTER SECTION (SEE DETAIL FOR REVISIONS)
~~13~~	~~DRIVE-THRU PLAN~~
~~14~~	~~DRIVE-THRU ISOMETRIC~~
~~15~~	~~CONCRETE WHEEL STOP~~
~~16~~	~~LANDSCAPE & IRRIGATION PROTECTOR~~
17	24" CONCRETE CURB & GUTTER
17A	SPILLING 24" CONCRETE CURB & GUTTER
17B	CATCHING 24" CONCRETE CURB & GUTTER
17C	CURB HEIGHT TO MATCH CONC. PAVEMENT AT DRIVE-THRU DOOR
17D	TRANSITION CURB HEIGHT W/ RAMPED CONC. PAVEMENT TO MATCH LEVEL PAVEMENT AT DRIVE-THRU DOOR
~~18~~	~~ROLLOVER/MOUNTABLE CURB~~
19	SCREENED REFUSE ENCLOSURE
~~19A~~	~~SCREENED REFUSE ENCLOSURE STAGGERED~~
~~19B~~	~~SCREENED REFUSE ENCLOSURE ALTERNATE DRAINAGE~~
20	CONCRETE BOLLARD
~~21A~~	~~TYPICAL PAVEMENT SECTION - MEDIUM DUTY~~
21B	TYPICAL PAVEMENT SECTION - HEAVY DUTY
~~21C~~	~~LIGHT DUTY PAVEMENT RESURFACE~~
22	TRANSVERSE & LONGITUDINAL CONTRACTION JOINT
23	TRANSVERSE & LONGITUDINAL DOWELED CONSTRUCTION JOINT
24	CONCRETE APRON @ TRASH ENCLOSURE
25	CONCRETE PAVING
26	ALUMINUM HANDRAIL
~~27~~	~~TYPICAL ADA RAMP AND HANDRAIL~~
28	CONTRACTION JOINT
29	KEYED CONSTRUCTION JOINT
30	LONGITUDINAL BUTT JOINT
31	EXPANSION JOINT
~~32~~	~~MULTI LANE DIRECTIONAL GRAPHICS~~
33	PAINTED CROSS WALK
34	MENU BOARD & CANOPY ORDERING STATION
35	MENU BOARD LOOP DETECTION SYSTEM
36	5'x5' LANDING AND ENTRY DOOR FROST SLAB
~~37~~	~~BREAD TRAP (SEE UTILITY PLAN)~~
~~38~~	~~ROOF DOWNSPOUT (TO CONNECT TO SITE DRAINAGE SYSTEM)~~
39	LANDSCAPED AREA (SEE LANDSCAPE PLAN)
40	CLEARANCE BAR (SEE SIGNAGE PACKAGE)
41	PAVEMENT STRIPING AREA
~~42~~	~~THICKENED SLAB EDGE AT TRAILING CORE DRILLS~~
~~43~~	~~CONCRETE FLUME~~
~~44~~	~~EX. ASPHALT / PROP. CONCRETE INTERFACE~~
45	EX./PROP. ASPHALT INTERFACE
45A	EX./PROP. CURB INTERFACE
~~46~~	~~EX./PROP. CONCRETE INTERFACE~~
47A	SHORT TERM BIKE PARKING
47B	LONG TERM BIKE PARKING
~~48~~	~~TRANSFORMER~~
49	CHICK-FIL-A PRIME SIGN (SEE SIGNAGE PACKAGE)
50	FLAGPOLE, 50' (SEE SIGNAGE PACKAGE)
~~51~~	~~RETAINING WALL WITH HANDRAIL ON TOP (HANDRAIL SIMILAR TO DETAIL 05/C4.2)~~
52	TYPICAL PATIO AREA
53	4" THICK CONCRETE STRIP BETWEEN BUILDING AND BACK OF CURB
54	6" THICK CONCRETE SIDEWALK BETWEEN DRIVE-THRU LANE AND BUILDING
55	4" WIDE PAINT STRIPE
~~56~~	~~STANDARD LIGHT POLE~~
~~57~~	~~CURBSIDE DELIVERY SIGN (SEE SIGNAGE PACKAGE)~~
58	CONCRETE STRIPING AREA. CONCRETE TO BE PER CONCRETE PAVING DETAIL ON SHEET ~~C5.1~~
~~59~~	~~CONCRETE VALLEY GUTTER~~
~~60A~~	~~4' WIDE CONCRETE FLUME~~
~~60B~~	~~3' WIDE CONCRETE FLUME~~
~~61~~	~~CATERING & CARRY-OUT (SEE SIGNAGE PACKAGE)~~
~~62~~	~~CURBSIDE DELIVERY (SEE SIGNAGE PACKAGE)~~
~~63~~	~~3' WIDE 4" THICK CONCRETE LANDSCAPE PROTECTION STRIP~~



CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE	TANGENT
C1	1337.02	287.72'	286.88'	N 35°07'44" E	12°19'53"	144.17'
C2	1337.02	213.38'	213.15'	N 45°51'20" E	9°08'38"	106.92'
C3	1337.02	298.37'	297.75'	S 21°19'53" W	12°47'10"	149.81'
C4	1577.02	336.30'	335.66'	S 34°09'20" W	12°13'06"	168.79'



LOCATION MAP
SCALE: N.T.S.

SITE DATA:

TOTAL SITE AREA:	1.64 ACRES
BUILDING AREA :	5,872 S.F.
EX. IMPERVIOUS AREA:	0.74 AC
EX. IMPERVIOUS COVERAGE:	45.2 %
PROP. IMPERVIOUS AREA:	1.04 ACRES
PROP. IMPERVIOUS COVERAGE:	63.2 %
PROP. OPEN SPACE:	36.8 %
DISTURBED AREA:	1.40 ACRES
PROP ADDITIONAL IMPERVIOUS AREA:	12,825.45 SF

PARKING DATA:

ADDITIONAL 25 SPACES PROVIDED OFFSITE THROUGH PARKING EASEMENT.

STANDARD - ONSITE:	47 SPACES
STANDARD - OFFSITE:	25 SPACES
ADA:	3 SPACES
TOTAL:	75 SPACES
BIKE PARKING:	4 SPACES

811 Know what's **below** Call before you dig dial 811

GRID NORTH

20' 10' 0 20' 40' 60'

GRAPHIC SCALE
SCALE 1" = 20'

Chick-fil-A
5200 Buffington Rd.
Atlanta Georgia,
30349-2998

REVISION BLOCK:

REV. #	DATE	REVISION
A	02/03/2023	INITIAL REVIEW
B	04/12/2023	PCR
C	06/06/2023	PCR
D	07/05/2023	REVISED PER COMMENTS
-	-	-
-	-	-

PRELIMINARY
NOT APPROVED FOR CONSTRUCTION
NORTH CAROLINA PROFESSIONAL ENGINEER SEAL
Approved for Correction

CARTER ENGINEERING
CARTER ENGINEERING
3651 MARS HILL ROAD
SUITE 2000
WATKINSVILLE, GA 30677
P: 770.725.1200
F: 770.725.1204
www.carterengineering.com

RELO Concord Commons
#05498

268 CONCORD PKWY. S.,
CONCORD NC 28027

SHEET TITLE

SITE PLAN

REVISION 4-2023

Job No. : 22040CFA
Store : #05498
Date : 07/05/2023

Sheet
C-2.0

ENGINEER/DESIGNER NOT RESPONSIBLE FOR COST CHANGES DURING PRELIMINARY PHASE. BIDS & QUOTES SHALL BE BASED ON PLAN SETS LABELED "ISSUE FOR BID". BIDS & QUOTES SHALL BE REVISED BASED ON PLANS LABELED "ISSUE FOR CONSTRUCTION"

Nonresidential

Cannon Run Apartments (Horizontal Mixed-Use) (CN-PSA-2023-00052)

9179 Davidson Hwy.

DRC	Entitled	Units	PRS Routed	Technically Approved
	Yes	75,500 sf retail and 35,500 office/MOB	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	No	No	No

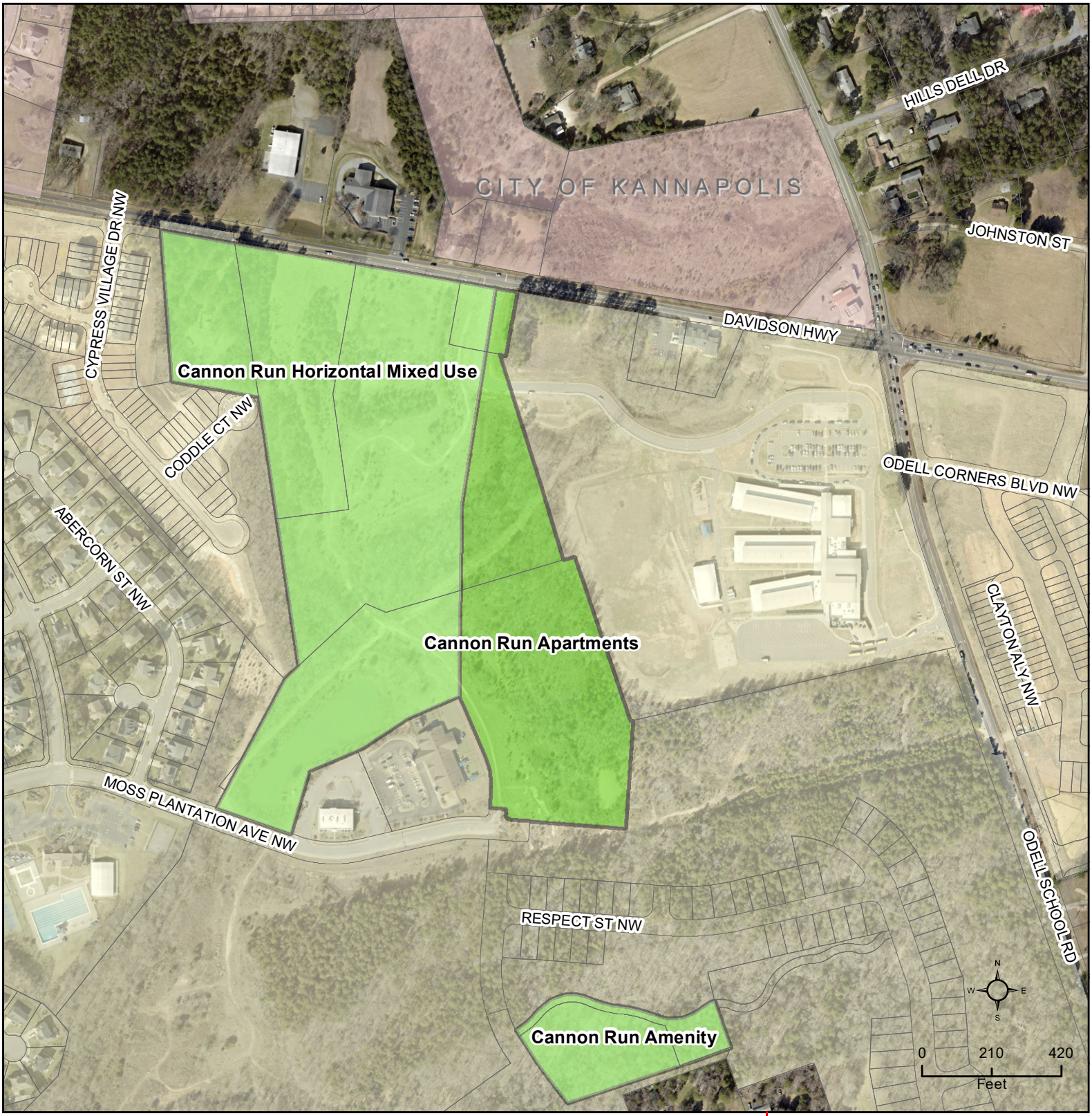
Allocation Request

Total	2024
11,100	**11,100**

Office	Small Area Plan	Part of Approved Mixed Use	Annexation (Not ED)	Logistics/Distribution	Total
0	0	1	0	0	1

Brief Summary

The applicant is looking to develop a mixed-use development proposing 275 apartment units along with office and retail space. This request is for the retail and office space portion of the project. This parcel is zoned Planned Unit Development (PUD).

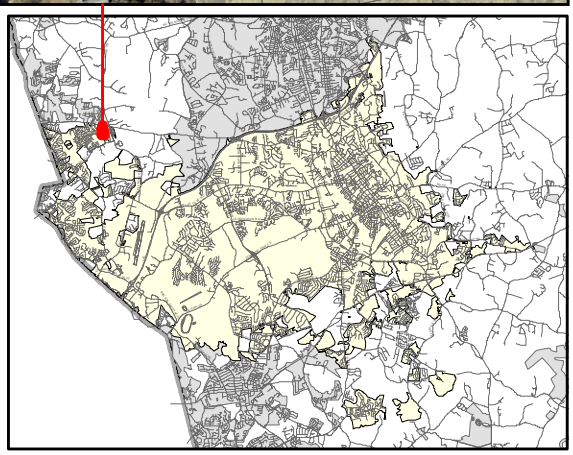


CN-PSA-2023-00052

Type: Retail

Allocation Request: 11,100

Project Score: 1



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	**Project Title:**	Cannon Run Apartments				
2.)	**Description of project location:**	Site located on Davidson HWY SR 73, approx 1100 linear feet East of the intersection of Odell School Road (SR 1442) and Davidson HWY (SR 73) (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####)				
3.)	**Cabarrus County Parcel Identification Number:**	46813947300000,46813975130000,46914903800000,46814926	3a.)	**Parcel Acreage:**	29.45	
4.)	**Site Zoning and use:**	PUD	5.)	**Area Commercial or Industrial Building (sq. ft.)**	111,000	
6a.)	**Description of Facility to be served.**	Mixed Use	6b.) **Number of Lots**	5	6c.) **Number of Units**	275
7d.)	**Additional description information:**	75,500 SF of Retail 35,500 SF of Office/MOB 275 Total MF Units: 40% 1 BDRM (110 Units), 40% 2 BDRM (110 Units), and 20% 3 BDRM (55 Units)				

B. Applicant Information

Mark Swartz , President (Title) (**Name** of **legal owner**, **board**, **council**, and/or **authorized official with title**; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	4350 Main Street, Suite 201 (Applicant's Street or Box Number)
Charlotte Real Estate Development (**Name of Applicant's company, city, town, corporation, sanitary district, water company or other** defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	Harrisburg, NC 28075 (Applicant's City, State, Zip Code)
704.454.7807 (Applicant's Phone Number)	N/A (Applicant's Facsimile Number)
Mark Swartz (Name) mswartz@cltres.com (Email) (Name with Title and Email of contact person, who can answer questions about application)	mswartz@cltres.com (Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

Kevin Vogel (Typed name of North Carolina Professional Engineer)	LandDesign (Company Name)
21164 (NCPE Registration Number)	223 N. Graham Street (Street or Box Number)
704.333.0325 (Phone Number)	Charlotte, NC 28202 (City, State, Zip Code)
Jimmy Dutton (Name and affiliation of contact person, who can answer questions about **application & designs**)	jdutton@landdesign.com (Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

☑	Residential Subdivision	☑	Retail (Stores, shopping centers)
☐	Apartments/Condominiums	☐	Institution
☐	Mobile Home Park	☐	Hospital, nursing home, dental
☐	School, preschool, daycare	☐	Church
☐	Restaurants (Food or drink facilities)	☐	Sports Centers
☐	Hotels or motels	☑	Business, offices, factories
☐	Other (specify):____		

2.) The type of wastewater is (indicate percentage):

87	**% Domestic**
13	**% Commercial**
0	**% Industrial**
	% Other use (Specify) _____

3.) Pretreatment required:
(●) No
( ) Yes **(Specify or attach effluent documentation)**

4.) **Volume of wastewater flow to be allocated for this particular project**: 56,475 gallons per day
*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**
(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**

a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)			No. of Units	Flow	
Residential (1 Bedroom)	150	gal/	Unit	110 Unit	GPD	16,500
Residential (2 Bedroom)	150	gal/	Unit	110 Unit	GPD	16,500
Residential (3 Bedroom)	225	gal/	Unit	55 Units	GPD	12,375
Office Space	25	gal/	employee/shift	35,500 SF x 4 Employees/1,000SF	GPD	3,550
Retail	100	gal/	1,000 SQ FT	75,500 SF	GPD	7,550
		gal/			GPD	
				Total	GPD	56,475

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I _ Mark Swartz _____, **the undersigned, do hereby make application for preliminary wastewater**
(Printed Name)

allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.

Signature: _____ Date: 10/9/2023

PROJECT NARRATIVE

Project: Cannon Run Apartments
LDI PN: 1023156
Date: 5-Oct-2023

Description:

Cannon Run Apartments is located within the Cannon Run Subdivision in Concord, North Carolina. The site entrance is located on Davidson Hwy (NC73) approximately 1,100 linear feet west of the intersection of Odell School Road (SR1442) and Davidson Hwy (NC73). The 29.45-acre parcel extends south to Moss Plantation Ave NW. The mixed-use development contains 275 apartment units, approximately 35,500 SF of office, and 75,500 SF of retail space. The total flow requested by this project is 56,475 GPD. This includes 16,500 GPD from 110 1BR residential units,16,500 GPD from 110 2BR residential units, 12,375 GPD from 55 3BR residential units, 3,550 GPD for office space, and 7,550 GPD for retail space. The development requires services connecting to a proposed 8-inch sewer line which will tie to an 8-inch line on Moss Plantation Ave NW, as well as water services connection to a proposed 8-inch water main which will run from Davidson Hwy to Moss Plantation Ave NW. A utility plan exhibit is attached with the application.

LandDesign.
223 NORTH GRAHAM STREET
CHARLOTTE, NC 28202
704.333.0325
WWW.LANDDESIGN.COM

KEY MAP

SEAL

NOT FOR CONSTRUCTION

PROJECT

CANNON RUN APARTMENTS

CHARLOTTE REAL ESTATE DEVELOPMENT

LANDDESIGN PROJ.#
1023156

REVISION / ISSUANCE

NO.	DESCRIPTION	DATE
1	PRELIM WASTEWATER FLOW SUBMITTAL	09/13/2023

DESIGNED BY: JRD
DRAWN BY: JRD
CHECKED BY: RCB

SCALE

NORTH

VERT: N/A
HORZ: 1=80

0 40 80 160

SHEET TITLE

UTILITY PLAN

SHEET NUMBER

C3.00

Nonresidential

Lawn Chair Brewing (CN-PSA-2023-00054)

360 Old Salisbury Concord Rd.

DRC	Entitled	Units	PRS Routed	Technically Approved
No	Yes	10,000 sf brewery and warehouse	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	No	No	No

Allocation Request

Total	2024
3,214	3,214

Office	Small Area Plan	Part of Approved Mixed Use	Annexation (Not ED)	Logistics/Distribution	Total
0	0	0	0	0	0

Brief Summary

This proposal consists of renovating space in the old Sundrop Building to create a 10,000 square feet brewery and taproom. They are also proposing a beer garden area. This parcel is zoned General Commercial (C-2).

CN-PSA-2023-00054

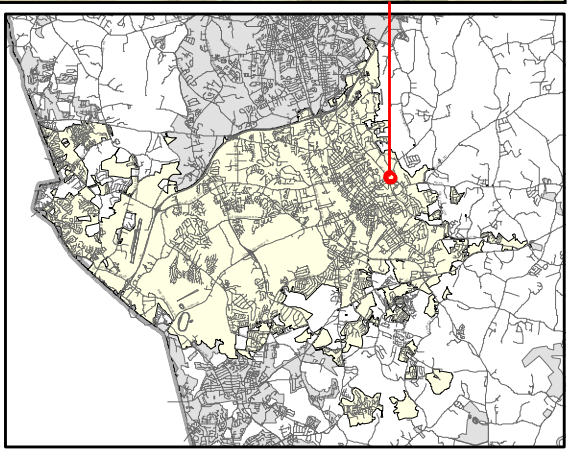
Type: Nonresidential

10,000 sf brewery and warehouse

Allocation Request: 3,214

Project Score: 0

Developments
Parcels
Rivers
Concord
Cabarrus County



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PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	Project Title:	Lawn Chair Brewing					
2.)	Description of project location:	Brewery and Taproom in old Sun drop Bottling Plant - 360 Old Salisbury-concord, RD Concord, NC 28025 (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####))					
3.)	Cabarrus County Parcel Identification Number:	56312019440000	3a.)	Parcel Acreage:	5.65		
4.)	Site Zoning and use:		5.)	Area Commercial or Industrial Building (sq. ft.)	10000		
6a.)	Description of Facility to be served.	brewery and warehouse	6b.) Number of Lots	1	6c.) Number of Units	2	
7d.)	Additional description information:	Brewery and Warehouse in old sundrop bottling plant					

B. Applicant Information

William T. King, President (Title) (**Name** of **legal owner**, **board**, **council**, and/or **authorized official with title**; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	P.O. Box 305 (Applicant's Street or Box Number)
King Bee Properties, Inc. formerly Sun Drop Bottling Co (**Name of Applicant's company, city, town, corporation, sanitary district, water company or other** defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	Concord, NC 28026 (Applicant's City, State, Zip Code)
7047916142 (Applicant's Phone Number)	(Applicant's Facsimile Number)
Michael Simpson - Founder (Name) michael.simpson@lawnchairbrewing.com (Email) (Name with Title and Email of contact person, who can answer questions about application)	wtking@kingbeeventures.com (Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

David Condon (Typed name of North Carolina Professional Engineer)	Barrett, Woodyard, and Associates INc (Company Name)
(NCPE Registration Number)	420 Minuet Ln (Street or Box Number)
704-357-9333 (Phone Number)	Charlotte, NC 28217 (City, State, Zip Code)
David Condon (Name and affiliation of contact person, who can answer questions about **application & designs**)	dcondon@barrettwoodyard.com (Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

☐	Residential Subdivision	☐	Retail (Stores, shopping centers)
☐	Apartments/Condominiums	☐	Institution
☐	Mobile Home Park	☐	Hospital, nursing home, dental
☐	School, preschool, daycare	☐	Church
☑	Restaurants (Food or drink facilities)	☐	Sports Centers
☐	Hotels or motels	☐	Business, offices, factories
☐	Other (specify):____		

2.) The type of wastewater is (indicate percentage):

	% Domestic
	% Commercial
	% Industrial
	% Other use (Specify) ____

3.) Pretreatment required:
◉ No
○ Yes **(Specify or attach effluent documentation)**

4.) **Volume of wastewater flow to be allocated for this particular project**: 3,214 gallons per day
*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**
(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**

a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)			No. of Units	Flow	
Bar, cocktail Lounges	20	gal/	seat	72	GPD	1440
Process Waters (brewery)	1274	gal/	day	1274	GPD	1274
Restaurant - Carry Out Only	50	gal/	100sf	10	GPD	500
		gal/			GPD	
		gal/			GPD	
		gal/			GPD	
				Total	GPD	3,214

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I William T. King (Printed Name), **the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.**

DocuSigned by: William T. King 364598E6C0E84A9...
Signature:

9/15/2023
Date:

Lawnchair Brewing

Narrative:

This project includes the renovation of an existing building into a new brewery and taproom totaling approximately 10,000 SF. This includes plumbing, mechanical, electrical, new brewing equipment, new bar equipment, new storefront and overhead doors, new sprinkler system, and various finishes throughout.The sewer allocation request also includes a building for a potential future 1,000SF restaurant. Minimal site work will be done for create a beer garden area.

Thank you,

Brenden Eaton
Project Manager
beaton@lilesconstruction.com
630-854-7678

Nonresidential

Action Behavior Center (CN-PSA-2023-00055)

145 Pitts School Rd. SW

DRC	Entitled	Units	PRS Routed	Technically Approved
	Yes	10,000 sf treatment facility for children	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	No	No	No

Allocation Request

Total	2024
1,375	1,375

Office	Small Area Plan	Part of Approved Mixed Use	Annexation (Not ED)	Logistics/Distribution	Total
0	0	0	0	0	0

Brief Summary

This proposal consists of upfitting a building to offer therapy and running their general office administration. This is for phase two of their business plan to expand beyond 25 staff. This parcel is zoned General Commercial (C-2).

Nonresidential

CN-PSA-2023-00055

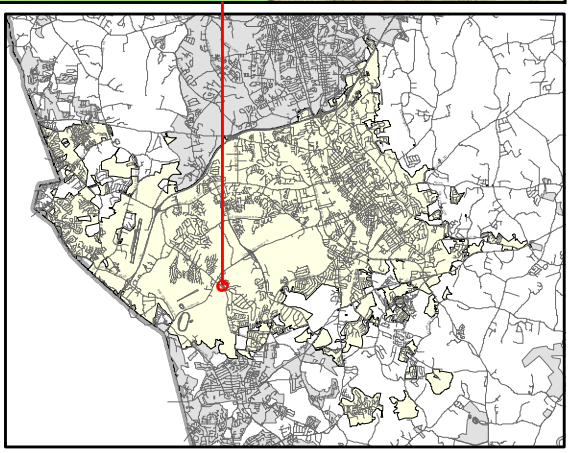
Type: Nonresidential

10,000 sf treatment facility for children

Allocation Request: 1,375

Project Score: 0

Developments
Parcels
Rivers
Concord
Cabarrus County



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	**Project Title:**	ABC - Concord				
2.)	**Description of project location:**	Site located on 145 Pitts School Rd, approx 100 linear feet North of the intersection of Pitts School Rd SW and Coventry Commons Ave SW (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####))				
3.)	**Cabarrus County Parcel Identification Number:**	55094341420000	3a.)	**Parcel Acreage:**		
4.)	**Site Zoning and use:**	C-2	5.)	**Area Commercial or Industrial Building**	**(sq. ft.)**	10,000
6a.)	**Description of Facility to be served.**		**6b.) Number of Lots**		**6c.) Number of Units**	1
7d.)	**Additional description information:**					

B. Applicant Information

Reid Zanoya , Project Manager (Title) (**Name** of **legal owner**, **board**, **council**, and/or **authorized official with title**; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	1601 S MoPac Expy (Applicant's Street or Box Number)
Action Behavior Centers (**Name of Applicant's company, city, town, corporation, sanitary district, water company or other** defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	Austin, TX, 78746 (Applicant's City, State, Zip Code)
608-636-5036 (Applicant's Phone Number)	(Applicant's Facsimile Number)
Reid Zanoya - Project Manager (Name) reid.zanoya@actionbehavior.com (Email) (Name with Title and Email of contact person, who can answer questions about application)	reid.zanoya@actionbehavior.com (Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

Richard J. Watters (Typed name of North Carolina Professional Engineer)	Baird, Hampton & Brown (Company Name)
050112 (NCPE Registration Number)	6300 Ridglea Place, Suite 700 (Street or Box Number)
817.338.1277 (Phone Number)	Fort Worth, TX 76116 (City, State, Zip Code)
Engineer (Name and affiliation of contact person, who can answer questions about **application & designs**)	rwatters@bhbinc.com (Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

☐	Residential Subdivision	☐	Retail (Stores, shopping centers)
☐	Apartments/Condominiums	☐	Institution
☐	Mobile Home Park	☐	Hospital, nursing home, dental
☐	School, preschool, daycare	☐	Church
☐	Restaurants (Food or drink facilities)	☐	Sports Centers
☐	Hotels or motels	☑	Business, offices, factories
☐	Other (specify):_____		

2.) The type of wastewater is (indicate percentage):

	% Domestic
100	**% Commercial**
	% Industrial
	% Other use (Specify) _____

3.) Pretreatment required:

◉ No

○ Yes **(Specify or attach effluent documentation)**

4.) **Volume of wastewater flow to be allocated for this particular project**: 1375 gallons per day

*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**

(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**

a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)	No. of Units	Flow
Business	25 gal/ Occupant	55	GPD 1375
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
		Total	GPD 1375

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I Reid Zanoya (Printed Name), **the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.**

Reid Zanoya Digitally signed by Reid Zanoya Date: 2023.09.08 11:17:58 -04'00' 9/8/23

Signature: Date:

Re: Action Behavior Centers – Business Use/Sewer Allocation

Action Behavior Centers, LLC (ABC), a privately held company, is a leading provider in Applied Behavior Analysis (ABA Therapy). ABC is an organization committed to the treatment of children using empirically validated methods and strategies to assist each child in reaching their greatest potential and improving their quality of life. ABA therapy can help make improvements in verbal and nonverbal communication, life skills, and behavioral changes. Parents also benefit from our parent training program, which increases parent satisfaction. Each child is provided with their own licensed therapist, who is with them consistently throughout the day. Every child requires specialized therapy with the amount of time dependent upon the child. Our clients ages range from 2 to 7 years old and our operating hours are Monday through Friday from 8 AM to 5 PM. We do not provide overnight stays.

To further clarify our business use, we are not a daycare or education facility, do not provide custodial care and are not an institutional or medical facility. Our facility consists of staff who offer therapy and general office administration. We do not have any medical staff or medical equipment on the premises.

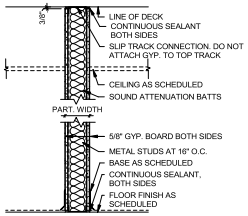
All children can respond to emergencies and exit independently without physical assistance.

We do not prepare, serve, or have any satellite feeding. Our premise does not have any vending machines or provide snacks. In addition, we do not have any industrial waste anywhere on the premise.

As it relates to sewer allocation, ABC will stay beneath 600 gallons/day prior to completing the sewer allocation approval process by limiting the staff occupancy–this will be considered "Phase 1". Staff occupancy will stay below 25 during Phase 1. Once ABC has received approval for the sewer allocation for the building at full functional capacity, we would enter "Phase 2"; in which the occupancy can increase further with more staff and patients.

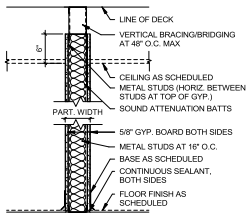
Respectfully submitted,

Action Behavior Centers, LLC



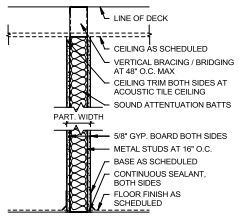
A WALL TYPE

TYPE	STUD	PART. WIDTH	1 HOUR DESIGN NO.	DESIGN STC	
				MIN STC	INSUL
A3	3 5/8"	4 7/8"	UL-U465	45	3 1/2"



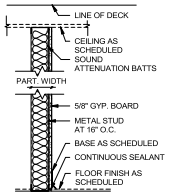
B WALL TYPE

TYPE	STUD	PART. WIDTH	DESIGN NO.	DESIGN STC	
				MIN STC	INSUL
B3	3 5/8"	4 7/8"	N/A	-	3 1/2"
B6	6"	7 1/4"	N/A	-	3 1/2"



G WALL TYPE

TYPE	STUD	PART. WIDTH	DESIGN NO.	DESIGN STC	
				MIN STC	INSUL
G3	3 5/8"	4 7/8"	N/A	-	3 1/2"



H WALL TYPE

TYPE	STUD	PART. WIDTH	DESIGN NO.	DESIGN STC	
				MIN STC	INSUL
H3	3 5/8"	4 1/4"	N/A	-	3 1/2"

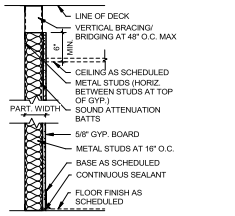
FLOOR PLAN KEYNOTES:

01 VILLAGE PLAYSET, TREEHOUSE PLAYSET, AND HONEYCOMB CLIMBING WALL PANELS FURNISHED BY ABC. INSTALLED BY GC. PROVIDE 3/4" BACKING AT ALL PLAYSETS. BACKING SHOULD BE INSTALLED BETWEEN GYP. BOARD AND FRAMING.

02 PROVIDE ADDITIONAL BLOCKING, PER MANUFACTURER'S RECOMMENDATIONS, AT ALL STAFF AND KIDDO LOCKERS

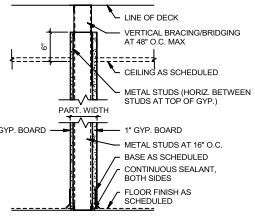
03 ELECTRIC WATER COOLER TO BE PROVIDED BY GC

04 GC TO PROVIDE ROOF ACCESS LADDER AND ACCESS HATCH AS REQUIRED



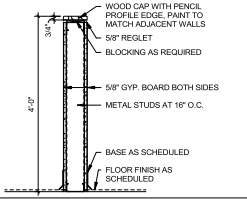
D WALL TYPE

TYPE	STUD	PART. WIDTH	DESIGN NO.	DESIGN STC	
				MIN STC	INSUL
D3	3 5/8"	4 1/4"	N/A	-	3 1/2"



E WALL TYPE

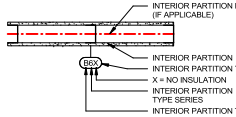
TYPE	STUD	PART. WIDTH	DESIGN NO.	DESIGN STC	
				MIN STC	INSUL
E3	3 5/8"	5 1/4"	N/A	-	3 1/2"



P WALL TYPE

TYPE	STUD	PART. WIDTH	DESIGN NO.	DESIGN STC	
				MIN STC	INSUL
P3X	3 5/8"	4 7/8"	-	-	-

INTERIOR PARTITION LEGEND

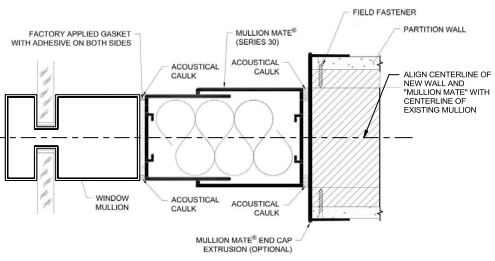


PARTITION RATING LEGEND

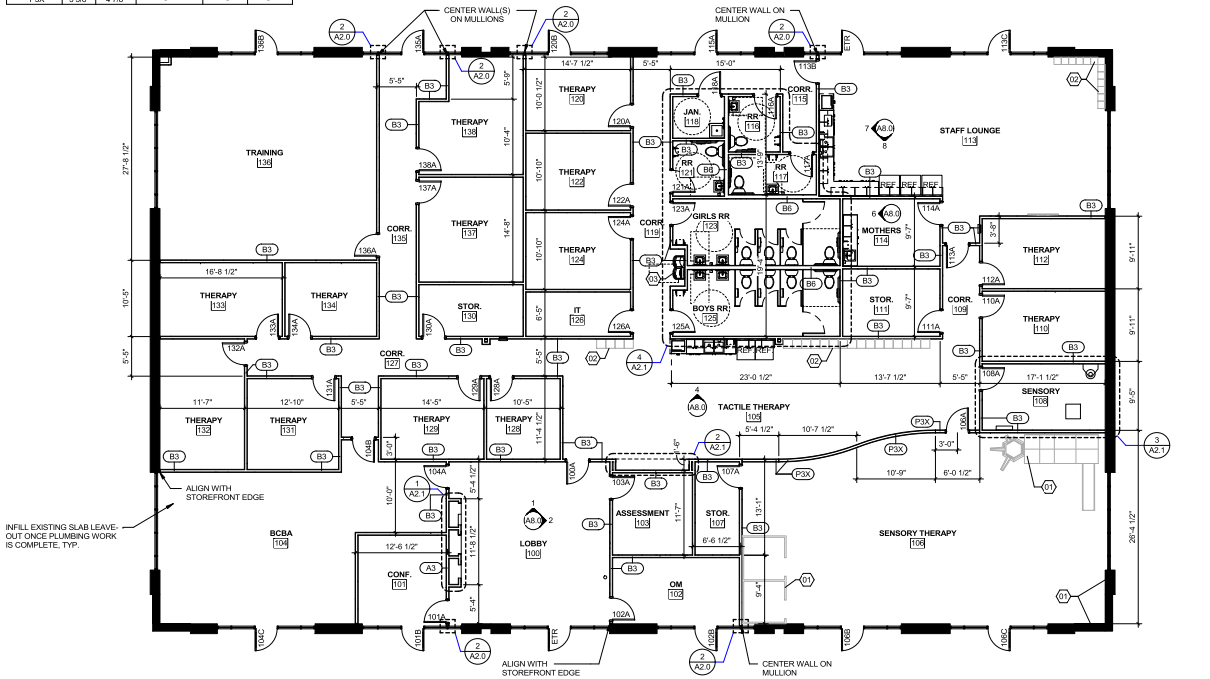
1-HOUR FIRE PARTITION

PARTITION NOTES

1. WALL TYPE TO CONTINUE AT DOOR & WINDOW OPENINGS (TOP & BOTTOM) U.N.O.
2. THE INTENT OF ACOUSTICAL PARTITIONS IS TO ACHIEVE AS HIGH AN STC RATING AS POSSIBLE WITHOUT USING ACOUSTICAL SEALANT. RUN GYP. BOARD AS TIGHT AS POSSIBLE AT FLOORS, CEILINGS & PENETRATIONS U.N.O.
3. USE WATER RESISTANT GYP. BOARD AT ALL WET WALL LOCATIONS AND AROUND EXTERIOR WINDOW AND DOOR OPENINGS.
4. USE TILE BACKER BOARD BEHIND ALL WALL TILE.
5. REFER TO REFLECTED CEILING PLAN FOR CEILING HEIGHTS.
6. ALL INTERIOR PARTITIONS TO BE WALL TYPE 'G3' UNLESS NOTED OTHERWISE.
7. IF NOT EXISTING, PROVIDE SOUND ATTENUATION AND 5/8" GYP. BOARD AT ALL EXISTING EXTERIOR WALL ASSEMBLIES.
8. ALL WALLS WITH ELECTRICAL PANELS AND EQUIPMENT IN I.T. AND ELECTRICAL ROOMS, TO BE PROVIDED WITH 3/4" PLYWOOD BACKING. BACKING SHOULD BE INSTALLED BETWEEN GYP. BOARD AND FRAMING.



PARTITION GAP CLOSURE 2
SCALE: NTS A2.0



FLOOR PLAN 1
SCALE: 1/8" = 1'-0" A2.0

NORTH

SCHWARZ HANSON ARCHITECTS
2570 RIVER PARK PLACE, SUITE 200
FORT WORTH, TX 76116
817-377-3600
mail@schwarz-hanson.com

APPROVED
PRB2023-000141
10/19/2023

AN INTERIOR FINISH OUT FOR
ACTION BEHAVIOR CENTER
CONCORD
145 PITTS SCHOOL ROAD SW,
CONCORD, NC 28027

NORTH CAROLINA PROFESSIONAL SEAL 041460 ARCHITECT BRAD NAEHER
07-06-2023

PROJECT NO.:23108
DATE:07-06-2023

REVISION SCHEDULE

Δ	Description	Date

SHEET NAME
FLOOR PLAN AND SCHEDULES

SHEET NO.
A2.0

SafeSplash Swim School (CN-PSA-2023-00056)

5985 Thunder Rd. NW

DRC	Entitled	Units	PRS Routed	Technically Approved
No	Yes	6,090 sf of swim school	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	No	No	No

Allocation Request

Total	2024
1,350	**1,350**

Office	Small Area Plan	Part of Approved Mixed Use	Annexation (Not ED)	Logistics/Distribution	Total
0	0	0	0	0	0

Brief Summary

This proposal consists of bringing a franchise of SafeSplash to the City of Concord. This facility features warm water pools to help all swim levels. This parcel is zoned General Commercial (C-2).

CN-PSA-2023-00056

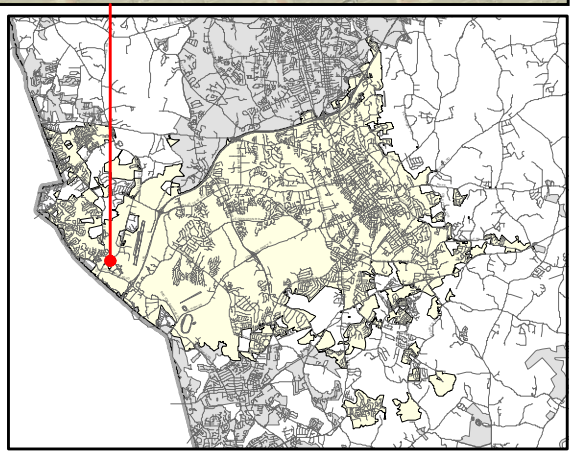
Type: Nonresidential

6,090 sf swim school

Allocation Request: 1,350

Project Score: 0

Developments
Parcels
Rivers
Concord
Cabarrus County



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	**Project Title:**	SafeSplash Swim School					
2.)	**Description of project location:**	5985 Thunder Road, Concord, NC 28027 (Building is currently under construction) (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####)					
3.)	**Cabarrus County Parcel Identification Number:**	45895765320000	3a.)	**Parcel Acreage:**	0.77 Acres		
4.)	**Site Zoning and use:**	C-2 0700	5.)	**Area Commercial or Industrial Building**	(sq. ft.) 6,090		
6a.)	**Description of Facility to be served.**	Swim School	6b.) **Number of Lots**	1	6c.) **Number of Units**	1	
7d.)	**Additional description information:**	Preliminary Wastewater approval is being requested for a proposed Swim School to be developed. as a locally owned franchised location for Safe Splash (https://www.safesplash.com). The school will offer swim lessons to children and adults helping families in Concord learn a very valuable life safety skill.					

B. Applicant Information

Malvika Maheshwary, President (Title) (**Name** of **legal owner**, **board**, **council**, and/or **authorized official with title**; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	17809 Stuttgart Road (Applicant's Street or Box Number)
Vinca Ventures, Inc (d/b/a SafeSplash Swim School) (**Name of Applicant's company, city, town, corporation, sanitary district, water company or other** defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	Davidson, NC 28036 (Applicant's City, State, Zip Code)
704 778 0567 (Applicant's Phone Number)	704 625 9720 (Applicant's Facsimile Number)
Basant Maheshwary, Vice President (Name) bmaheshwary@hotmail.com (Email) (Name with Title and Email of contact person, who can answer questions about application)	malvika7@hotmail.com (Applicant's Email Address)
REQUIRED **Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.**	

C. Design Engineer Information if available

Michael Tobias (Typed name of North Carolina Professional Engineer)	Nearby Engineers (Company Name)
054094 (NCPE Registration Number)	382 NE 191st Street, Suite 49674 (Street or Box Number)
914 257 3455 (Phone Number)	Miami, FL 33179 (City, State, Zip Code)
Ankit Javeri, Project Manager ankit@ny-engineers.com (Name and affiliation of contact person, who can answer questions about **application & designs**)	michael@ny-engineers.com (Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

☐	Residential Subdivision	☐	Retail (Stores, shopping centers)
☐	Apartments/Condominiums	☐	Institution
☐	Mobile Home Park	☐	Hospital, nursing home, dental
☐	School, preschool, daycare	☐	Church
☐	Restaurants (Food or drink facilities)	☐	Sports Centers
☐	Hotels or motels	☐	Business, offices, factories
☑	Other (specify): Swim School		

2.) The type of wastewater is (indicate percentage):

	% Domestic
100	**% Commercial**
	% Industrial
	% Other use (Specify) _____

3.) Pretreatment required:
- (●) No
- ( ) Yes **(Specify or attach effluent documentation)**

4.) **Volume of wastewater flow to be allocated for this particular project:** 1,350 gallons per day
*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**
(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**
- a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).
- b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)	No. of Units	Flow
Swimming pools, bathhouses and spas	10 gal/ person	192 Persons	GPD 1,920
Credit for previous allocation for building	gal/		GPD -570
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
		Total	GPD 1,350

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I Malvika Maheshwary (Printed Name), **the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.**

Malvika

Signature: Date: 10/06/2023

Vinca Ventures, Inc.

d/b/a SafeSplash Swim School

October 6, 2023

City of Concord
Engineering Department
PO Box 308
Concord, NC 28026-0308

RE: Project Narrative for Preliminary Wastewater Flow Application for Proposed Swim School at 5985 Thunder Road, Concord, NC 28027

Dear Sir/Madam,

We are requesting preliminary wastewater approval for our proposed SafeSplash Swim School to be developed as a locally owned franchised location of SafeSplash Swim Schools and would like to provide the following project narrative.

SafeSplash Swim Schools

SafeSplash Swim Schools (https://www.safesplash.com) is the largest swim school brand in the U.S. and is a leader in swim instruction for the learn to swim market, from kids to adults. The facilities feature warm water pools and expert instructors who are passionate about teaching the life skill of swimming using a proprietary curriculum endorsed by Olympic Champion Missy Franklin. The curriculum is based on the principles of incorporating safety, fun, progressive skill development, the four basic swimming strokes, competitive technique, USA Swimming standards and teaching consistency to provide a uniquely tailored approach to match each swimmer to the correct level and instructor.

Vinca Ventures, Inc.

d/b/a SafeSplash Swim School

Experienced Franchisors who are local business owners

Malvika Maheshwary and Basant Maheshwary who are requesting this preliminary Wastewater approval for their proposed swim school are local business owners having built, owned, and operated The Goddard School at 360 Coddle Market Drive NW in Concord for the past several years. They are passionate about children and serving families within vibrant and growing Concord community and feel that this Swim School will be a very valuable addition to the community that will help not just children but also adults learn a very valuable life safety skill and develop a lifelong love of the water.

Project Location

The Swim School is proposed to be built by Vinca Ventures, Inc (d/b/a SafeSplash Swim Schools) at 5985 Thunder Road, Concord, NC 28027. The entire 6,090 sq. ft. building at the location is currently under construction and is being leased by Vinca Ventures, Inc. for the Swim School from Thunder Road Venture LLC who are the property developers and landlord.

Wastewater Flow

The total Wastewater Flow we are seeing approval for is ***1,350 GPD*** (1,920 GPD minus 570 GPD).

The Project Architects and Engineer estimate the total Wastewater Flow for our proposed facility to be 1,920 GPD in accordance with 15A NCAC 2T.0114 based on Established Type of Swimming pools, bathhouses and spas and an occupancy of 192 persons. We are attaching a letter from the Project Architect detailing the estimated usage calculation.

The City of Concord had previously approved 570 GPD for the building for the landlord. An e-mail confirmation from the City confirming the credit available is attached for your records.

SAFESPLASH SWIM SCHOOL

Vinca Ventures, Inc.

d/b/a SafeSplash Swim School

We look forward to your favorable consideration in approving our application. Please let us know if you have any questions or need any additional information regarding the project. We can be reached at 704 778 0567 and/or bmaheshwary@hotmail.com or malvika7@hotmail.com

Sincerely,

Malvika Maheshwary

President

Vinca Ventures, Inc.

d/b/a SafeSplash Swim School

Attachments

1) Completed Preliminary Wastewater Flow Application
2) Architect Letter for Wastewater Flow Calculation
3) E-mail from the City confirming the Credit of 570 GPD for our usage based on prior Wastewater approval for the building for the Landlord
4) Business Corporation Annual Report for Vinca Ventures, Inc. filed with NC Secretary of State showing Malvika Maheshwary as Registered Agent and Malvika Maheshwary and Basant Maheshwary as the Officers

SAFESPLASH SWIM SCHOOL

LASKY ARCHITECT, P.A.
3330 NE 34th St.
Ft. Lauderdale FL 33308
P: 954-566-5051
Email: Scott@Laskyarchitect.com

8/24/2023

City of Concord Engineering Department
PO Box 308
Concord, NC 28028-0308

RE: Preliminary Wastewater Flow Application for SafeSplash+Swimlabs branded Swimming School facility proposed at 5985 Thunder Rd NW, Concord, NC 28027

To whom it may concern:

We have been retained by Vinca Ventures, Inc. as the Architect for the proposed SafeSpash+Swimlabs branded Swimming School facility proposed at 5985 Thunder Road NW, Concord, NC 28027 (Parcel ID:45895765320000). The proposed layout developed by us for the facility is attached for your reference.

As per the Occupant Load calculations done by us based on the proposed layout for the facility, we are anticipating a maximum wastewater flow of 1,920 GPD as below -

Maximum Occupant Load - 192 occupants

15A NCAC 2T.0114 Guideline for Swimming pools, bathhouses and spas – 10 Gal/Person

Maximum Projected Wastewater Flow – 1,920 GPD

Please let us know if you have any questions.
Sincerely,

Thank you in advance
Scott Lasky AIA, NCARB
Ph (954)566-5051
Email: scott@laskyarchitect.com

SCOTT L. LASKY
REGISTERED ARCHITECT
12897
NORTH CAROLINA
CORAL SPRINGS, FL

bmaheshwary@hotmail.com

From:	CitizenAccess@CabarrusCounty.US
Sent:	Tuesday, October 3, 2023 10:26 AM
To:	bmaheshwary@hotmail.com
Cc:	shoafc@concordnc.gov
Subject:	CN-PSA-2023-00056 - Additional information requested

Good morning:

Please update the sewer calculations in Section D of the application to include a credit for the current sewer allocation for this building under the Thunder Rd project. The current project has a credit of 570 gpd which will reduce the overall requested amount to 1,350 gpd for the SafeSplash Swim School, based on the information provided. Please make those updates to the application and resubmit to the Accela case documents.

Thank you.
E-mail correspondence to and from this address may be subject to the North Carolina Public Records Law and may be disclosed to third parties.

BUSINESS CORPORATION ANNUAL REPORT

1/6/2022

NAME OF BUSINESS CORPORATION: **Vinca Ventures, Inc.**

SECRETARY OF STATE ID NUMBER: 1956630 STATE OF FORMATION: NC

REPORT FOR THE FISCAL YEAR END: 12/31/2022

Filing Office Use Only
E - Filed Annual Report
1956630
CA202309006921
3/31/2023 03:15
☒ Changes

SECTION A: REGISTERED AGENT'S INFORMATION

1. NAME OF REGISTERED AGENT: Maheshwary, Malvika

2. SIGNATURE OF THE NEW REGISTERED AGENT: _____
SIGNATURE CONSTITUTES CONSENT TO THE APPOINTMENT

3. REGISTERED AGENT OFFICE STREET ADDRESS & COUNTY
17809 Stuttgart Road
Davidson, NC 28036 Mecklenburg County

4. REGISTERED AGENT OFFICE MAILING ADDRESS
17809 Stuttgart Road
Davidson, NC 28036

SECTION B: PRINCIPAL OFFICE INFORMATION

1. **DESCRIPTION OF NATURE OF BUSINESS:** Swim School

2. **PRINCIPAL OFFICE PHONE NUMBER:** (704) 778-0567

3. **PRINCIPAL OFFICE EMAIL:** Privacy Redaction

4. PRINCIPAL OFFICE STREET ADDRESS
17809 Stuttgart Road
Davidson, NC 28036

5. PRINCIPAL OFFICE MAILING ADDRESS
17809 Stuttgart Road
Davidson, NC 28036

6. **Select one of the following if applicable. (Optional see instructions)**

☐ The company is a veteran-owned small business

☐ The company is a service-disabled veteran-owned small business

SECTION C: OFFICERS (Enter additional officers in Section E.)

NAME: Basant Maheshwary	NAME: Malvika Maheshwary	NAME:
TITLE: Vice President	TITLE: President	TITLE:
ADDRESS: 17809 Stuttgart Road Davidson, NC 28036	ADDRESS: 17809 Stuttgart Road Davidson, NC 28036	ADDRESS:

SECTION D: CERTIFICATION OF ANNUAL REPORT. Section D must be completed in its entirety by a person/business entity.

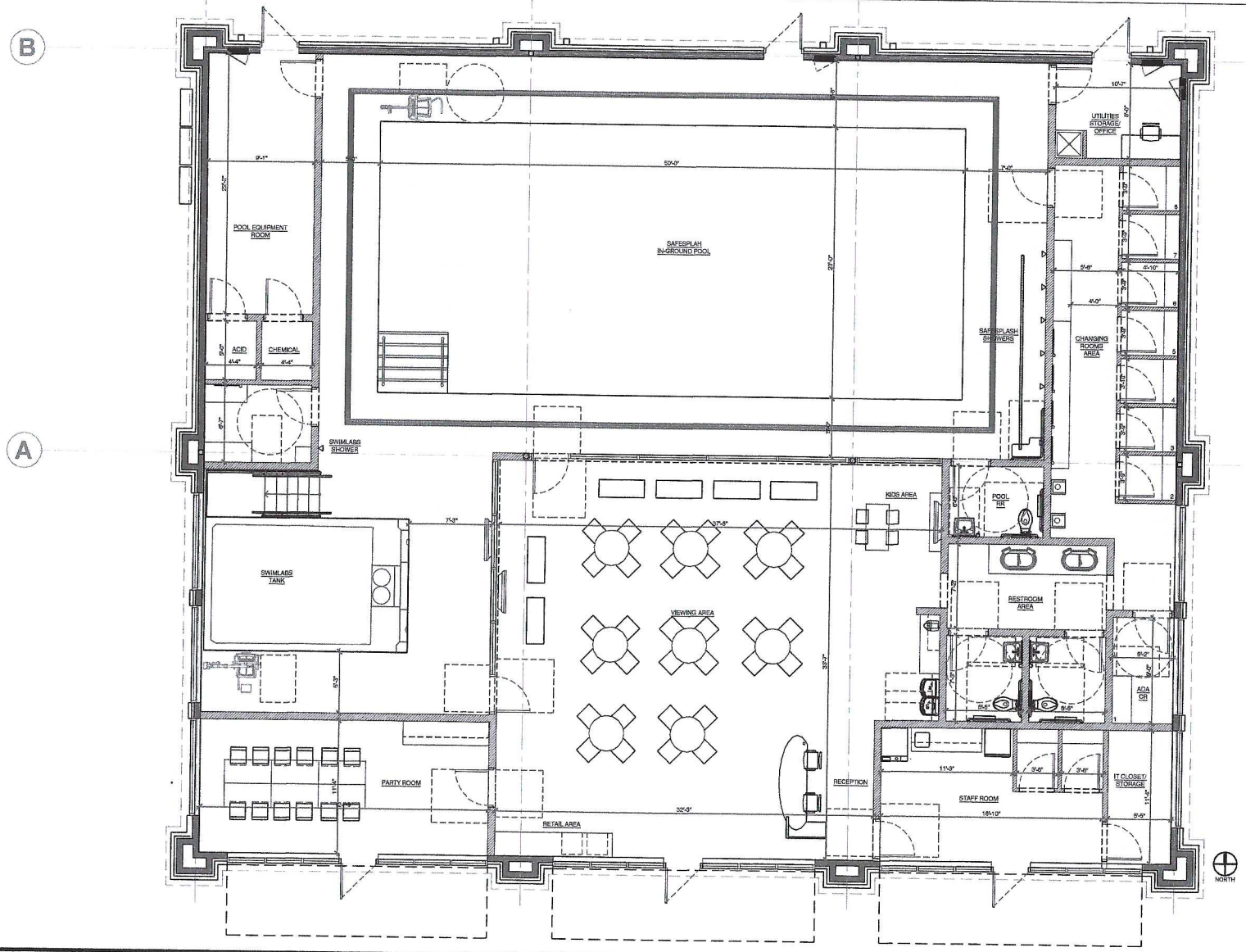
Basant Maheshwary
SIGNATURE
Form must be signed by an officer listed under Section C of this form.

3/31/2023
DATE

Basant Maheshwary
Print or Type Name of Officer

Vice President
Print or Type Title of Officer

This Annual Report has been filed electronically.
MAIL TO: Secretary of State, Business Registration Division, Post Office Box 29525, Raleigh, NC 27626-0525



SAFESPLASH/ SWIMLABS
CONCORD,NC

PRELIMINARY FLOOR PLAN 2

SCALE: 1/4" = 1'-0"

SafeSplash Swim School

LASKY ARCHITECT, P.A.

3330 NE 34TH ST.
FT. LAUDERDALE FL 33308
PH: 954-566-5051
WWW.LASKYARCHITECT.COM

©LASKY ARCHITECT, P.A.
THIS DOCUMENT IS CURRENTLY OF LASKY ARCHITECT P.A. AND SHALL NOT BE REPRODUCED WITHOUT THE WRITTEN CONSENT OF LASKY ARCHITECT P.A.

Nonresidential

Kids R Kids Daycare (CN-PSA-2023-00059)

125 Pitts School Rd. SW

DRC	Entitled	Units	PRS Routed	Technically Approved
6/8/2023	Yes	10,600 sf of daycare	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	No	No	No

Allocation Request

Total	2024
4,875	**4,875**

Office	Small Area Plan	Part of Approved Mixed Use	Annexation (Not ED)	Logistics/Distribution	Total
0	0	0	0	0	0

Brief Summary

This proposal is to expand the offerings of Kids R Kids in the Concord area. This parcel is zoned General Commercial (C-2).

CN-PSA-2023-00059

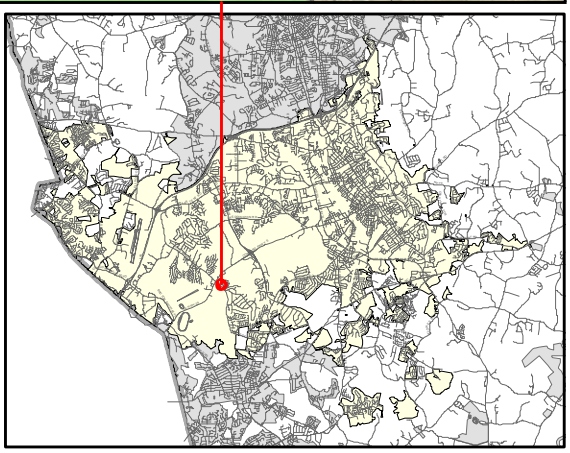
Type: Nonresidential

10,600 sf daycare

Allocation Request: 4,875

Project Score: 0

Developments
Parcels
Rivers
Concord
Cabarrus County



Concord
NORTH CAROLINA

PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	Project Title:	125 Pitts School Road SW - Kids R Kids Daycare					
2.)	Description of project location:	125 Pitts School Road, at the intersection of Pitts School Road and Concord Parkway (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####))					
3.)	Cabarrus County Parcel Identification Number:	55094332610000	3a.)	Parcel Acreage:	1.431		
4.)	Site Zoning and use:	C2-Commercial	5.)	Area Commercial or Industrial Building	(sq. ft.) 10,600		
6a.)	Description of Facility to be served.	Other...specify	6b.) Number of Lots	1	6c.) Number of Units	1	
7d.)	Additional description information:	Daycare					

B. Applicant Information

Kunal Shah — Manager of Purchaser (Title) (Name of **legal owner**, **board**, **council**, and/or **authorized official with title**; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	320 Coddle Market Dr NW (Applicant's Street or Box Number)
SHAH REALTY & MANAGEMENT, LLC (Name of Applicant's company, city, town, corporation, sanitary district, water company or other defined in property records and/or as listed in the NC Secretary of State Corporation filings, as applicable.)	Concord, NC 28027 (Applicant's City, State, Zip Code)
856-813-6891 (Applicant's Phone Number)	(Applicant's Facsimile Number)
Stephanie Cooper, Esq (Name) 704-322-8617 (Email) (Name with Title and Email of contact person, who can answer questions about application)	kunal@krkconcord.com (Applicant's Email Address)
REQUIRED Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.	

C. Design Engineer Information if available

Matt Lowder (Typed name of North Carolina Professional Engineer)	Triangle Site Design, PLLC (Company Name)
24434 (NCPE Registration Number)	4004 Barrett Drive Suite 101 (Street or Box Number)
919-553-6570 (Phone Number)	Raleigh, NC 27609 (City, State, Zip Code)
Matt Lowder, PE (Name and affiliation of contact person, who can answer questions about **application & designs**)	mlowder@trianglesitedesign.com (Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

☐	Residential Subdivision	☐	Retail (Stores, shopping centers)
☐	Apartments/Condominiums	☐	Institution
☐	Mobile Home Park	☐	Hospital, nursing home, dental
☑	School, preschool, daycare	☐	Church
☐	Restaurants (Food or drink facilities)	☐	Sports Centers
☐	Hotels or motels	☐	Business, offices, factories
☐	Other (specify):____		

2.) The type of wastewater is (indicate percentage):

	% Domestic
100	% Commercial
	% Industrial
	% Other use (Specify) ____

3.) Pretreatment required:
- ◉ No
- ○ Yes (Specify or attach effluent documentation)

4.) **Volume of wastewater flow to be allocated for this particular project:** 4,875 gallons per day
*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**
(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**
- a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).
- b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

(Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.)

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)	No. of Units	Flow
Day Care and Preschool Facilities	25 gal/ person (child & employee)	195	GPD 4875
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
		Total	GPD 4875

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I, Kunal Shah (Printed Name), **the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.**

Kunal Shah — Signature:

9/28/23 — Date:

COOPER LEGAL
FIRM PC

Stephanie L. Cooper, Esq.*
Pamela F. Entrikin, Esq.**
Joshua C. Garlick, Esq.**
Sarah A. Waldron, Esq.

* Also licensed in Nevada
** Licensed in North Carolina and South Carolina

September 29th, 2023

Concord City Council
65 Church St S
Concord, NC 28025

RE: 125 Pitts School Road, Concord, NC 28027 – Kids R Kids Daycare

Honorable Mayor and Respected Council Members:

We are pleased to present this application on behalf of Shah Realty & Management, LLC for an increase in wastewater allocation for the above-referenced property for the purpose of providing quality daycare services to the people of Concord, North Carolina. The daycare is to be conveniently located at the corner of Pitts School Road and Concord Parkway in the City of Concord, Cabarrus County. The underlying property is owned by Settlers Landing Construction LLC and is part of a commercial development of stand-alone buildings that are zoned C-2 for Commercial use and is designated by Cabarrus County pin 5509 43 4142 0000. Kids R Kids an affiliated company of Shah Realty & Management, LLC desperately needs this location in order to assist in providing adequate childcare to the surrounding area.

Establishing a day care facility requires a great deal of planning because of very thorough North Carolina Administrative Code requirements as to space requirements for indoor and outdoor use as well as instructor/student ratios. For example, NCAC 9.1401 requires that all children have 25 square feet of space in any primary room. This requirement doesn't change whether the child is an infant or older child.

This property boasts 10,400 square foot that will be built out into several primary rooms to accommodate up to 175 children and 22 staff members. Section 9.0713 of the North Carolina Administrative Code sets forth specific ratios of instructors to students in early childhood classrooms to wit:

Age of Children Ratio Staff/Children Maximum Group Size

Age	Ratio	Maximum Group Size
0 to 12 Months	1/5	10
12 to 24 Months	1/6	12
2 to 3 Years	1/10	20
3 to 4 Years	1/15	25
4 to 5 Years	1/20	25
5 Years and Older	1/25	

It is estimated that 70 of the children in the facility will not require sewer. The facility plans to deliver quality care to infants and toddlers who will require diaper changing. Notwithstanding that fact, the code required sewer allocation is 25 gallons per day per person for

daycare facilities. Thus, the code requirement for the infants and toddlers totals 1,750 gpd or 52,500 gpm despite the fact that they don't utilize the wastewater resources. The remaining 127 children and staff would require 3,175 gpd or 95,250 gpm.

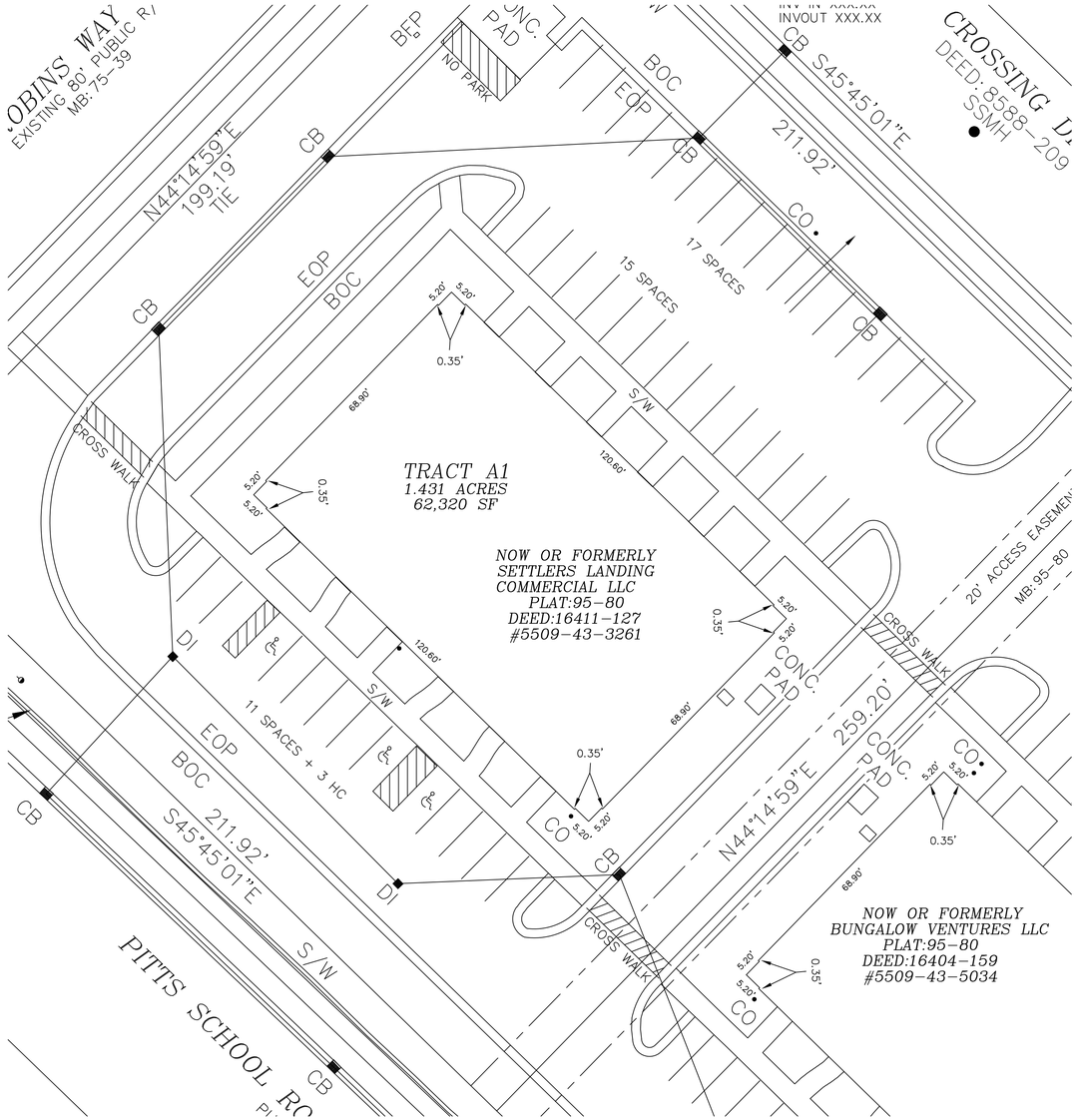
The Code does not differentiate between infants and adults or businesses that are open during only certain hours or on certain days. The daycare facility is only open on weekdays and has only daytime hours. The average number of days that the daycare is open per month is 18.33 days accounting for weekends and holidays. Currently the existing sewer allocation to 125 Pitts School Rd SW is 18000gpm (currently allocated) which is 600gpd. Per the codes, the daycare will need an additional 29,200gpm or 973gpd.

Kids R Kids currently has a facility on Coddle Creek in Concord, North Carolina. At that facility which is 38% bigger than the new facility with 38% higher capacity for children, the actual current usage is between 18,000-19,000GPM with an average usage of 1,037 GPD based on 18.33 days that the facility is open per month or 633GPD on a 30-day equation.

The Applicant humbly asks that this Council provide the additional wastewater allocation so that the daycare facility can be established providing a valuable resource for the ever growing population of new families who are choosing to make Concord a place to raise their children.

Very Truly Yours,

Stephanie L. Cooper, Esq.



DISCLAIMER:
THIS PLAN WAS CREATED BY UTILIZING THE CIVIL PLANS PROVIDED BY (THE CLIENT) KUNAL SHAH OF "KIDS 'R' KIDS CONCORD". DRAFTECH DESIGN, LLC (THE DESIGNER) ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OR COMPLIANCE OF THESE PLANS.

FILE NAME:
ACAD-125 ALTA 04102023-Model Revised.dwg

DATE: MAY 30, 2023
DRAWN BY: MIKE PATEL
JOB NUMBER:002-0623-05
REVISIONS:

©DRAFTECH 2023

PROJECT
DAYCARE CTR
125 PITT SCHOOL RD
CONCORD, NC

OWNER
KUNAL SHAH

TITLE
EXISTING & PROPOSED SITE PLAN

EXISTING SITE PLAN

EXISTING PARKING SPACES:
46 INCLUDING 3 HC SPACES

PROPOSED SITE PLAN

TOTAL PARKING SPACES: 38 (INCLUDING 3 HC)

EXISTING	REMOVED	PROPOSED
46	14	6

TOTAL PLAYGROUND AREA: 6,250 SQFT

1 YR OLD	2 YR OLD	3 & 4 YR OLD
1,650 SQFT	2,000 SQFT	2,600 SQFT

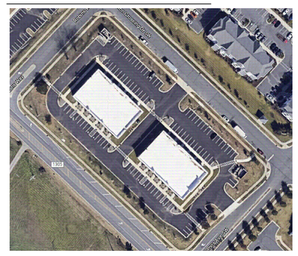
LEGEND:
72" HIGH FENCE

20 10 0 20 40
SCALE : 1:20

FOR REVIEW ONLY/ NOT FOR CONSTRUCTION

PROJECT NORTH
MAGNETIC NORTH

VICINITY MAP



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mikepatel@draftechdesign.com
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S1
OF SHEETS

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Poplar Mills (Park Place) (CN-PSA-2023-00062)

1200 Cox Mill Rd.

DRC	Entitled	Units	PRS Routed	Technically Approved
7/2/2020	Yes	32,000 sf of restaurant, retail, daycare, pool/clubhouse	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	Yes	No	Yes	Yes

Allocation Request

Total	2024
18,425	**18,425**

Brief Summary

Office	Small Area Plan	Part of Approved Mixed Use	Annexation (Not ED)	Logistics/Distribution	Total
0	0	1	0	0	1

The applicant is seeking sewer allocation for 32,000 square feet of commercial space including restaurant, retail, and daycare. This is part of a mixed-use development that includes 141 single family attached residential units at 1200 Cox Mill Rd. NW and 24 units of single family detached. This site was heard and approved for rezoning on June 15, 2021. The total square footage permissible by zoning is less than what is being requested in the non-residential sewer application. This site is adjacent to the Ramseur Park.

CN-PSA-2023-00062

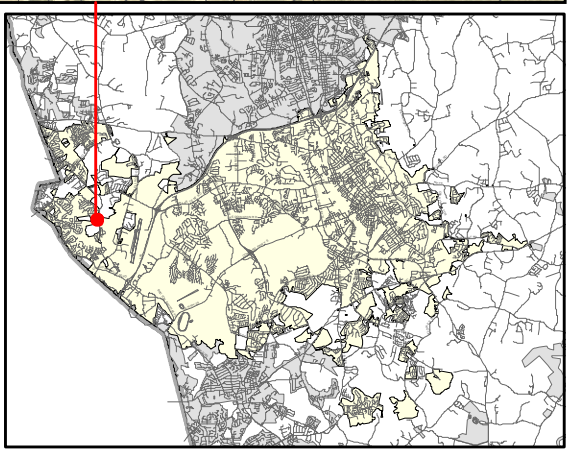
Type: Nonresidential

Restaurant, retail, daycare

Allocation Request: 18,425

Project Score: 1

Developments
Parcels
Rivers
Concord
Cabarrus County



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	Project Title:	Poplar Mills				
2.)	Description of project location:	LOCATED ON COX MILL RD (SR-1448), APPROX 3500 LF SOUTH OF THE INTERSECTION OF POPLAR TENT RD (SR-1394) AND COX MILL RD (SR-1448) (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####)				
3.)	Cabarrus County Parcel Identification Number:	468033-8708	3a.)	Parcel Acreage:	28.03	
4.)	Site Zoning and use:	PUD	5.)	Area Commercial or Industrial Building (sq. ft.)	32,000	
6a.)	Description of Facility to be served.	SINGLE FAMILY/TOWNHOMES/COMMERCIAL	6b.) Number of Lots	56	6c.) Number of Units	165
7d.)	Additional description information:	ALSO INCLUDES PARCELS: 468034-8230, 468043-1923, 468044-0386, 468044-0585, 468034-8660, 468034-3187, 468034-1315				

B. Applicant Information

HARI VUPPALA (Title)	407 SUTRO FOREST DR. NW
(Name of legal owner, board, council, and/or authorized official with title; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	(Applicant's Street or Box Number)
AVA GLOBAL, LLC	CONCORD, NC, 28027
(Name of Applicant's company, city, town, corporation, sanitary district, water company or other defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	(Applicant's City, State, Zip Code)
704-488-3290	N/A
(Applicant's Phone Number)	(Applicant's Facsimile Number)
HARI VUPPALA (Name) AVAGLOBALLLC@GMAIL.COM (Email)	AVAGLOBALLLC@GMAIL.COM
(Name with Title and Email of contact person, who can answer questions about application)	(Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

HY NGUYEN	DPR DESIGN
(Typed name of North Carolina Professional Engineer)	(Company Name)
NC PE 030523	919 BERRYHILL RD. SUITE 101
(NCPE Registration Number)	(Street or Box Number)
704-332-1204	CHARLOTTE, NC 28208
(Phone Number)	(City, State, Zip Code)
BEN LAWRENCE	HNGUYEN@DPR.DESIGN
(Name and affiliation of contact person, who can answer questions about application & designs)	(Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

✓	Residential Subdivision	✓	Retail (Stores, shopping centers)
	Apartments/Condominiums		Institution
	Mobile Home Park		Hospital, nursing home, dental
✓	School, preschool, daycare		Church
✓	Restaurants (Food or drink facilities)		Sports Centers
	Hotels or motels		Business, offices, factories
	Other (specify):____		

2.) The type of wastewater is (indicate percentage):

70	% Domestic
30	% Commercial
	% Industrial
	% Other use (Specify) ____

3.) Pretreatment required:
(●) No
( ) Yes **(Specify or attach effluent documentation)**
____

4.) **Volume of wastewater flow to be allocated for this particular project:** 57,775 gallons per day
*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**
(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**

a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)			No. of Units	Flow	
SINGLE FAMILY DETACHED	300	gal/	UNIT/DAY	14	GPD	4,200
TOWNHOMES	225	gal/	UNIT/DAY	154	GPD	34,650
RESTAURANT	40	gal/	DAY/SEAT	220	GPD	8,800
RETAIL	100	gal/	DAY/1000 SF	11250	GPD	1,125
DAYCARE	25	gal/	DAY/CHILD+STAFF	340	GPD	8,500
POOL/CLUBHOUSE	10	gal/	PERSON	50	GPD	500
				Total	GPD	57,775

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I Hari Vuppala (Printed Name), **the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.**

Hari Vuppala Digitally signed by Hari Vuppala Date: 2022.12.22 11:25:01 -05'00' 10-03-2023

Signature: Date:

Poplar Mills Narrative

Due October 16, 2023, for consideration December 2023

Site Development Data:

--Acreage: ± 28.03 acres

--Tax Parcel #: 4680-34-1315, 4680-34-3187, 4680-34-8660, 4680-44-0585, 4680-44-0386, 4680-33-8708, 4680-43-1923, and 4680-34-8230

--Existing Zoning: LDR

--Proposed Zoning: PUD

--Existing Uses: Residential/Vacant

--Proposed Uses: 14 single-family detached dwelling units and 154 single family attached units. 2 commercial use buildings.

General:

Poplar Mills is a mixed-use development located on Cox Mill Road in Concord, NC approximately 3500' south of the intersection of Cox Mill Rd and Poplar Tent Rd. It will consist of 14 detached single-family units, 154 attached townhome units and 2 commercial buildings totaling 32,000 sf. Building 1 has been proposed for restaurant and retail use. Building 2 has been proposed for daycare use. Community amenities will include bench seating, walking trails, play areas as well as a community pond.

Project Description:

The site development plan concept will create a mixed use, pedestrian friendly community with a sustainable mix of residential and commercial land uses and intensities containing neighborhood services surrounded by sustainable neighborhood housing with diverse housing types, natural resources, open space areas, and connectivity to the planned community park as well as elementary and high school facilities in walking distance.

This planned development is consistent with the City's 2030 Land Use Plan in accordance with maintaining a sustainable balance of residential and commercial land uses, ensuring compatibility between neighboring land uses, protecting natural resources, retaining open space, connecting mixed uses by way of an integrated network of streets, bike paths and pedestrian access, among other plan goals.

In the event this development receives preliminary sewer capacity allocation for one or more uses, but not all proposed uses, the project will proceed with the approved use(s) and the developer will reapply until all proposed uses have been approved.

Consistent with Purposes of Planned Unit Development:

The proposed planned development will provide for the orderly development of land with a mix of land uses and PUD zoning district to permit flexibility in certain site design features and processing of this quality mixed-use development in exchange for enhanced design elements such as enhanced open space areas and multi-modal connectivity within the community. The proposed planned development promotes the most appropriate use of parcels on the Site, facilitates interconnected streets, substantial open spaces, unified signage/wayfinding, sidewalks, and bike paths with connectivity to the planned community park and nearby schools. The plan preserves/enhances open space and natural features that also offer recreational opportunities to residents. The proposed plan also supports neighborhood services uses for the broader community within walking or biking distances reducing vehicle trips to other commercial nodes.

Design Intent Statement:

Poplar Mills is a proposed walkable residential community where the residents of the community will have convenient and easy access to a series of passive and active open spaces that are interconnected by a network of streets, sidewalks, and trails.

Environmental Features:

The Site will comply with Stormwater and Water Quality requirements as set forth in the Ordinance and applicable NCDEQ Design Manual.

The Site is located outside of any FEMA 100-yr floodway and floodplain.

Price Points for Homes:

$400k+ for Townhomes and $450K+ for Single Family Detached homes.

SCALE: 1" = 100'
0 50' 100' 200'

1 SCHEMATIC ILLUSTRATIVE SITE PLAN

PLAN

SCALE: 1" = 100'

2 ARCHITECTURE PRECEDENT IMAGERY

Park View Commercial View 1
04/29/2021

Park View Commercial View 2
04/29/2021

Park View Commercial View 3
04/29/2021

Park View Commercial View 4
04/29/2021

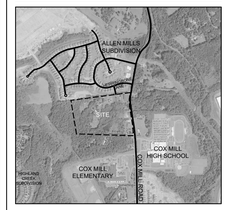
3 OPEN SPACE PRECEDENT IMAGERY

dpr design
master planning . civil engineering
urban design . landscape architecture
919 berryhill rd. ste 101 . charlotte, nc 28208
704.332.1204 . www.dpr.design
NC Eng. Firm #C-0650 | LA Firm #C-032

CLIENT / OWNER

AVA GLOBAL, LLC
407 SUTRO FOREST DR NW
CONCORD, NORTH CAROLINA, 28027
704.488.3290

KEY MAP



PROJECT

POPLAR MILLS

COX MILL ROAD
CONCORD, NORTH CAROLINA

PROJECT NUMBER
22005

DATE
08.14.2023

ISSUED FOR
REZONING

REVISIONS

NO.	DATE	DESCRIPTION	BY

PROJ. MANAGER: HN
DRAWN BY: AF
CHECKED BY: HN

SEAL

SCALE
AS INDICATED

DRAWING
ILLUSTRATIVE SITE PLAN

RZ-1

Plotted: 22005-RZ1.dwg / 8/14/2023 9:09 AM

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ORIGINAL SHEET SIZE: 24" X 36"

Park View Commercial View 1
04/29/2021

REDLINE | DESIGN GROUP
ARCHITECTURE | INTERIOR DESIGN | PLANNING | GRAPHIC DESIGN

Park View Commercial View 2
04/29/2021

REDLINE | DESIGN GROUP
ARCHITECTURE | INTERIOR DESIGN | PLANNING | GRAPHIC DESIGN

Park View Commercial Aerial View
04/29/2021

REDLINE | DESIGN GROUP
ARCHITECTURE | INTERIOR DESIGN | PLANNING | GRAPHIC DESIGN

Park View Commercial View 3
04/29/2021

REDLINE | DESIGN GROUP
ARCHITECTURE | INTERIOR DESIGN | PLANNING | GRAPHIC DESIGN

Park View Commercial View 4
04/29/2021

REDLINE | DESIGN GROUP
ARCHITECTURE | INTERIOR DESIGN | PLANNING | GRAPHIC DESIGN

Park View Commercial Material Palette
04/29/2021

REDLINE | DESIGN GROUP
ARCHITECTURE | INTERIOR DESIGN | PLANNING | GRAPHIC DESIGN

1A | OFFICE / COMMERCIAL
CONCEPTUAL ELEVATION

ARCHITECTURE TO MATCH STYLE/INTENT OF COMMERCIAL PRECEDENT.

1B | CLUB/AMENITY
CONCEPTUAL ELEVATION

- BEIGE WINDOW FRAMES, MULLIONS
- STANDARD GREY MODULAR BRICK
- GREY CMU
- 2 COLORS OF CEMENTIOUS EXTERIOR ('HARDIE') BOARD, BOARD & BATTEN, AND CLAPBOARD SIDING
- GUNMETAL GREY POWDER COATED ALUMINUM HANDRAILS AT BALCONIES
- ALUMINUM GUTTERS/DOWNSPOUTS
- METAL TRIM/COPING TO MATCH GUTTERS/DOWNSPOUTS
- CHARCOAL 20 YEAR ASPHALT SHINGLES

2 | SINGLE FAMILY HOME EXTERIOR MATERIALS
CONCEPTUAL ELEVATION

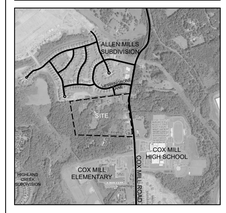
- BRICK/STONE
- VINYL SIDING
- CEMENTIOUS EXTERIOR ('HARDIE') BOARD SIDING
- BOARD AND BATTEN

3 | TOWNHOMES (SINGLE FAMILY ATTACHED) EXTERIOR MATERIALS
CONCEPTUAL ELEVATION

dpr design
master planning . civil engineering
urban design . landscape architecture
919 berryhill rd. ste 101 . charlotte, nc 28208
704.332.1204 . www.dpr.design
NC Eng. Firm #C-0650 | LA Firm #C-032

CLIENT / OWNER
AVA GLOBAL, LLC
407 SUTRO FOREST DR NW
CONCORD, NORTH CAROLINA, 28027
704.488.3290

KEY MAP



PROJECT
POPLAR MILLS
COX MILL ROAD
CONCORD, NORTH CAROLINA

PROJECT NUMBER
22005

DATE
08.14.2023

ISSUED FOR
REZONING

REVISIONS

NO.	DATE	DESCRIPTION	BY

PROJ. MANAGER: HN
DRAWN BY: AF
CHECKED BY: HN

SEAL

SCALE
AS INDICATED

DRAWING
ARCHITECTURAL CHARACTER

RZ-5

Plotted: 22005-RZ1.dwg / 8/14/2023 9:10 AM

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ORIGINAL SHEET SIZE: 24" X 36"

4510 Fortune Spec Industrial (CN-PSA-2023-00063)

4510 Fortune Ave. NW

DRC	Entitled	Units	PRS Routed	Technically Approved
No	Yes	73,200 sf office and warehouse	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	No	No	No

Allocation Request

Total	2024
7,600	**7,600**

Office	Small Area Plan	Part of Approved Mixed Use	Annexation (Not ED)	Logistics/Distribution	Total
0	0	0	0	0	0

Brief Summary

This proposal is to build a 74,000 sf industrial building that can accommodate one to four tenants and will follow the International Corporate Center's design standards. This parcel is zoned General Industrial (I-2).

Nonresidential

CN-PSA-2023-00063

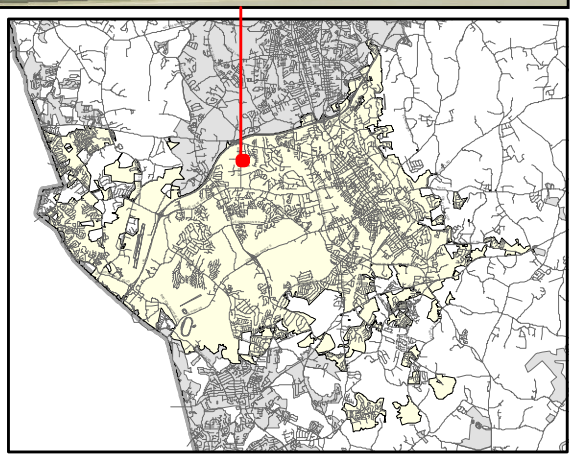
Type: Nonresidential

73,200 sf office and warehouse

Allocation Request: 7,600

Project Score: 0

Developments
Parcels
Rivers
Concord
Cabarrus County



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	**Project Title:**	4510 Fortune Spec Industrial					
2.)	**Description of project location:**	Site located on Fortune Avenue NW, approx 410 linear feet South of the intersection of the Fortune Avenue and International Dr NW, heading towards Corporate Dr. NW (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####)					
3.)	**Cabarrus County Parcel Identification Number:**	5601-74-2616	3a.)	**Parcel Acreage:**	1.800		
4.)	**Site Zoning and use:**	I-2 / Undeveloped	5.)	**Area Commercial or Industrial Building (sq. ft.)**	73,200		
6a.)	**Description of Facility to be served.**	Office and warehouse	**6b.) Number of Lots**	1	**6c.) Number of Units**	1	
7d.)	**Additional description information:**	30% of the building will be used for office space, while the remaining portion of the building will be used as warehouse. There will be 21 loading bays for the warehouse portion of the building.					

B. Applicant Information

Eric C. Smyth , CEO (Title) (**Name** of **legal owner**, **board**, **council**, and/or **authorized official with title**; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	176 Mine Lake Court, Suite 100 (Applicant's Street or Box Number)
Concord Fortune, LLC (**Name of Applicant's company, city, town, corporation, sanitary district, water company or other** defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	Raleigh, NC 27615 (Applicant's City, State, Zip Code)
949-202-4548 (Applicant's Phone Number)	949-474-2101 (Applicant's Facsimile Number)
Kate Underwood, PhD, P.E (Name) kate@daylighteng.com (Email) (Name with Title and Email of contact person, who can answer questions about application)	ania@ciprealestate.com (Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

Kate Underwood , PhD, PE (Typed name of North Carolina Professional Engineer)	Daylight Engineering (Company Name)
033470 (NCPE Registration Number)	P.O Box 1804 (Street or Box Number)
(980) 234-7500 (Phone Number)	Concord, NC, 28026-1804 (City, State, Zip Code)
Kate Underwood, PhD, PE (Name and affiliation of contact person, who can answer questions about **application & designs**)	kate@daylighteng.com (Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

☐	Residential Subdivision	☐	Retail (Stores, shopping centers)
☐	Apartments/Condominiums	☐	Institution
☐	Mobile Home Park	☐	Hospital, nursing home, dental
☐	School, preschool, daycare	☐	Church
☐	Restaurants (Food or drink facilities)	☐	Sports Centers
☐	Hotels or motels	☑	Business, offices, factories
☐	Other (specify):____		

2.) The type of wastewater is (indicate percentage):

	% Domestic
	% Commercial
100	**% Industrial**
	% Other use (Specify) ____

3.) Pretreatment required:

◉ No

○ Yes **(Specify or attach effluent documentation)**

4.) **Volume of wastewater flow to be allocated for this particular project:** 7,600 gallons per day

*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**

(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**

a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{**Flow rates NOT listed in table 15A NCAC 2T .0114** must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)			No. of Units	Flow	
General Offices	25	gal/	employee/shift	25 gal/employee/shift * 1 shift * 220 employees	GPD	5,500
Warehouses	100	gal/	loading bay	100 gal/loading bay * 21 loading bays	GPD	2,100
		gal/			GPD	
		gal/			GPD	
		gal/			GPD	
		gal/			GPD	
				Total	GPD	7,600

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I Eric C. Smyth (Printed Name), **the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.**

Signature: _____ Date: 10/2/23

CIP REAL ESTATE

T 949.474.7030
F 949.474.2101
19762 MacArthur Blvd., Suite 300
Irvine, California 92612
www.ciprealestate.com

MEMORANDUM

DATE: **SEPTEMBER 28, 2023**

TO: **CITY OF CONCORD**
PLANNING & NEIGHBORHOOD DEVELOPMENT DEPARTMENT

FROM: **ERIC SMYTH**
CHIEF EXECUTIVE OFFICER

RE: **PROJECT NARRATIVE**

CIP Real Estate ("the Company") has owned through a subsidiary the International Corporate Center since June 2020. This 200,737 square foot industrial park has been a very successful asset in the Company's portfolio, so when the opportunity arose to acquire the adjacent three small land parcels totaling approximately six acres, we were very excited to add an additional building to this project.

Called the Fortune development due to its location at the southeast corner of Fortune Avenue NW and International Drive NW, this planned building will consist of approximately 74,000 square feet designed to collaborate with the International Corporate Center, which has smaller unit sizes, and to accommodate from one to four tenants ranging in size from about 20,000 square feet to the entire building.

The Company and its leasing team from CBRE have completed extensive market research relating to this development and have

concluded that these “mid-range” unit sizes are not readily available in market and perfectly meet the tenant demand in the I-85 corridor. The building will provide flexible interior improvement scenarios to match specific user requirements, an essential component to attract tenants to the project.

The Company has extensive experience in construction projects of this type, including the recent completion of two similar 90,000 square foot distribution buildings in Atlanta and a 75,000 square foot multi-tenant industrial building currently being developed in its Whitehall Tech Center at the confluence of the I-75 and I-485 freeways south of Uptown. The Company has an industrial portfolio of about 7.0 million square feet, exceeding $1.2 billion located across the Southeast and West Coast markets, including over 1.0 million square feet of existing and planned projects in the greater Charlotte MSA.

Parlaying off the current Whitehall development, the Company has engaged a first-rate team of development consultants for the Fortune project: WGM Designs and Daylight Engineering. We believe the building’s design will match the remarkably high standards of the larger master-planned development and provide convenient expansion options for occupants of the International Corporate Center, allowing our tenants to remain in the City of Concord.

The Fortune project is planned to be a long-term “core” holding for the Company due to its quality and synergism with the larger International Corporate Center Park. For this reason, we look forward to working with the City of Concord’s Planning Department to make this project a success for the community.

N

0 30 60 Feet

80' PUBLIC ROW

FORTUNE AVE. NW
80' PUBLIC RIGHT OF WAY
MB. 50 PG. 44

N 88°10'24" E
342.21' (TOTAL)

NO POINT SET
AT LIGHT POLE

(5.08')
(69.96')

#5 REBAR

R=30.00'
L=46.97'
CB=N 43°08'34" E
C=42.32'

R25.00'

(299.97')

30.00'

2.28')

26.00'

71.00'

30' BUILDING SETBACK

R4.50'

1'-6" CURB AND GUTTER (TYP.)

MAG NAIL

ROD WITH CAP

N 01°42'27" W
200.11' (TOTAL)

(172.08')

REMAINS OF POSSIBLE BROKEN HYDRANT

LANDSCAPING OFFSITE COMMON AREA DB. 8990 PG. 211 DB. 9702 PG. 264

STREET SIGN

BUS STOP SIGN

40'x40' & 10'x70' SIGHT TRIANGLE EASEMENTS MB. 50 PG. 44

TEMPORARY CONSTRUCTION EASEMENT DB. 12272 PG. 252

ROADWAY EASEMENT DB. 12272 PG. 252

OFFSITE COMMON AREA (APPROXIMATE, 50' FROM PAVEMENT OF INTERNATIONAL DRIVE EXISTING IN 2009) DB. 8990 PG. 211 DB. 9702 PG. 264

CONCORD FORTUNE LLC
LOT 3B, MB. 59 PG. 41
DB. 16416 PG. 48
5601-74-2616
1.598 AC.

ZONED: I-2

(110.07')

S 01°49'32" E
202.60' (TOTAL)

(114.93')

R=350.00'
L=135.40'
CB=S 80°58'14" E
C=134.60'

129.36'

1'-6" CURB AND GUTTER (TYP.)

CONCORD FORTUNE LLC
LOT 3A, MB. 59 PG. 41
DB. 16416 PG. 14
5601-74-5693
1.795 AC.

125.01'

ZONED: I-2

R25.00'

S 47°19'28" E
26.00'

R93.00'

R67.00'

#5 REBAR WITH CAP

R=25.00'
L=20.43'
CB=S 46°54'40" E
C=19.87'

R=70.00'
L=97.87'
CB=S 63°33'18" E
C=90.09'

TRM
RR SPIKE IN ASPHALT
NAVD 88 ELEV. = 693.86

30' BUILDING SETBACK

ROD WITH CAP

S 00°12'36" W
99.02'

4" MAPLE

CHERRY

PERMANENT WATER EASEMENT DB. 12173 PG. 60

PERMANENT CROSS ACCESS EASEMENT ONE DB. 12173 PG. 60

ASPHALT DRIVE

8" CHERRY

1" PIPE

PERMANENT CROSS ACCESS EASEMENT TWO DB. 12173 PG. 60

DRAIN EASEMENT DB. 12173 PG. 60

(95.34')

EXISTING 20' UTILITY EASEMENT

TEMPORARY CONSTRUCTION EASEMENT DB. 12173 PG. 60

DISK WITH PUNCH IN CONCRETE MONUMENT CONTROL CORNER, MB. 50 PG. 44

304.32'

268.70'

(99.92')

S 87°53'
108.82'

#5 REBAR
NC GRID NAD 83 (2011)
EPOCH 2010.00
N=614,327.16'
E=1,507,722.26'

N 11°56'19" E
591.74' (GRID)
591.65' (GRID)

S 01°49'32" E
260.60'

ZONED: I-2

R3.34'

1'-6" CURB AND GUTTER (TYP.)

R52.89'

39.00'

26.50'

405.85'

S 88°11'02" W
623.59' (TOTAL)
(603.18')

4' HIGH RETAINING WALL DESIGNED BY OTHERS

4' HIGH RETAINING WALL DESIGNED BY OTHERS

462.70'

CIP CHARLOTTE PORTFOLIO LLC
MB. 54 PG. 90
DB. 14247 PG. 101
DB. 14247 PG. 107
5601-74-4021

ZONED: I-2

#5 REBAR

ROD WITH CAP

INTERNATIONAL DR.
PUBLIC RIGHT OF WAY,
VARIABLE WIDTH

N 01°52'17" W
209.47'

309.41'

(28.03')

(302.19')

(35)

(34)

S 88°10'20" W
719.07' (TOTAL)

(99.95')

(121.67')

DISK WITH PUNCH IN CONCRETE MONUMENT

BUILDING
73,200 SF

18.00'

5' CONCRETE SIDEWALK (TYP.)

9.00'

5.00'

12.00'

CONCORD FORTUNE LLC
MB. 32 PG. 9
DB. 16416 PG. 39
5601-74-3441
3.000 AC.

ZONED: I-2

R4.50'

26.00'

88.79'

27.51'

R8.00'

26.00'

SEE DETAIL "A"

DETAIL "A"
NOT TO SCALE

N 01°52'17" W
208.47'

10'x70' SIGHT TRIANGLE EASEMENT

10'x70' SIGHT TRIANGLE EASEMENT DB. 8204 PG. 304

10'x70' SIGHT TRIANGLE EASEMENT DB. 8204 PG. 301

CITY OF CONCORD ELECTRIC EASEMENT MB. 82 PG. 151

30' EASEMENT DUKE POWER COMPANY DB. 849 PG. 209

CITY UTILITIES DB. 1345

12" MAPLE (TYP. ALONG INTERNATIONAL DR.)

HYDRANT

S 04°54'33" W
105.70'

N 26°37'55" E
34.09'

N 09°36'09" E
30.59'

N 02°36'11" E
33.39'

N 00°22'30" W
104.79'

S 10°00'02" E
70.72'

N 01°36'18" W
100.00'

RIP RAP

SIDEWALK

PARKING CALCULATIONS:

69 TOTAL SPACES PROVIDED (3 HANDICAP)

SITE DATA TABLE

PARCEL NUMBER:	5601-74-2616 5601-74-5693 5601-74-3441
EXISTING ZONING:	I-2
PROPOSED ZONING:	I-2
PROPOSED USE:	INDUSTRIAL
MAX. BUILDING HEIGHT	72 FT.
SETBACKS:	30' MIN FRONT N/A MAX
MIN. LOT WIDTH	50 FT.
MIN. LOT DEPTH	100 FT.

IMPERVIOUS AREA SUMMARY

BUILDING	73,200 SF
ASPHALT	86,173 SF
CONCRETE	3,454 SF
CURB AND GUTTER	4,230 SF
TOTAL IMPERVIOUS AREA	167,057 SF
TOTAL SITE AREA	278,350 SF
IMPERVIOUS AREA PERCENTAGE	60.02%

REVISION	DATE	DESCRIPTION

4510 FORTUNE SPEC INDUSTRIAL

SITE LAYOUT PLAN

4510 FORTUNE AVENUE, CONCORD, NC 28027
WGM DESIGN - SEAN DELAPP
PROJECT NO.: 23002
PROJECT MANAGER: KWU

DAYLIGHT ENGINEERING

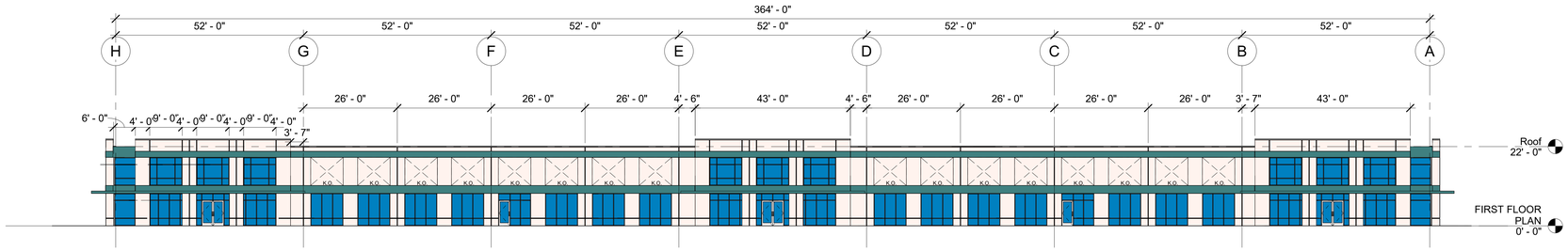
NCBELS LICENSE: P-2772 • (980) 234-7500 • WWW.DAYLIGHTENG.COM

57 UNION STREET SOUTH, CONCORD, NC 28025

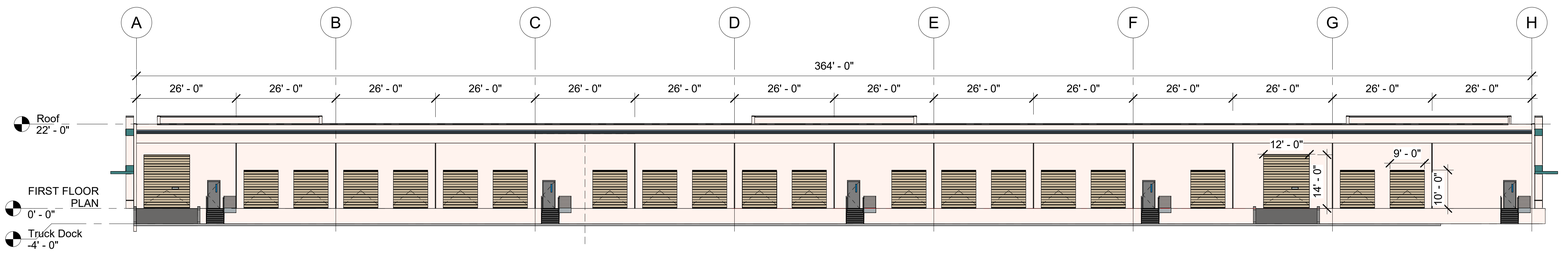
ENGINEERS SEAL

PRELIMINARY NOT FOR CONSTRUCTION

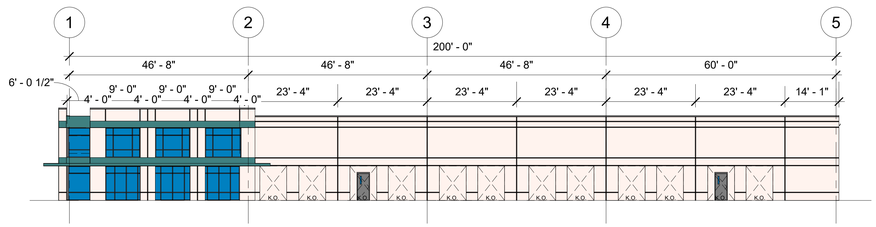
C200



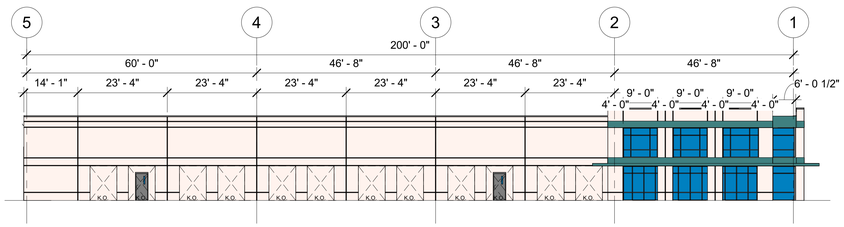
1 **WEST ELEVATION**
1/16" = 1'-0"



2 **EAST ELEVATION**
1/16" = 1'-0"



3 **SOUTH ELEVATION**
1/16" = 1'-0"



4 **NORTH ELEVATION**
1/16" = 1'-0"

CIP International Corporate Center (ICC) (CN-PSA-2023-00064)

4651 Corporate Dr. NW

DRC	Entitled	Units	PRS Routed	Technically Approved
No	Yes	74,267 sf office and warehouse	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	No	No	No

Allocation Request

Total	2024
9,390	**9,390**

Office	Small Area Plan	Part of Approved Mixed Use	Annexation (Not ED)	Logistics/Distribution	Total
0	0	0	0	0	0

Brief Summary

This proposal is to build a 74,000 sf industrial building that will be multi-flex space and will follow the International Corporate Center's design standards. This parcel is zoned General Industrial (I-2).

CN-PSA-2023-00064

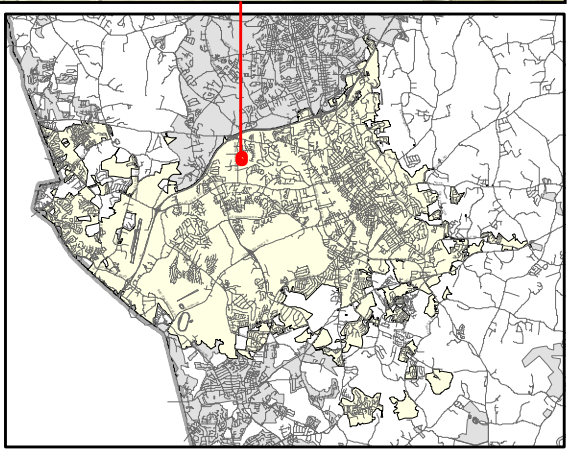
Type: Nonresidential

74,267 sf office and warehouse

Allocation Request: 9,390

Project Score: 0

Developments
Parcels
Rivers
Concord
Cabarrus County



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	**Project Title:**	CIP ICC					
2.)	**Description of project location:**	Site located on Corporate Drive NW, approximately 420 ft. East of the intersection of Corporate Drive NW and International Drive. (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####))					
3.)	**Cabarrus County Parcel Identification Number:**	5601-74-4021, 5601-73-6786	3a.)	**Parcel Acreage:**	11.577 ac		
4.)	**Site Zoning and use:**	I-2, Industrial	5.)	**Area Commercial or Industrial Building**	74,267 sq. ft		
6a.)	**Description of Facility to be served.**	Office/Warehouse	**6b.) Number of Lots**	1	**6c.) Number of Units**	1	
7d.)	**Additional description information:**	A 74,2678 sq. ft building with office space, and 12 loading bays					

B. Applicant Information

Robert Strom, chariman of the board of CIP Real Estate LLC, its sole member , Owner of CIP Charlotte Portfolio LLC (Title) (**Name** of **legal owner**, **board**, **council**, and/or **authorized official with title**; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	19762 Macarthur Blvd. Ste. 300 (Applicant's Street or Box Number)
CIP Charlotte Portfolio LLC (**Name of Applicant's company, city, town, corporation, sanitary district, water company or other** defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	Irvine, CA, 92612 (Applicant's City, State, Zip Code)
949-202-4548 (Applicant's Phone Number)	(Applicant's Facsimile Number)
Kate Underwood, PhD, PE (Name) kate@daylighteng.com (Email) (Name with Title and Email of contact person, who can answer questions about application)	rystrom@ciprealestate.com (Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

Kate Underwood, PhD, P.E (Typed name of North Carolina Professional Engineer)	Daylight Engineering (Company Name)
033470 (NCPE Registration Number)	57 Union St. South (Street or Box Number)
980-234-7500 (Phone Number)	Concord, NC 28025 (City, State, Zip Code)
Kate Underwood, PhD, P.E (Name and affiliation of contact person, who can answer questions about **application & designs**)	kate@daylighteng.com (Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

[ ]	Residential Subdivision	[ ]	Retail (Stores, shopping centers)
[ ]	Apartments/Condominiums	[ ]	Institution
[ ]	Mobile Home Park	[ ]	Hospital, nursing home, dental
[ ]	School, preschool, daycare	[ ]	Church
[ ]	Restaurants (Food or drink facilities)	[ ]	Sports Centers
[ ]	Hotels or motels	[X]	Business, offices, factories
[X]	Other (specify):____ Warehouse		

2.) The type of wastewater is (indicate percentage):

	% Domestic
	% Commercial
100%	**% Industrial**
	% Other use (Specify) ____

3.) Pretreatment required:

(X) No

( ) Yes **(Specify or attach effluent documentation)**

4.) **Volume of wastewater flow to be allocated for this particular project:** 9,390 gallons per day

*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**

(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**

a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)	No. of Units	Flow
Warehouse	100 gal/ loading bay	100 gal x 12 loading bays	GPD 1,200
Factories or business with showers	35 gal/ employee/shift	35 gal x 234 employees x 1 shift	GPD 8,190
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
		Total	GPD 9,390

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I Robert Y. Strom (Printed Name), **the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.**

Signature: _____ Date: 10/03/23

CIP REAL ESTATE

T 949.474.7030
F 949.474.2101
19762 MacArthur Blvd., Suite 300
Irvine, California 92612
www.ciprealestate.com

MEMORANDUM

DATE: **October 3, 2023**

TO: **CITY OF CONCORD**
PLANNING & NEIGHBORHOOD DEVELOPMENT DEPARTMENT

FROM: **ERIC SMYTH**
CHIEF EXECUTIVE OFFICER

RE: **PROJECT NARRATIVE**

CIP Real Estate ("the Company") has owned through a subsidiary the International Corporate Center ("ICC") since June 2020. This 200,737 square foot industrial park has been a successful asset in the Company's portfolio, so when the opportunity arose to build on the existing site and add approximately 74,000 square feet in multi-Tenant flex the Company has planned to proceed immediately and simultaneously with the Company's neighboring Fortune development.

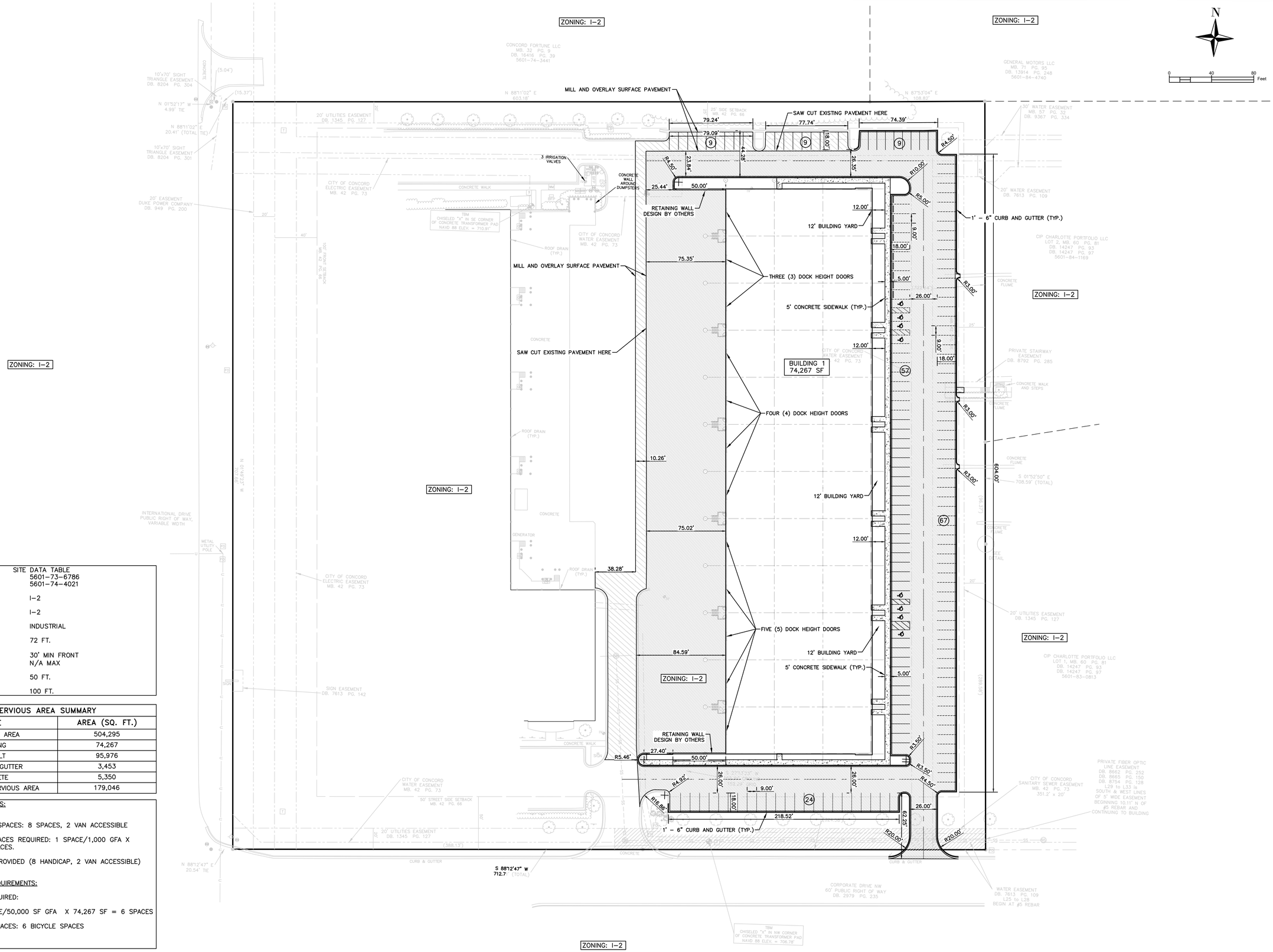
The new ICC building located on Corporate Drive NW, this master planned building will consist of approximately 74,000 square feet of 6,000 to 12,000 square feet unit sizes designed to collaborate with the proposed Fortune development, which has larger unit sizes to accommodate from one to four tenants ranging in size from about 20,000 square feet to the entire building.

The Company and its leasing team from CBRE have completed extensive market research relating to this development and have concluded that these unit sizes are not readily available in the market and perfectly meet the tenant demand in the I-85 corridor. The building will provide flexible interior improvement scenarios to match specific user requirements, an essential component to attract tenants to the project.

The Company has experience in construction projects of this type, including the recent completion of two similar 90,000 square foot distribution buildings in Atlanta and a 75,000 square foot multi-tenant industrial building currently being developed in its Whitehall Tech Center at the confluence of the I-75 and I-485 freeways south of Uptown. The Company has an industrial portfolio of about 7.0 million square feet, exceeding $1.2 billion located across the Southeast and West Coast markets, including over 1.0 million square feet of existing and planned projects in the greater Charlotte MSA.

Parlaying off the current Whitehall development, the Company has engaged a first-rate team of development consultants for the ICC project: WGM Designs and Daylight Engineering. We believe the building's design will match the remarkably exacting standards of the larger master-planned development and provide convenient expansion options for occupants in ICC, allowing our tenants to remain in the City of Concord.

The ICC project is planned to be a long-term "core" holding for the Company due to its quality and synergism with the larger International Corporate Center Park. For this reason, we look forward to working with the City of Concord's Planning Department to make this project a success for the community.



SITE DATA TABLE	
PARCEL NUMBER:	5601-73-6786 5601-74-4021
EXISTING ZONING:	I-2
PROPOSED ZONING:	I-2
PROPOSED USE:	INDUSTRIAL
MAX. BUILDING HEIGHT	72 FT.
SETBACKS:	30' MIN FRONT N/A MAX
MIN. LOT WIDTH	50 FT.
MIN. LOT DEPTH	100 FT.

IMPERVIOUS AREA SUMMARY	
TYPE	AREA (SQ. FT.)
TOTAL SITE AREA	504,295
BUILDING	74,267
ASPHALT	95,976
CURB AND GUTTER	3,453
CONCRETE	5,350
PROPOSED IMPERVIOUS AREA	179,046

PARKING CALCULATIONS:

REQUIRED HANDICAP SPACES: 8 SPACES, 2 VAN ACCESSIBLE

MINIMUM PARKING SPACES REQUIRED: 1 SPACE/1,000 GFA X 74,267 SF = 75 SPACES.

175 TOTAL SPACES PROVIDED (8 HANDICAP, 2 VAN ACCESSIBLE)

BICYCLE PARKING REQUIREMENTS:

BICYCLE SPACES REQUIRED:

4 SPACES + 1 SPACE/50,000 SF GFA X 74,267 SF = 6 SPACES

PROVIDED BICYCLE SPACES: 6 BICYCLE SPACES

REVISION	DATE	DESCRIPTION

CIP ICC

SITE LAYOUT PLAN

4651 CORPORATE DRIVE NW
WGM DESIGN 2907 PROVIDENCE ROAD STE. 304 CHARLOTTE, NC 28211
PROJECT NO. 23032
PROJECT MANAGER: KWU

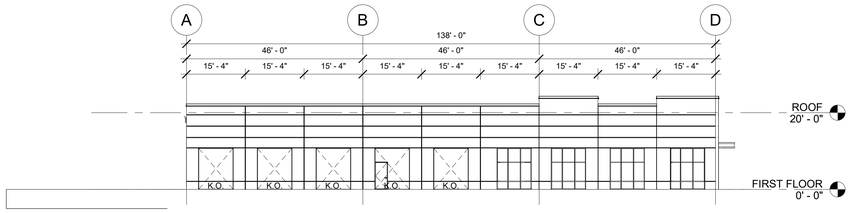
DAYLIGHT ENGINEERING
NCBELS LICENSE: P-2772
57 UNION STREET SOUTH, CONCORD, NC 28025 - (980) 234-7500 - WWW.DAYLIGHTENG.COM

ENGINEERS SEAL

PRELIMINARY NOT FOR CONSTRUCTION

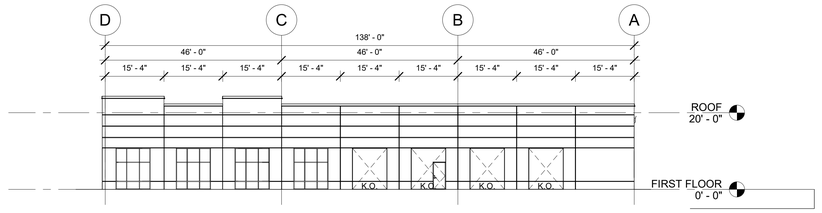
10/05/2023

C200



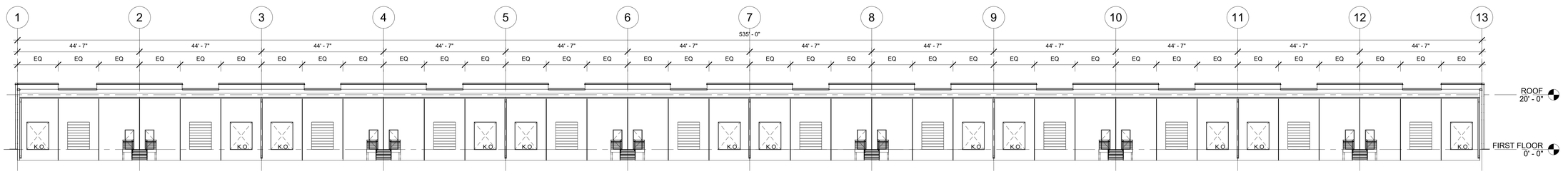
4 SOUTH ELEVATION

SCALE: 1/16" = 1'-0"



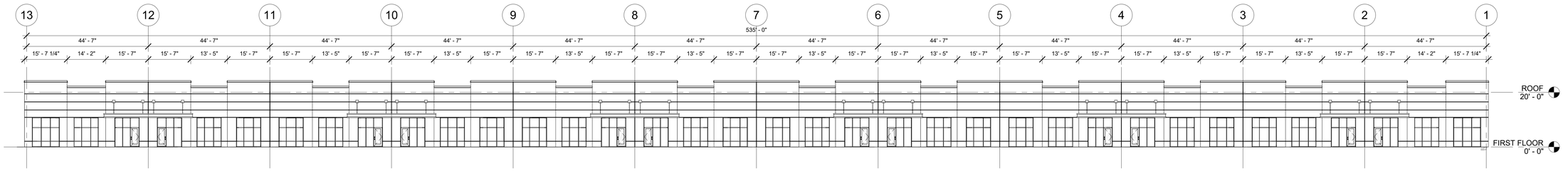
3 NORTH ELEVATION

SCALE: 1/16" = 1'-0"



2 WEST ELEVATION

SCALE: 1/16" = 1'-0"



1 EAST ELEVATION

SCALE: 1/16" = 1'-0"

wgm DESIGN

2907 Providence Rd
Suite 304
Charlotte, NC 28211

Tel: 704.342.9876
Fax: 704.334.4246

wgmdesign.com

KEY PLAN

CIP ICC SITE
BUILDING 3

4651 CORPORATE DRIVE NW
CONCORD, NC 28027

Rev	Date	Description

DATE:
10/03/2023

PROJECT NO.:
20030.03.02

TITLE:
ELEVATIONS

DRAWING NO.
A-2.1

W:\Projects\20030.03_CIP\01_ICC Concord Industrial\02_ICC Building 3\ARCH\Building 3 Revit.rvt

Nonresidential

Cannon School Expansion (CN-PSA-2023-00065)

5801 Poplar Tent Rd.

DRC	Entitled	Units	PRS Routed	Technically Approved
No	Yes	44,500 sf gym, training facility, welcome center and bathroom	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	No	No	No

Allocation Request

Total	2024
26,987	**26,987**

Office	Small Area Plan	Part of Approved Mixed Use	Annexation (Not ED)	Logistics/Distribution	Total
0	0	0	0	0	0

Brief Summary

This proposal is to expand the offerings at Cannon School by constructing an Activity Center that will provide enhanced spaces for their athletic program as well as creating a gathering space for all students. This parcel is zoned Office and Institutional (O-I).

CN-PSA-2023-00065

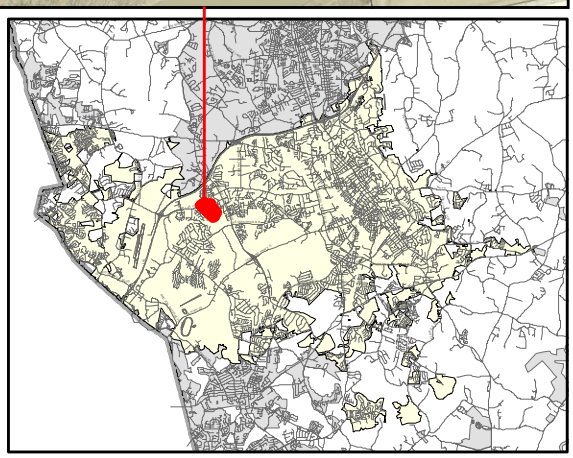
Type: Nonresidential

44,500 sf gym, training facility, welcome center and bathroom

Allocation Request: 26,987

Project Score: 0

Developments
Parcels
Rivers
Concord
Cabarrus County



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	**Project Title:**	Cannon School Expansion				
2.)	**Description of project location:**	Site address is 5801 Poplar Tent Rd, Concord, NC 28027 (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####))				
3.)	**Cabarrus County Parcel Identification Number:**	56001675750000	3a.)	**Parcel Acreage:**	63.68	
4.)	**Site Zoning and use:**	O-I	5.)	**Area Commercial or Industrial Building (sq. ft.)**	44,500 Total	
6a.)	**Description of Facility to be served.**	Gymnasium, Welcome Center & Soccer field	6b.)	**Number of Lots**		6c.) **Number of Units**
7d.)	**Additional description information:**	Expansion of school campus with gymnasium/training facility, welcome center, and bathroom to serve new soccer field.				

B. Applicant Information

Whit Brown , Director of Finance (Title)	5801 Poplar Tent Road
(**Name** of **legal owner**, **board**, **council**, and/or **authorized official with title**; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	(Applicant's Street or Box Number)
Cannon School, Inc.	Concord, NC, 28027
(**Name of Applicant's company, city, town, corporation, sanitary district, water company or other** defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	(Applicant's City, State, Zip Code)
704-721-7188	
(Applicant's Phone Number)	(Applicant's Facsimile Number)
(Name) (Email)	wbrown@cannonschool.org
(Name with Title and Email of contact person, who can answer questions about application)	(Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

Tommie Little	SeamonWhiteside & Associates
(Typed name of North Carolina Professional Engineer)	(Company Name)
048282	230 E Peterson Drive, Suite B
(NCPE Registration Number)	(Street or Box Number)
980-312-5450	Charlotte, North Carolina 28217
(Phone Number)	(City, State, Zip Code)
Tommie (Trey) Little, Engineer of Record	TLittle@seamonwhiteside.com
(Name and affiliation of contact person, who can answer questions about **application & designs**)	(Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

☐	Residential Subdivision	☐	Retail (Stores, shopping centers)
☐	Apartments/Condominiums	☐	Institution
☐	Mobile Home Park	☐	Hospital, nursing home, dental
☑	School, preschool, daycare	☐	Church
☐	Restaurants (Food or drink facilities)	☑	Sports Centers
☐	Hotels or motels	☐	Business, offices, factories
☐	Other (specify):____		

2.) The type of wastewater is (indicate percentage):

	% Domestic
	% Commercial
	% Industrial
100	**% Other use (Specify)** ____ Institutional

3.) Pretreatment required:

◉ No

○ Yes **(Specify or attach effluent documentation)**

____

4.) **Volume of wastewater flow to be allocated for this particular project:** 26,987 gallons per day

*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**

(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**

a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{**Flow rates NOT listed in table 15A NCAC 2T .0114** must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)			No. of Units	Flow	
Sports Center-Gymnasium	50	gal/	100 sq. ft.	47,774 sq. ft.	GPD	23,887
School without cafe, gym or shower	10	gal/	Student	160	GPD	1600
Parks with restroom facilities	250	gal/	Plumbing Fixture	6	GPD	1500
		gal/			GPD	
		gal/			GPD	
		gal/			GPD	
				Total	GPD	26,987

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I Whit Brown (Printed Name), **the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.**

Signature: _____ Date: October 3, 2023

October 5, 2023

City of Concord Planning

We would like to appeal for approval of our projects to receive allocation for additional sewer service. Cannon School is blessed to be in good position to improve their specialty programs, improve campus circulation and safety, and provide for greater involvement for their community. The projects we are proposing are poised to solve for these improvements.

Our new Activity Center will not only provide enhanced spaces for our Athletic programs, but most importantly, provide a much-needed large gathering space to serve our expanded community. This facility will allow the full community to attend our grandparent's day, graduation ceremonies, and many more specialty celebrations. Though this facility adds plumbing fixtures to meet the necessary codes, we view it as net neutral due to the scheduling of this facility; 90% of the events housed in this facility will occur when class is not in session.

Our new Welcome Center provides advanced security being positioned at the entrance to our central campus. Moving administration to this facility will provide room for specialty spaces within the existing classroom buildings. In addition, the facility will allow for new Upper School classrooms to maintain our targeted Student-Teacher ratio.

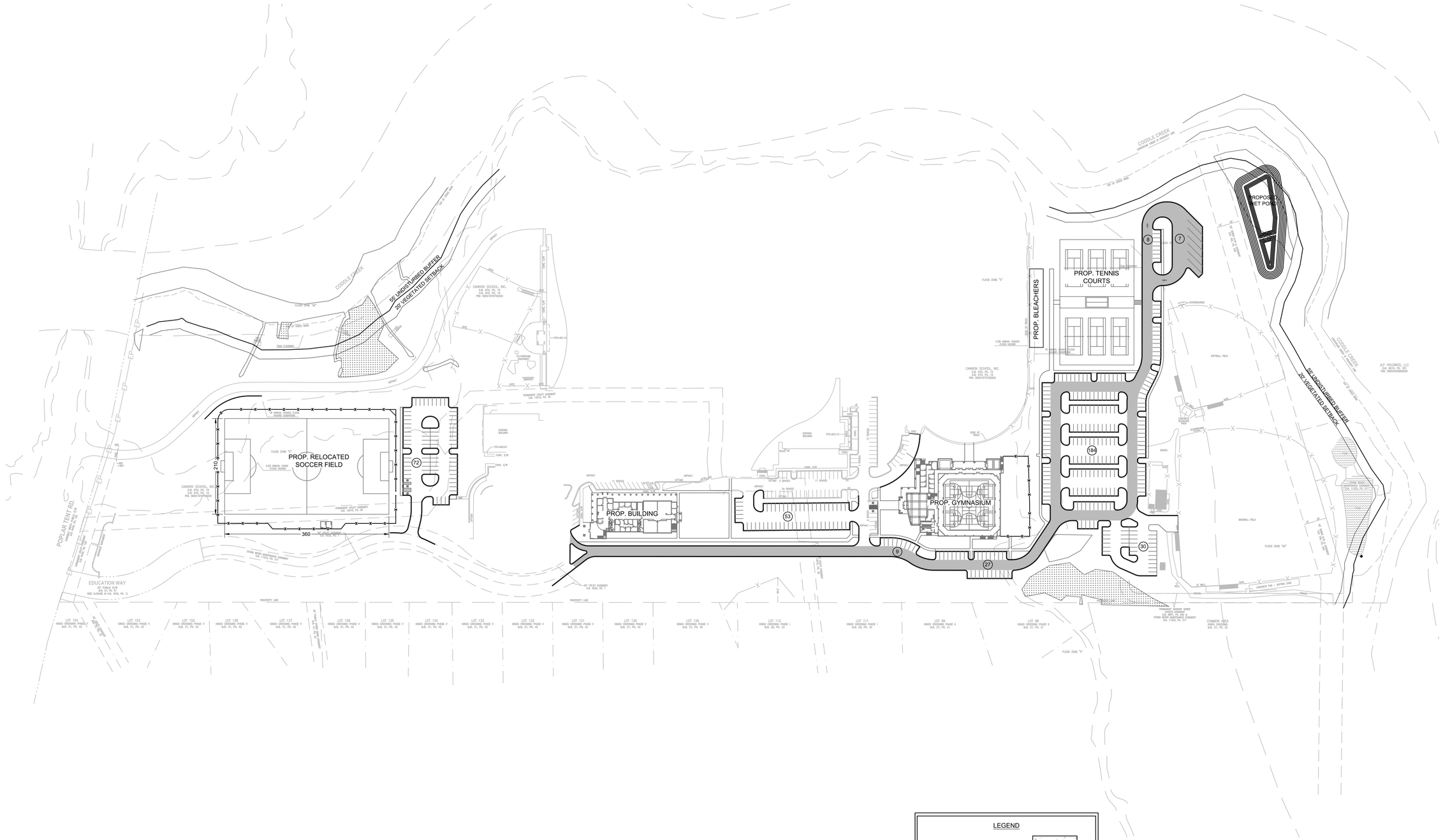
The remainder of the improvements support these projects by moving roads and parking outbound from our building pads. We will provide new field improvements and a small restroom facility to support our front competition field.

We have always appreciated the continuous partnership with the City and County Community. We have enjoyed supporting local job growth by providing a diverse educational institution choice in Concord and surrounding communities. We appreciate your consideration to support our projects.

Sincerely,

Whit Brown
Director of Business & Finance

501 WANDO PARK BOULEVARD, SUITE 200 | MOUNT PLEASANT, SC 29464 | JUDSON MILLS BUILDING 6000, 701 EASLEY BRIDGE RD, SUITE 6060 | GREENVILLE, SC 29611 | 230 PETERSON DR. | CHARLOTTE, NC 28217 | 712 N. CEDAR STREET | SUMMERVILLE, SC 29483 | 104 N. DANIEL MORGAN AVENUE, SUITE 300 | SPARTANBURG, SC 29301
COPYRIGHT © SEAMON, WHITESIDE & ASSOCIATES, INC. | THIS DRAWING SHALL NOT BE REPRODUCED IN ANY MANNER OR USED FOR ANY PURPOSE WITHOUT WRITTEN PERMISSION.



LEGEND

- VEHICULAR GRADE CONCRETE
- CONCRETE SIDEWALK
- HEAVY DUTY ASPHALT
- STANDARD DUTY ASPHALT
- ADA PARKING SIGN
- STOP SIGN
- CHAINLINK FENCE
- GUARDRAIL
- PARKING COUNT

0 50 100 200
SCALE: 1" = 100'

N E S W

SEAMONWHITESIDE
MOUNT PLEASANT, SC 843.884.1667
GREENVILLE, SC 864.298.0534
SUMMERVILLE, SC 843.972.0710
SPARTANBURG, SC 864.272.1272
CHARLOTTE, NC 980.312.5450
WWW.SEAMONWHITESIDE.COM

DESIGN DEVELOPMENT

CANNON SCHOOL EXPANSION

THE CANNON SCHOOL
5801 POPLAR TENT ROAD
CONCORD, NC 28027
PARCEL ID: 02-029-0014

SW+ PROJECT:	CL1353
DATE:	7/21/23
DRAWN BY:	AR/MM
CHECKED BY:	TLL

REVISION HISTORY

1	08/22/23

OVERALL SITE PLAN

C3.0

PLOTTED:10/13/2023 4:44 PM, BY Alex Rhode v: \CL1353\cad files\CD's\CL1353 Site Plan.dwg

Nonresidential

4430 Motorsports Industrial (CN-PSA-2023-00067)

4430 Motorsports Dr. SW.

DRC	Entitled	Units	PRS Routed	Technically Approved
No	Yes	43,000 sf office and warehouse	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	No	No	No

Allocation Request

Total	2024
3,850	**3,850**

Office	Small Area Plan	Part of Approved Mixed Use	Annexation (Not ED)	Logistics/Distribution	Total
0	1	0	0	0	1

Brief Summary

This proposal is to build a small bay industrial flex project that is 43,000 square feet. This parcel is zoned Light Industrial (I-1). This parcel is inside the George W. Liles Parkway small area plan.

CN-PSA-2023-00067

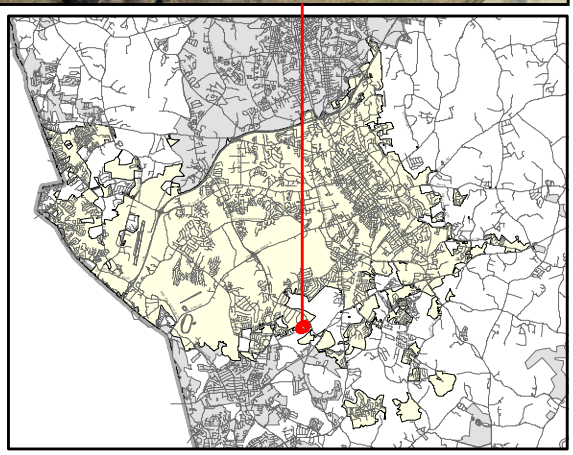
Type: Nonresidential

43,000 sf office and warehouse

Allocation Request: 3,850

Project Score: 1

Developments
Parcels
Rivers
Concord
Cabarrus County



10/6/2023

To: The City of Concord
Planning & Neighborhood Development Department
City Hall – P.O. Box 308
Concord, NC 28025

From: Doug Donia
1032 Hearth Ln SW
Concord, NC 28025

Subject: 4430 Motorsports Dr SW, Concord NC

Dear City of Concord:

We are excited for the opportunity to bring this small bay flex industrial project to the city of Concord. The subject property, which we already own, is approx. 4.78 acres and is located within an already established Industrial Park located off of Stough Rd.

We intend to build two high quality flex buildings on this site that will deliver much needed, affordable spaces to growing small businesses here in Concord.

As an owner of a Commercial Real Estate Brokerage business also located right here in Concord, I see tremendous demand for this type of space on a weekly basis, but unfortunately, we currently have little to no vacancy in Concord and what little we do have has become very expensive. This causes small businesses to look elsewhere to locate and operate.

To give you some perspective on the great need for this in Concord, during a 12-month period ranging from Oct 2021 to Oct 2022 we received calls at my office for flex space needs totaling more than 481,000 sf. We stopped counting after that. The vast majority of them just needed 2,000-4,000 sf but we had very little to offer them.

With this project we can deliver affordable bays as small as 2,000 sf, a size that is currently ignored by other developers.

This site is already zoned I-1, so the zoning works for our proposed project. The only challenge with this project at the moment is sewer allocation, and if we receive this allocation, we can continue with our design process and ultimately the construction.

We have attached our proposed site plan with this application, and plan to schedule a DRC meeting soon (pending sewer application results).

Sincerely,

Doug Donia

CEO and Partner
New Branch Real Estate Advisors
805 Trade St NW, Suite 102
Concord, NC 28027
704-707-6648
dougd@newbrancre.com

SITE DATA TABLE
PARCEL NUMBER: 5518-76-4606
ZONING: I-1
ACREAGE: 4.78 AC
TOTAL BUILDING SQUARE FOOTAGE: 43,000 SF
TOTAL PARKING SPACES: 99 SPACES
1 SPACE PER 439 SF OF BUILDING AREA
MAXIMUM IMPERVIOUS AREA: 80%
FRONT SET BACK 30 FT
SIDE SETBACK N/A
REAR SETBACK N/A
MAXIMUM BUILDING HEIGHT 72 FT

STREET YARD: CLASS 4 - 12 FT
PERIMETER BUFFER N/A
BUILDING YARD: 12 FT

N

0 30 60 Feet

417.84'
19.50'
83.54'
57.18'
92.81'
28.86'
40.00'
20.00'
34.65'
30.00'
2.37'
2.91'
60.00'
225.00'
BUILDING #2
17,000 SF
9 SUITES
31 SPACES
BUILDING #1
26,000 SF
13 SUITES
68 SPACES
80.00'
31.42'
26.00'
325.00'
SAND FILTER SCM
R10.00'
R8.00'
R5.00'
18.00'
9.00'
29.00'
R3.50'
12
19
34
26.00'
30.00'
70FT PROTECTED STEM
R30.00'
70.00'
12FT STREET YARD
30FT BUILDING SETBACK
70 FT MINIMUM PROTECTED STEM, ACCESS TO TRUCK COURT
70FT PROTECTED STEM
MOTORSPORTS DRIVE NW

REVISION	DATE	DESCRIPTION

4430 MOTORSPORTS INDUSTRIAL

SITE LAYOUT PLAN

4430 MOTORSPORTS DRIVE SW, CONCORD, NC
DOUG DONA - 805 TRADE STREET NW, SUITE 102, CONCORD, NC, 28027
PROJECT NO. 23045
PROJECT MANAGER: KWU

DAYLIGHT ENGINEERING
NCBELS LICENSE: P-2772
57 UNION STREET SOUTH, CONCORD, NC 28025 - (980) 234-7500 - WWW.DAYLIGHTENG.COM

ENGINEERS SEAL

PRELIMINARY NOT FOR CONSTRUCTION

10/09/2023

C200

Nonresidential

Davis Industrial Subdivision (CN-PSA-2023-00068)

1108 Warren C. Coleman Blvd. S.

DRC	Entitled	Units	PRS Routed	Technically Approved
9/28/2023	Yes	52,800 sf of spec industrial	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	No	No	No

Allocation Request

Total	2024
2,200	**2,200**

Office	Small Area Plan	Part of Approved Mixed Use	Annexation (Not ED)	Logistics/Distribution	Total
0	0	0	0	0	0

Brief Summary

This proposal is to construct a 52,800 sf of spec industrial that will service the 8,000-13,000-sf market. This parcel is zoned Light Industrial (I-1).

CN-PSA-2023-00068

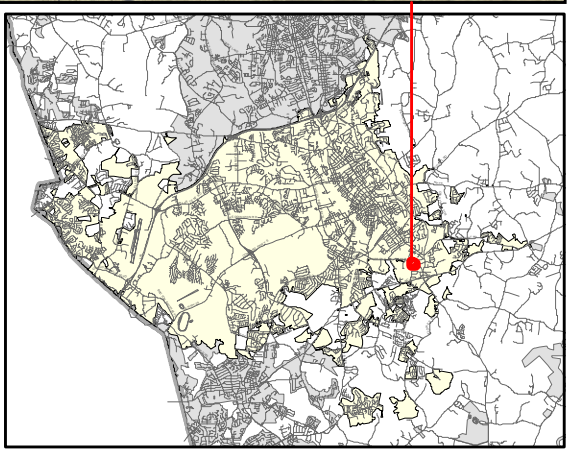
Type: Nonresidential

52,800 sf spec industrial

Allocation Request: 2,200

Project Score: 0

Developments
Parcels
Rivers
Concord
Cabarrus County



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	**Project Title:**	Davis Industrial Subdivison					
2.)	**Description of project location:**	Site located on Warren C Coleman Blvd. S approx. 0.61 miles northwest of the intersection of Warren C Coleman Blvd. and Hwy 49 S towards Wilshire Ave. SW (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####)					
3.)	**Cabarrus County Parcel Identification Number:**	5539-56-8697	3a.)	**Parcel Acreage:**	5.887		
4.)	**Site Zoning and use:**	Current Zoning: RM-1 Proposed Zoning: I-1 CD	5.)	**Area Commercial or Industrial Building**	52,800	**(sq. ft.)**	
6a.)	**Description of Facility to be served.**	Spec Industrial	6b.)	**Number of Lots**	4	6c.) **Number of Units**	4
7d.)	**Additional description information:**	Shell buildings for future mercantile or storage upfit					

B. Applicant Information

Samuel F Davis III , Manager (Title) (**Name** of **legal owner, board, council,** and/or **authorized official with title**; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	446 Winfield Blvd. SE (Applicant's Street or Box Number)
Davis Land Group, LLC (**Name of Applicant's company, city, town, corporation, sanitary district, water company or other** defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	Concord, NC 28025-3642 (Applicant's City, State, Zip Code)
704-241-8924 (Applicant's Phone Number)	(Applicant's Facsimile Number)
Kate Underwood (Name) | kate@daylighteng.com (Email) (Name with Title and Email of contact person, who can answer questions about application)	sfd3lafarm@gmail.com (Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

Kate Underwood , PhD, PE (Typed name of North Carolina Professional Engineer)	Daylight Engineering (Company Name)
033470 (NCPE Registration Number)	P.O Box 1804 (Street or Box Number)
(980) 234-7500 (Phone Number)	Concord, NC, 28026-1804 (City, State, Zip Code)
Kate Underwood, PhD, PE (Name and affiliation of contact person, who can answer questions about **application & designs**)	kate@daylighteng.com (Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

☐	Residential Subdivision	☐	Retail (Stores, shopping centers)
☐	Apartments/Condominiums	☐	Institution
☐	Mobile Home Park	☐	Hospital, nursing home, dental
☐	School, preschool, daycare	☐	Church
☐	Restaurants (Food or drink facilities)	☐	Sports Centers
☐	Hotels or motels	☑	Business, offices, factories
☑	Other (specify): Warehouse		

2.) The type of wastewater is (indicate percentage):

	% Domestic
	% Commercial
100	**% Industrial**
	% Other use (Specify) _____

3.) Pretreatment required:
- (●) No
- ( ) Yes **(Specify or attach effluent documentation)**

4.) **Volume of wastewater flow to be allocated for this particular project:** 2,200 gallons per day
*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**
(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**
a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).
b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**
{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)			No. of Units	Flow	
Warehouse (4 bays per building)	100	gal/	loading bay	(100 gal/bay x 4 bays) x 4 buildings	GPD	1,600
Office (6 employees/shift per building)	25	gal/	employee/shift	(25 gal x 6 employees/shift) x 4 buildings	GPD	600
		gal/			GPD	
		gal/			GPD	
		gal/			GPD	
		gal/			GPD	
				Total	GPD	2,200

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I Samuel F. Davis, III (Printed Name) **the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.**

Signature: _____ Date: 10/5/23

To: The City of Concord
Planning & Neighborhood Development Department
City Hall – P.O. Box 308
Concord, NC 28025

From: Davis Land Group. LLC
446 Winfield Blvd. SE
Concord, NC 28025

Subject: Project Narrative – Davis Industrial Subdivision
5.887 Acres on Warren C. Coleman Blvd. South
Concord, NC 28025
Parcel PIN #5539-56-8697

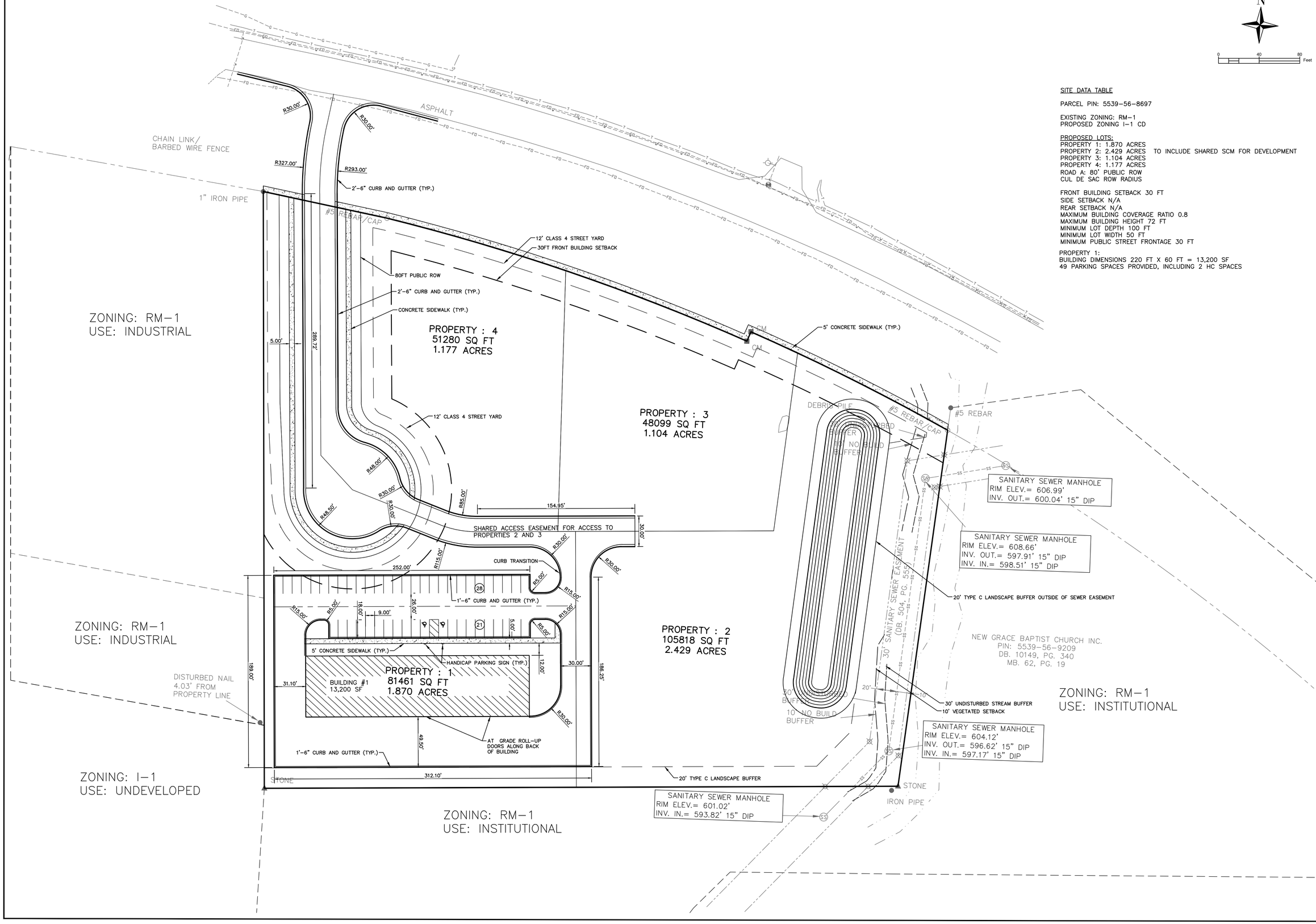
Dear City of Concord,

Davis Land Group, LLC is pleased to propose a 6-acre small industrial development within the City of Concord. The 5.887 subject parcel lies on the south side Highway 601/Warren Coleman Blvd. amongst Industrial and Commercial uses. This corridor has become an Industrial thoroughfare, connecting Hwy 49 and Hwy 29 (Concord Parkway) with a dominant warehouse and automotive presence.

The demand for light Industrial use properties is prevalent in the City of Concord. The inventory for an 8,000 – 12,000 square foot user remains low, and we see businesses shifting their focus to the County or even outside of Cabarrus to accommodate the need. The product is simple – Four 8,000 – 13,000 (depending on prospective demand) stand-alone buildings with shared infrastructure within the subdivision. We will go ahead with subdividing the acreage into four lots, for the feasibility and convenience of selling the parcels in the future.

As generational landowners and developers in Cabarrus County, the Davis family would like to use this property for the highest and best use to serve the community. We foresee small construction, landscaping, and distribution businesses occupying space within this site. Concord Industrial builds have gone so large-scale, with high overhead and expense, the Davis family recognizes a true gap in the market for local businesses to house their products and operations with convenience, cost-effectiveness, and ease of a local landlord. Our initiative includes teaming up with Daylight Engineering, JC Building, Volkert Traffic Studies, and Northstate Property Advisors to provide local expertise in planning, building and marketing this product.

With a successful I-1 conditional rezoning, we have no concerns with the market fundamentals relative to our product. The only challenge with this project is sewer assurance. If this project receives allocation on December 18, 2023, we will immediately begin design, permitting, and marketing efforts to begin construction in early 2024. We look forward to working with Concord to make this project a successful reality!



REVISION	DATE	DESCRIPTION

DAVIS INDUSTRIAL SUBDIVISION

SITE LAYOUT PLAN

1108 WARREN E. COLEMAN BLVD, CONCORD
DAVIS LAND GROUP, LLC
PROJECT NO. 23046H
PROJECT MANAGER: KWU

DAYLIGHT ENGINEERING
NCBELS LICENSE: P-2772
57 UNION STREET SOUTH, CONCORD, NC 28025 - (980) 234-7500 - WWW.DAYLIGHTENG.COM

ENGINEERS SEAL

PRELIMINARY
NOT
FOR
CONSTRUCTION

10/09/2023

C200

Nonresidential

New Horizon Academy (CN-PSA-2023-00069)

550 Woodhaven Pl. NW

DRC	Entitled	Units	PRS Routed	Technically Approved
No	Yes	12,000 sf childcare facility	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	No	No	No

Allocation Request

Total	2024
4,950	**4,950**

Office	Small Area Plan	Part of Approved Mixed Use	Annexation (Not ED)	Logistics/Distribution	Total
0	0	0	0	0	0

Brief Summary

This proposal is to construct a 12,000-sf building that will be used as a childcare center. The applicant is proposing 11 different childcare rooms for varying ages. This project is zoned Mixed Use, Industrial Business (MX-IB). Planning has suggested that the master plan be reassessed to account for the future proposed projects.

CN-PSA-2023-00069

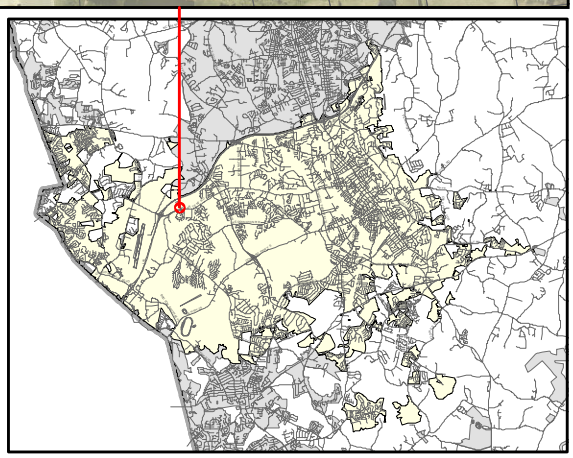
Type: Nonresidential

12,000 sf childcare facility

Allocation Request: 4,950

Project Score: 0

Developments
Parcels
Rivers
Concord
Cabarrus County



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	Project Title:	New Horizon Academy					
2.)	Description of project location:	Lot split from 46906665310000 to create site (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####)					
3.)	Cabarrus County Parcel Identification Number:	02-033-005.10	3a.)	Parcel Acreage:	1.5 ac +/-		
4.)	Site Zoning and use:	MX-IB	5.)	Area Commercial or Industrial Building	(sq. ft.)	12,000 +/-	
6a.)	Description of Facility to be served.	Childcare	6b.) Number of Lots	1	6c.) Number of Units	1	
7d.)	Additional description information:	This application carves an approximate 1.5 acre site from the master parcel to host a childcare facility.Location: North Side Poplar Tent Road, Concord Gateway development					

B. Applicant Information

Marshall Jones, M&K Land, LLC , (Title) (Name of legal owner, board, council, and/or authorized official with title; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	16824 Green Dolphin Lane, Cornelius, NC 28031 (Applicant's Street or Box Number)
New Horizon Academy (Name of Applicant's company, city, town, corporation, sanitary district, water company or other defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	3405 Annapolis Lane N., #100, Plymouth, MN 55447 (Applicant's City, State, Zip Code)
763-557-1111 (Applicant's Phone Number)	(Applicant's Facsimile Number)
Heidi Pross (Name) Sr. Dir. Const & Facilities (Email) (Name with Title and Email of contact person, who can answer questions about application)	hpross@nhacademy.net (Tel: 763-383-6216) (Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

Mark R Brengman (Typed name of North Carolina Professional Engineer)	Steen Engineering Inc (Company Name)
023158 (NCPE Registration Number)	5430 Douglas Drive N (Street or Box Number)
763-585-6742 (Phone Number)	Crystal, MN, 55429 (City, State, Zip Code)
Richard Becker, Business Partner (Name and affiliation of contact person, who can answer questions about application & designs)	markbr@steeneng.com (Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

☐	Residential Subdivision	☐	Retail (Stores, shopping centers)
☐	Apartments/Condominiums	☐	Institution
☐	Mobile Home Park	☐	Hospital, nursing home, dental
☑	School, preschool, daycare	☐	Church
☐	Restaurants (Food or drink facilities)	☐	Sports Centers
☐	Hotels or motels	☐	Business, offices, factories
☐	Other (specify):____		

2.) The type of wastewater is (indicate percentage):

	% Domestic
100	% Commercial
	% Industrial
	% Other use (Specify) ____

3.) Pretreatment required:
(●) No
( ) Yes **(Specify or attach effluent documentation)**

4.) **Volume of wastewater flow to be allocated for this particular project:** 4950 gallons per day
*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**
(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**

a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)	No. of Units	Flow
Daycare and Preschool Facilities	25 gal/ day	198	GPD 4950
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
		Total	GPD 4950

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I Heidi A. Pross (Printed Name), **the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.**

Heidi Pross — Signature:

10/9/2023 — Date:

October 9, 2023 **Uploaded to Accela Online portal**

City of Concord
Planning & Neighborhood Development – Zoning Services
P.O. Box 308
Concord, North Carolina, 28026-0308

Re: New Horizon Academy Preliminary Wastewater Flow Application

To whom it may concern:

New Horizon Academy has been providing childcare since 1971. We now have nearly 100 locations in Minnesota, Idaho, Iowa, Colorado and Kansas. We are excited to begin operations in North Carolina starting in Concord. Our mission is to open "New Horizons" of self-esteem and potential for the little people entrusted to our care, their families and our employees by providing and continuously improving the best child development on the plant.

This proposed building at approximately 12,250 SF will be used as a childcare center. It will have 11 different childcare rooms for varying ages. The following is a summary of the rooms:

- 2 infant rooms with 8 infants per room (diaper change with hand sink),
- 2 one year old rooms (Toddler) with 10 children per room (diaper change plus shared training toilets between rooms)
- 2 two-year-old rooms (Toddler Transition) with 16 children per room, (diaper change plus toilet)
- 2 three-year-old rooms with (Early Preschool) 18 children per room, (two toilets per room plus diaper change)
- 3 four-year-old rooms (Preschool) with 24 children per room, (two toilets per room).

These give us a maximum capacity of 176 children. There will also be 22 adult staff onsite with the children. This gives us a total occupancy of 198 people. Per Title 15A NCAC 2T.0114 for a childcare facility the wastewater flow is 25 gallons per day per person. This gives us a total load of 4,950 gallons per day. The facility will also have a small prep kitchen with a three-compartment sink. This sink will be provided with a hydromechanical grease interceptor to prevent FOG from entering the sanitary sewer.

We respectfully request access to sewer capacity in order to complete this facility.

Sincerely,

Heidi Pross

Heidi A. Pross
Senior Director of Construction and Facilities

Nonresidential

Five Star Bodies Distribution Facility (CN-PSA-2023-00075)

497 Woodhaven Pl. NW.

DRC	Entitled	Units	PRS Routed	Technically Approved
No	No	50,750 sf of office and warehouse	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	No	No	No

Allocation Request

Total	2024
1,500	**1,500**

Office	Small Area Plan	Part of Approved Mixed Use	Annexation (Not ED)	Logistics/Distribution	Total
0	0	0	0	0	0

Brief Summary

This proposal is to construct approximately 50,750 sf of industrial flex space. They are planning to divide the building into two separate suites, with no plan for the second user. They are going to Planning and Zoning Commission for their conditional rezoning on November 21, 2023.

CN-PSA-2023-00075

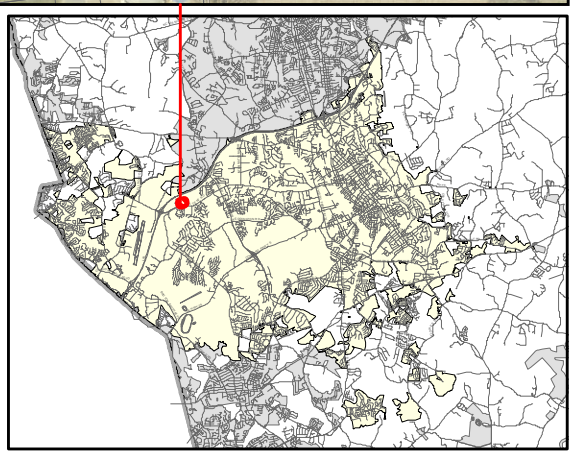
Type: Nonresidential

50,750 sf office and warehouse

Allocation Request: 1,500

Project Score: 0

Developments
Parcels
Rivers
Concord
Cabarrus County



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	**Project Title:**	Five Star Bodies Distribution Facility					
2.)	**Description of project location:**	Site located on Woodhaven Pl NW, approx. 400' from the intersection of Poplar Tent Road (on east side of Woodhaven) (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####)					
3.)	**Cabarrus County Parcel Identification Number:**	46907750570000 & 46907638090000	3a.)	**Parcel Acreage:**	5.82		
4.)	**Site Zoning and use:**	RZ from AG to I-1 (CD)	5.)	**Area Commercial or Industrial Building**	50,750	**(sq. ft.)**	
6a.)	**Description of Facility to be served.**	Warehouse	**6b.) Number of Lots**	2 parcels will be combined	**6c.) Number of Units**	1 bldg with 2 units	
7d.)	**Additional description information:**	20% office space; 80% warehouse space; 10 employees per unit/shift					

B. Applicant Information

Janet G. Harvey , Trustee (Title) (**Name** of **legal owner**, **board**, **council**, and/or **authorized official with title**; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	PO Box 700 (Applicant's Street or Box Number)
Five Star Investment V LLC (**Name of Applicant's company, city, town, corporation, sanitary district, water company or other** defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	Twin Lakes, WI 53181 (Applicant's City, State, Zip Code)
762-877-2171 (Applicant's Phone Number)	 (Applicant's Facsimile Number)
Caren Wingate (Agent) (Name) cwingate@wingadgroup.com (Email) (Name with Title and Email of contact person, who can answer questions about application)	carl.schultz@fivestarbodies.com (Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

Christopher Isaacs (Typed name of North Carolina Professional Engineer)	The Isaacs Group, PC (Company Name)
18947 (NCPE Registration Number)	8720 Red Oak Blvd, Suite 420 (Street or Box Number)
704-887-6586 (Phone Number)	Charlotte, NC 28217 (City, State, Zip Code)
Alex Quesenberry (Name and affiliation of contact person, who can answer questions about **application & designs**)	aquesenberry@isaacsgrp.com (Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

☐	Residential Subdivision	☐	Retail (Stores, shopping centers)
☐	Apartments/Condominiums	☐	Institution
☐	Mobile Home Park	☐	Hospital, nursing home, dental
☐	School, preschool, daycare	☐	Church
☐	Restaurants (Food or drink facilities)	☐	Sports Centers
☐	Hotels or motels	☑	Business, offices, factories
☐	Other (specify):____		

2.) The type of wastewater is (indicate percentage):

100	**% Domestic**
	% Commercial
	% Industrial
	% Other use (Specify) ____

3.) Pretreatment required:
- (●) No
- ( ) Yes **(Specify or attach effluent documentation)**

4.) **Volume of wastewater flow to be allocated for this particular project:** 1,500 gallons per day
*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**
(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**
a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).
b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**
{**Flow rates NOT listed in table 15A NCAC 2T .0114** must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)			No. of Units	Flow	
Office Space	25	gal/	employee/shift	20 employees/shift	GPD	500
Warehouse	100	gal/	bay	10 bays	GPD	1,000
		gal/			GPD	
		gal/			GPD	
		gal/			GPD	
		gal/			GPD	
				Total	GPD	1,500

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I _ Caren Wingate _ (Printed Name), **the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.**

Caren Wingate, agent for the petitioner — Signature: — 10/10/23 — Date:

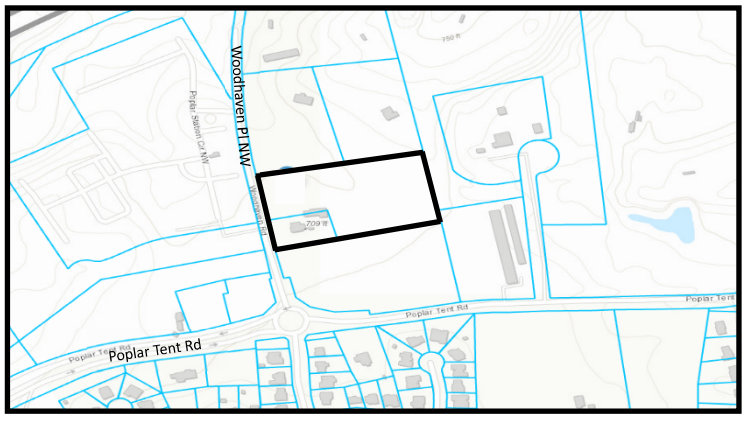
WINGATE ADVISORY
GROUP

REZONING PETITION CN-RZC-2023-0009
PRELIMINARY SEWER ALLOCATION APPLICATION
FIVE STAR RACE CAR BODIES DISTRIBUTION FACILITY
CONCORD, NORTH CAROLINA

Subject Property

The property consists of 2 existing parcels of +/- 5.82 acres and located on Woodhaven Pl NW, near the intersection of Woodhaven Pl and Poplar Tent Rd. There is one existing residence on the smaller parcel. The residence will be removed and the two parcels will be recombined. Both parcels are currently zoned AG and are in the process of being rezoned to I-1 (CD)

PINs	46907750570000	+/-4.96 acres
	46907638090000	+/-0.85 acres



Proposed Principal Use

Five Star Fabricating, Inc. proposes rezoning of +/-5.82 acres on Woodhaven Pl NW in Concord for the development of a +/- 50,750 square foot industrial building. The building will be divided into two separate suites, each with approximately 20% office space, and 80% warehouse space. There will be five overhead doors in each of the two suites and a maximum of 10 employees per suite.

Company Background

Five Star is the industry leading manufacturer of advanced composites, polycarbonate windows, and thermoformed plastics. Our technologies are born from the tight-tolerance, high performance world of auto racing, making us the leader in developing lighter and stronger automotive exterior components.

Five Star Race Car Bodies, a division of Five Star Fabricating, Inc., was formed by Carl Schultz and Fran Prestay in the late 1970s in Twin Lakes, Wisconsin. Our company began as a side job for the two in response to a need for innovative sheet metal products in the stock car racing industry.

Fran owned an auto service shop across from Carl's local plumbing and heating business. After a rough night at the local short track, Fran asked Carl to produce a set of sheet metal fenders for his car since finding stock parts in the salvage yard was difficult and time consuming. The new fenders were a hit with other racers, who wanted them for their own cars. Seeing an opportunity, and eager to accept a challenge, Carl and Fran began producing components for the 1979 Camaro. Word of mouth and a small ad in Stock Car Racing Magazine led to a tremendous response from racers across the country.

From that '79 Camaro body, the product line quickly diversified and expanded to include tough and durable thermoformed polypropylene; lightweight, hand-laid fiberglass; and advanced composite race car body components. These additions moved Five Star to the forefront of the industry and laid out our path to becoming experts in manufacturing large, complex composite body panels that require both structural integrity and aesthetic quality.

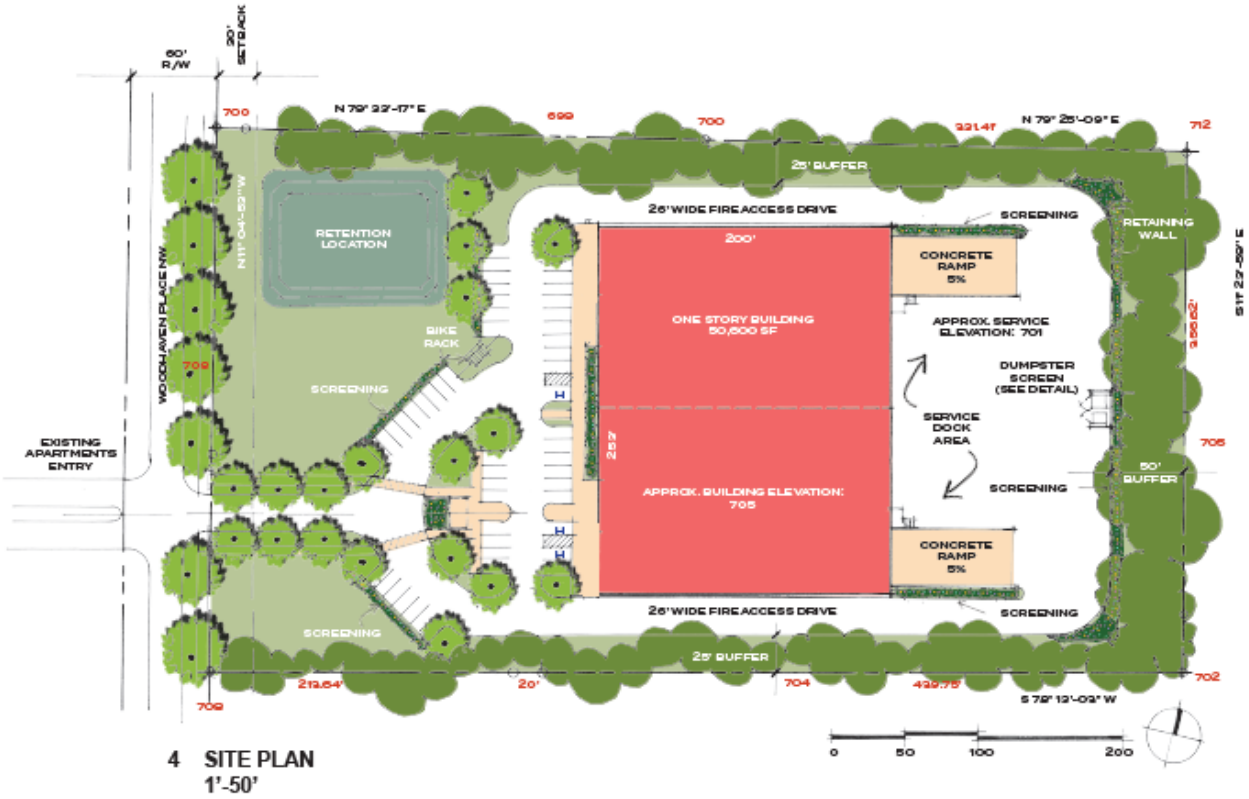
Through the development and production of complete race car bodies, they perfected the art of formed windows. Our engineers devised improvements in material composition and coatings, which led to the development of our own superior line of polycarbonate. Five Star premium racing windows are now the #1 windows used in all motorsports.

By creating new standards in toughness, durability, and weather resistance, they have expanded our polycarbonate business outside of racing. Our high standard for quality parts and service has helped us form relationships with major brands across the transportation industry.

Five Star continues to be dedicated to innovation. As they accept larger, more advanced projects and emerge into new markets and industries, they continue to maintain our deep roots in auto racing, putting our experience and expertise to work for you, our valued customers, by providing durable, high-quality parts for years to come.

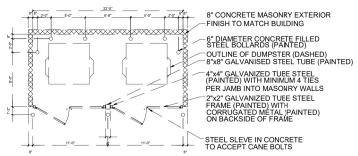
Five Star has been privately owned by the Schultz family since 2010. They lead the industry in manufacturing with over 175 employees and 300,000 square feet of floor space dedicated to the design, manufacture, and distribution of body panels, windows and accessories for NASCAR, Circle Track, Drag Race, Road Race, Off Road applications and much more. Our multi-unit facility is on the leading edge of technology, production capability, and logistics.

Conceptual Site Plan



4 SITE PLAN
1'-50'

NOTE:
ALL EXPOSED CONCRETE MASONRY UNITS, STEEL AND BOLLARDS TO BE PAINTED. COLOR TO BE DETERMINED BY ARCHITECT



2 DUMPSTER DETAIL scale: NTS

Distribution Development
Woodhaven Place NW, Concord, NC

Developer: Five Star Race Car Bodies
Concord Rezoning File: CN-RZC-2023-00009

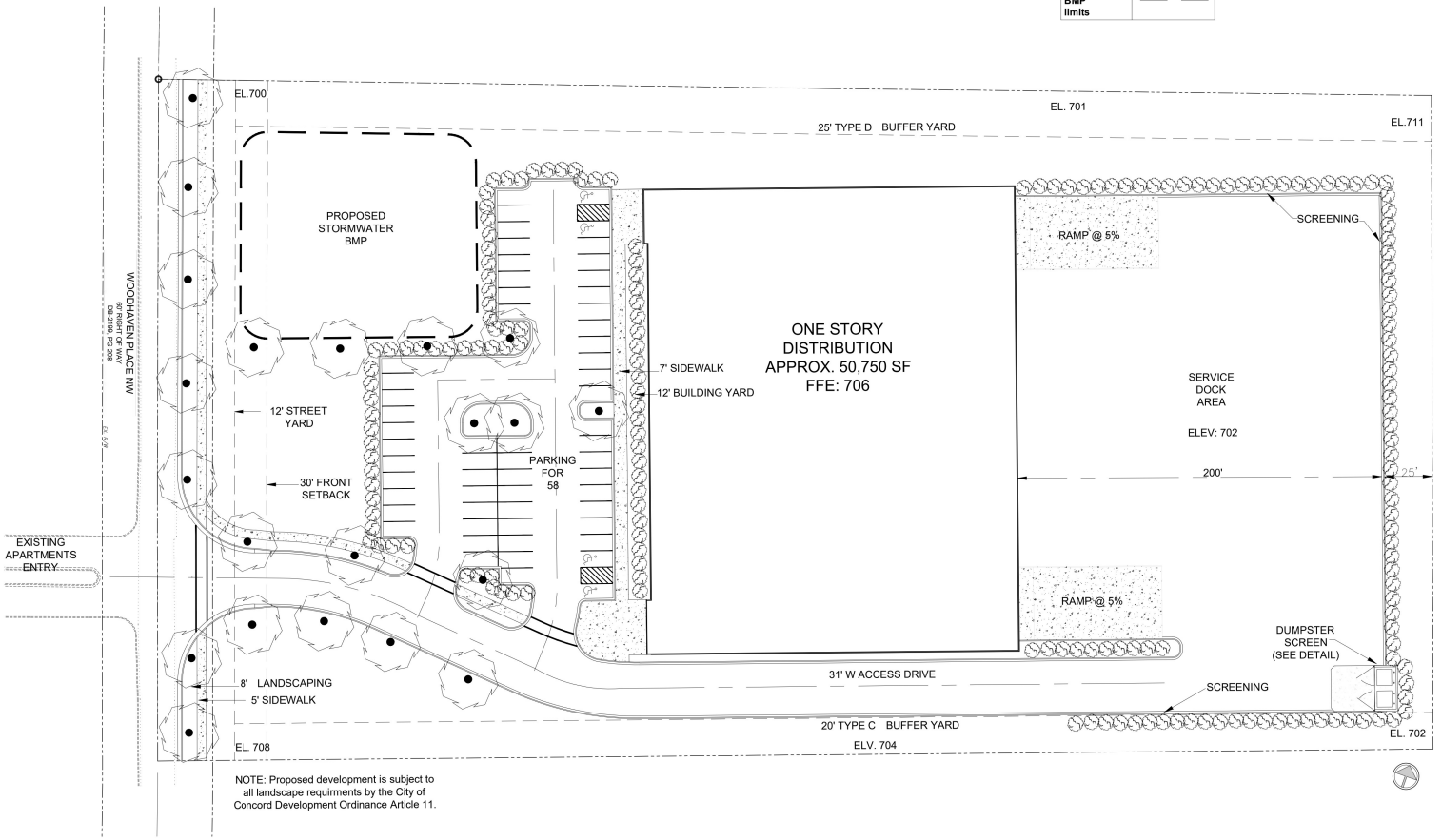
Site Data:
Existing Zoning: AG
Proposed Zoning: I-1 (CD)

PIN: 4690-77-5057 / DB: 10313 PG: 292
PIN: 4690-76-3809 / DB: 10313 PG: 292

Acreage (to CL or Woodhaven): 5.816 acres
Actual Acreage: 5.56 acres

LEGEND	
Property Line R/W Line	
Setbacks & Buffers	
Concrete	
Stormwater BMP limits	

3 VICINITY MAP scale: NTS



NOTE: Proposed development is subject to all landscape requirments by the City of Concord Development Ordinance Article 11.

1 ILLUSTRATIVE SITE PLAN; SEE RZ-3 & SURVEY FOR ADDITIONAL INFORMATION scale: 1" = 30'

ODA ARCHITECTURE
2010 south tryon st., suite 1a
charlotte, nc 28203
704.332.1615
www.oda.us.com

DISTRIBUTION FACILITY
WOODHAVEN PLACE NW
CONCORD, NORTH CAROLINA

CN - RZC - 2023 - 00009

REVISIONS		
No.	Description	Date
1	RZ-1 SUBMITTAL	09.01.23
2	RZ-1 SUBMITTAL REV.	09.26.23
3	RZ-1 SUBMITTAL REV.	10.12.23
4	RZ-1 SUBMITTAL REV.	10.18.23

SITE PLAN AND DATA

RZ-1

Copyright 2023 ODA ARCHITECTURE

Nonresidential

595 Warren C. Coleman Blvd. (Old Bi-Lo) (CN-PSA-2023-00077)

595 Warren C. Coleman Blvd S.

DRC	Entitled	Units	PRS Routed	Technically Approved
No	Yes	65,000 sf event center	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	No	No	No

Allocation Request

Total	2024
3,094	**3,094**

Office	Small Area Plan	Part of Approved Mixed Use	Annexation (Not ED)	Logistics/Distribution	Total
0	1	0	0	0	1

Brief Summary

This proposal is to move into the old Bi-Lo and create an event center that would seat up to 1,700 people once all phases are completed. The applicant currently operates the City Club and need more space. This parcel is zoned General Commercial (C-2). This parcel is in the Center City Small Area Plan.

CN-PSA-2023-00077

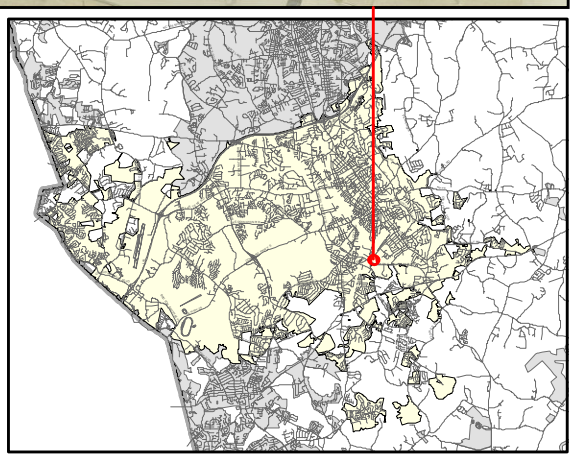
Type: Nonresidential

65,000 sf event center

Allocation Request: 3,094

Project Score: 1

Developments
Parcels
Rivers
Concord
Cabarrus County



Concord
NORTH CAROLINA

PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	Project Title:	Alterations to Existing Shopping Center					
2.)	Description of project location:	595 Warren C. Coleman Blvd. Old Bi-Lo building (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####)					
3.)	Cabarrus County Parcel Identification Number:	55298881980000	3a.)	Parcel Acreage:	6.867		
4.)	Site Zoning and use:	C-2	5.)	Area Commercial or Industrial Building	(sq. ft.) 65,000		
6a.)	Description of Facility to be served.	Event Center	6b.) Number of Lots	1	6c.) Number of Units	1	
7d.)	Additional description information:						

B. Applicant Information

Angela Newsome, Registered Agent (Title) (Name of **legal owner, board, council,** and/or **authorized official with title**; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	875 Cloverleaf Plaza (Applicant's Street or Box Number)
Newsome Holdings of North Carolina LLC (**Name of Applicant's company, city, town, corporation, sanitary district, water company or other** defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	Kannapolis, NC 28083 (Applicant's City, State, Zip Code)
704-345-2388 (Applicant's Phone Number)	(Applicant's Facsimile Number)
(Name) (Email) (Name with Title and Email of contact person, who can answer questions about application)	angela@epiceventsnc.com (Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

Gregory A. Riffe (Typed name of North Carolina Professional Engineer)	GAR Engineering (Company Name)
16396 (NCPE Registration Number)	4464 Raceway Dr. SW #A (Street or Box Number)
704-721-6449 (Phone Number)	Concord, NC 28027 (City, State, Zip Code)
Gregory A. Riffe (Name and affiliation of contact person, who can answer questions about **application & designs**)	sandra@garengineering.com (Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply)

☐	Residential Subdivision	☐	Retail (Stores, shopping centers)
☐	Apartments/Condominiums	☐	Institution
☐	Mobile Home Park	☐	Hospital, nursing home, dental
☐	School, preschool, daycare	☐	Church
☐	Restaurants (Food or drink facilities)	☐	Sports Centers
☐	Hotels or motels	☐	Business, offices, factories
☑	Other (specify): Event Center		

2.) The type of wastewater is (indicate percentage):

	% Domestic
100	% Commercial
	% Industrial
	% Other use (Specify) _____

3.) Pretreatment required:

◉ No

○ Yes (Specify or attach effluent documentation)

4.) **Volume of wastewater flow to be allocated for this particular project:** 3100 gallons per day

*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**

(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**

a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determine using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

(**Flow rates NOT listed in table 15A NCAC 2T .0114** must be supported with actual water use or wastewater discharge data in accordance with 15A NCA 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.)

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)	No. of Units	Flow
	637 gal/	1	GPD 637
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
		Total	GPD 637

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

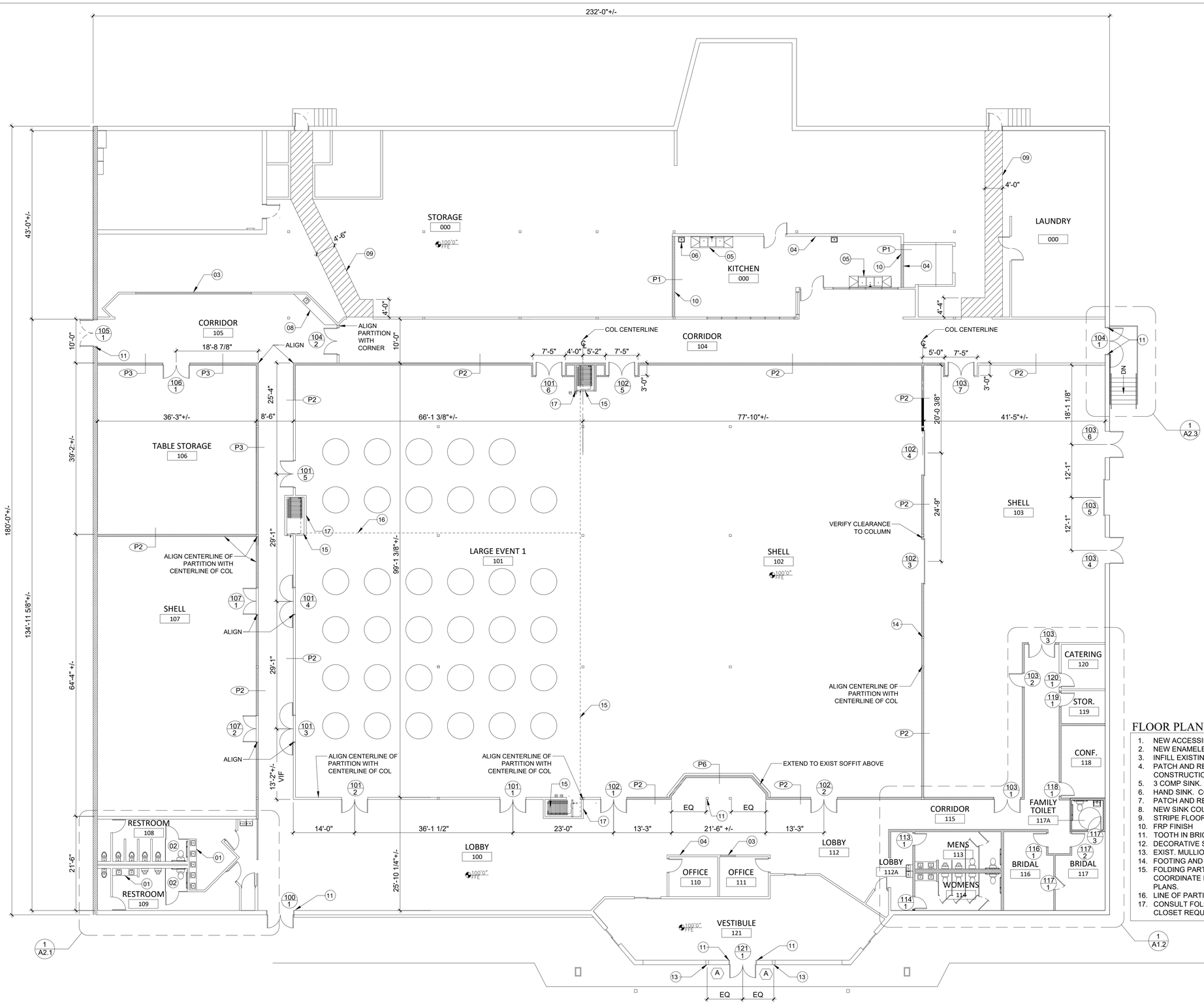
I, Angela Newsome (Printed Name), **the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.**

Signature: _____ Date: 10/9/23

Narrative for #CN-PSA-2023-00077

The project will be an event center, designed to seat up to 1700 when all phases are complete. The owners currently operate an existing event center (City Club) with seating for 780 and have extensive records of water use for that facility. These records are of monthly usage, the largest in the past 14 months being 6000 gallons.

The capacity we are requesting is based on per seat water usage at the owner's existing facility during May 2023. Number of guests was 2745 and usage was 5,000 gallons, equating to 1.82 gallons per guest. A seating capacity of 1700 would require a sewer capacity of 3094 gallons.



1 OVERALL FLOOR PLAN

SCALE : 3/32" = 1'-0"

PROJECT NORTH

FLOOR PLAN NOTES:

1. NEW ACCESSIBLE VANITY
2. NEW ENAMELED TOILET PARTITION
3. INFILL EXISTING OPENING. MATCH ADJOINING CONSTRUCTION
4. PATCH AND REPAIR EXISTING PARTITION TO MATCH ADJOINING CONSTRUCTION
5. 3 COMP SINK. CONNECT TO EXIST SUPPLY, VENT AND INDIRECT DRAIN
6. HAND SINK. CONNECT TO EXIST SUPPLY, WASTE AND VENT
7. PATCH AND REPAIR EXIST FRP. TYP THIS WALL.
8. NEW SINK COUNTER
9. STRIPE FLOOR. KEEP AREA CLEAR FOR EXITING
10. FRP FINISH
11. TOOTH IN BRICK AND BLOCK AT JAMBS TO MATCH EXISTING.
12. DECORATIVE STEEL COL.
13. EXIST. MULLION
14. FOOTING AND COL. SEE STRUCTURAL.
15. FOLDING PARTITION SYSTEM. PROVIDE SHOP DRAWINGS. COORDINATE INSTALLATION REQUIREMENTS WITH STRUCTURAL PLANS.
16. LINE OF PARTITION ADJACENT TO EXISTING COL. SEE STRUCTURAL.
17. CONSULT FOLDING PARTITION SHOP DRAWINGS FOR STORAGE CLOSET REQUIREMENTS, CONFIGURATION AND DIMENSIONS.

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Architect

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Huntersville, NC 28078
Telephone 704.726.6013
www.161architecture.com

Professional Seals

ZACHARY M. STRONG REGISTERED ARCHITECT 13042 NORTH CAROLINA HUNTERSVILLE, NC
02/02/23

161 ARCHITECTURE, PLLC LICENSED ARCHITECTURAL CORPORATION NORTH CAROLINA CERT. NO. 52964 HUNTERSVILLE, NC

Project Number
2020

Set Version
09.15.23

Revision Record

#	Date	Description

Project Name

ALTERATIONS TO EXISTING SHOPPING CENTER
595 Warren C. Coleman Blvd
Concord, NC 28025

Sheet Title
OVERALL FLOOR PLAN

Sheet Number
A-1.0

Nonresidential

Aeriston LLc-22 Union St. N. (CN-PSA-2023-00079)

22 Union St. N.

DRC	Entitled	Units	PRS Routed	Technically Approved
No	Yes	20,099 sf retail, business, entertainment venue	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	No	No	No

Allocation Request

Total	2024
22,490	**22,490**

Office	Small Area Plan	Part of Approved Mixed Use	Annexation (Not ED)	Logistics/Distribution	Total
0	1	0	0	0	1

Brief Summary

22 Union was constructed in 1939, opening as the Cabarrus Theater. This proposal is for redevelopment of 20,000 square feet over 2 levels. This is a downtown building seeking sewer for the building to be leased. This parcel is zoned City Center (CC) and is in the Center City Plan.

CN-PSA-2023-00079

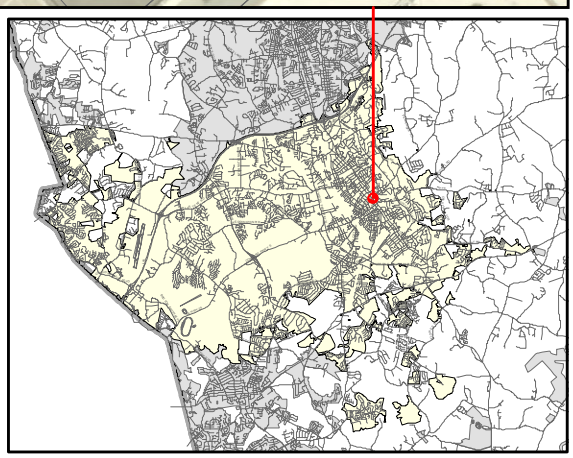
Type: Nonresidential

20,099 sf retail, business, entertainment venue

Allocation Request: 22,490

Project Score: 1

Developments
Parcels
Rivers
Concord
Cabarrus County



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	**Project Title:**	Aeriston LLC					
2.)	**Description of project location:**	22 Union Street N, Concord NC (originally constructed as the Cabarrus Theatre Building) (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####))					
3.)	**Cabarrus County Parcel Identification Number:**	5620-88-8311	3a.)	**Parcel Acreage:**	.283		
4.)	**Site Zoning and use:**	CC - vacant for years	5.)	**Area Commercial or Industrial Building (sq. ft.)**	20,099 sf +/-		
6a.)	**Description of Facility to be served.**	retail / business/ entertainment venue	**6b.) Number of Lots**	1	**6c.) Number of Units**	na	
7d.)	**Additional description information:**						

B. Applicant Information

Kristen Adamczuk , President (Title) (**Name** of **legal owner**, **board**, **council**, and/or **authorized official with title**; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	PO Box 37 (Applicant's Street or Box Number)
Aeriston, LLC (**Name of Applicant's company, city, town, corporation, sanitary district, water company or other** defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	Concord NC 28026 (Applicant's City, State, Zip Code)
980-621-5435 (Applicant's Phone Number)	 (Applicant's Facsimile Number)
Virginia Moore, Architect (Name) vmoore@cmoorearch.com (Email) (Name with Title and Email of contact person, who can answer questions about application)	kristen.adamczuk@gmail.com (Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design ~~Engineer~~ Information if available

Virginia Moore, Architect (Typed name of North Carolina ~~Professional Engineer~~)	Carlos Moore Architect PA (Company Name)
NC Board of Architecture 11215 (~~NCPE~~ Registration Number)	222 Church ST N (Street or Box Number)
704-788-8333 (Phone Number)	Concord NC 28025 (City, State, Zip Code)
Virginia Moore, Architect (Name and affiliation of contact person, who can answer questions about **application & designs**)	vmoore@cmoorearch.com (~~Engineer's~~ Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

☐	Residential Subdivision	☑	Retail (Stores, shopping centers)
☐	Apartments/Condominiums	☐	Institution
☐	Mobile Home Park	☐	Hospital, nursing home, dental
☐	School, preschool, daycare	☐	Church
☑	Restaurants (Food or drink facilities)	☐	Sports Centers
☐	Hotels or motels	☑	Business, offices, factories
☑	Other (specify): bar / entertainment venue		

2.) The type of wastewater is (indicate percentage):

100	**% Domestic**
	% Commercial
	% Industrial
	% Other use (Specify) _____

3.) Pretreatment required:
◉ No
○ Yes **(Specify or attach effluent documentation)**

4.) **Volume of wastewater flow to be allocated for this particular project**: 22,490 gallons per day
*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**
(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**

a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)			No. of Units	Flow	
3 retail micro tenants about 400-500 sf each	100	gal/	1000 sf	1500 sf	GPD	150
Bars / Cocktal lounge (LOI Signed)	20	gal/	seat	200 people/seats	GPD	4,000
video games / pool hall (1000 sf) (LOI signed)	250	gal/	plumbing fixture	4 fixtures	GPD	1,000
outdoor bar area (1000 sf) (LOI signed)	20	gal/	seat	67 people (seats)	GPD	1,340
		gal/			GPD	
restaurant full service (2nd floor)	40	gal/	seat	400 people / seats	GPD	16,000
				Total	GPD	22,490

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I Kristen Adamczuk (Printed Name), **the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.**

Signature: _____ Date: 10/11/2023

City of Concord

City Council

Concord, NC 28025

October 3, 2023

RE: 22 Union Street North Development, Preliminary Wastewater Flow Application

Dear City Council Members,

Aeriston, LLC and Carlos J Moore Architect, P.A. are pleased to present the Preliminary Wastewater Flow application (PWWF) for the commercial redevelopment located at 22 Union Street North, Concord, North Carolina 28025.

22 Union was constructed in 1939, opening as the Cabarrus Theater. The building is located on parcel 56208883110000, is .283 acres, and is currently zoned CC. Its history, rustic atmosphere, and large footprint provide downtown Concord with a significant opportunity for the much needed commercial space.

22 Union is a commercial redevelopment of 20,000 square feet over 2 levels. The first floor will feature an anchor tenant (signed LOI) space of 7,000+ square feet indoor and 1,000 square feet outdoor patio space, 3 retail micro-tenants of 400-500 square feet, and common areas. The 2nd floor is one of a kind for downtown Concord—9,000 square feet of open uninterrupted space with high bow truss ceiling, exposed brick walls, elevator and private Union Street staircase access. The timeline for completion is Summer 2024.

22 Union is one of the only remaining buildings in the Merchant Service District that can provide a vast square footage of highly sought-after commercial space. This building's redevelopment, like its historic beginnings, provides Concord with a desirable destination with the ability to draw visitors from beyond the city of Concord.

Please see attached for calculations of anticipated wastewater flows. Thank you for your consideration of our Preliminary Wastewater Flow application. We look forward to working with the City of Concord on this redevelopment in bringing back to life a long-anticipated treasure of Concord.

Sincerely,

Kristen Adamczuk

Aeriston, LLC

Nonresidential

CCM Brown Mill Rebuilder's Campus (CN-PSA-2023-00080)

540 Cabarrus Ave. W

DRC	Entitled	Units	PRS Routed	Technically Approved
4/13/2023	No	230,300 sf of commercial space	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	No	No	No

Allocation Request

Total	2024
26,950	**26,950**

Office	Small Area Plan	Part of Approved Mixed Use	Annexation (Not ED)	Logistics/Distribution	Total
0	1	0	0	0	1

Brief Summary

The applicant is requesting sewer allocation for an entire redevelopment project at the Old Brown Mill. This project will include 96 apartment units, a daycare, office space, and many others including a deli, bakery, healthcare, retail, community food warehouse, laundromat, and storage or warehousing. The 96 units are going to be constructed and will not be in the old mill. This project is in the Center City Plan. This request is just for the commercial piece.

Nonresidential

CN-PSA-2023-00080

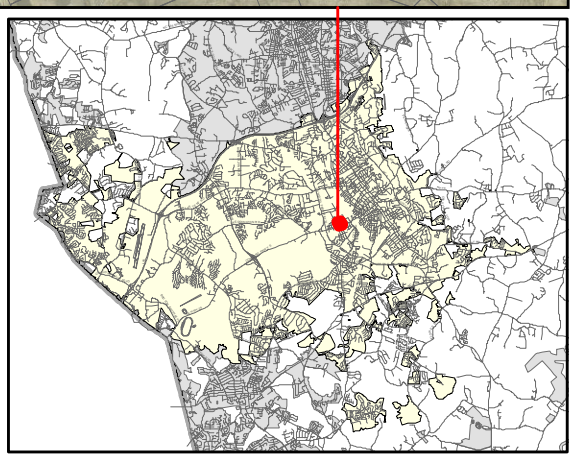
Type: Nonresidential

230,300 sf of commercial space

Allocation Request: 26,950

Project Score: 1

Developments
Parcels
Rivers
Concord
Cabarrus County



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	Project Title:	Rebuilder's Campus for Cooperative Christian Ministry				
2.)	Description of project location:	Old Brown Mill on Cabarrus Ave between Andrews St & White St. (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####))				
3.)	Cabarrus County Parcel Identification Number:	5620-34-3147	3a.)	Parcel Acreage:	10.513	
4.)	Site Zoning and use:	rezoning to PUD	5.)	Area Commercial or Industrial Building	(sq. ft.) 238,000 +/-	
6a.)	Description of Facility to be served.	multifamily, commercial, business, industrial, assembly	6b.) Number of Lots	1	6c.) Number of Units	
7d.)	Additional description information:	develop affordable housing and develop mill property into a mixed use development				

B. Applicant Information

Ed Hosack , CEO (Title)	PO Box 1717
(Name of **legal owner, board, council**, and/or **authorized official with title**; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	(Applicant's Street or Box Number)
Cabarrus Cooperative Christian Ministry Inc	Concord NC 28026-1717
(**Name of Applicant's company, city, town, corporation, sanitary district, water company or other** defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	(Applicant's City, State, Zip Code)
704-706-9047	
(Applicant's Phone Number)	(Applicant's Facsimile Number)
Virginia Moore, Architect (Name) vmoore@cmoorearch.com (Email)	ehosack@cooperativeministry.com
(Name with Title and Email of contact person, who can answer questions about application)	(Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

R. Dale Fink, PE	Alley Williams Carmen & King
(Typed name of North Carolina Professional Engineer)	(Company Name)
014883	120 S. Main St
(NCPE Registration Number)	(Street or Box Number)
704-938-1515	Kannapolis NC 28081
(Phone Number)	(City, State, Zip Code)
Dale Fink, PE consulting engineer	dfink@awck.com
(Name and affiliation of contact person, who can answer questions about **application & designs**)	(Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

☐	Residential Subdivision	☑	Retail (Stores, shopping centers)
☑	Apartments/Condominiums	☑	Institution
☐	Mobile Home Park	☐	Hospital, nursing home, dental
☑	School, preschool, daycare	☐	Church
☑	Restaurants (Food or drink facilities)	☐	Sports Centers
☐	Hotels or motels	☑	Business, offices, factories
☐	Other (specify):____		

2.) The type of wastewater is (indicate percentage):

100	**% Domestic**
	% Commercial
	% Industrial
	% Other use (Specify) ____

3.) Pretreatment required:
(•) No
( ) Yes **(Specify or attach effluent documentation)**

4.) **Volume of wastewater flow to be allocated for this particular project:** 43,150 gallons per day
*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**
(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**

a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{**Flow rates NOT listed in table 15A NCAC 2T .0114** must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)	No. of Units	Flow
See attached exhibit	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
		Total	GPD 43,150

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I _ ED HOSACK _ **the undersigned, do hereby make application for preliminary wastewater**
(Printed Name)

allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.

Signature: _____ Date: 10/16/2023

The Rebuilders Campus

At Brown Mill Commons

The Rebuilders Campus, Concord

The Rebuilders Campus is a partnership between our community and Cooperative Christian Ministry (CCM) to establish new transitional housing capacity that will help individuals and families experiencing housing crisis, with stable housing, nutritional support and access to resources that promote housing stability.

COOPERATIVE CHRISTIAN MINISTRY (CCM): Since 1981, CCM has delivered housing, hunger relief and financial assistance services to individuals and families in crisis in Cabarrus County and all of the city of Kannapolis. The range of comprehensive services represents the strength of CCM's ability to address the complex needs of households in crisis. CCM's *Path to Stability* housing model is a structured and proven program that requires participants to commit to shared responsibility (CSR) and engagement in a participatory development plan (PDP) that leads their household through relief, rehabilitation and recovery.

CCM's evidence-based housing model has consistently helped families overcome crisis, but the program is reaching less than 10% of those in need due to limited capacity. Housing crisis has been identified as a top unmet need in the Cabarrus County Needs Assessment year after year. High population growth rates and challenging economic conditions are accelerating the housing crisis in Cabarrus County.

IN OUR COMMUNITY TODAY:

- HOUSING STABILITY is identified as one of the greatest unmet needs and is one of the top-3 strategic planning focuses of our municipalities, our school systems, our public health authority and our hospital system.
- CCM received an average of 20 applications per month from families seeking housing in 2021, and 38 per month in 2022… a 90% INCREASE. The average is 44 per month in 2023.
- An INCREASE OF 350-500 TOTAL BEDS are needed to meet the immediate housing need in Cabarrus County (Source: A 5-Year Prospectus; Solving the Housing Crisis Publication - 2019).

A SOLUTION TO TRANSITION FAMILIES TO STABLE HOUSING:
The Rebuilders Campus will serve single and two-parent families with children, senior adults and working age adults in employment transition with stable housing, nutrition, health, academic, and employment supports just steps away from clients' single-family apartments. Case managers will mentor clients along CCM's Path to Stability, which empowers families with graduated levels of autonomy.
By creating this new transitional housing capacity, CCM commits to:

- Provide safety, nutrition and access to health, academic, employment and spiritual support.
- Incorporate education and training services into a structured transitional housing program
- Overcome barriers preventing access to vital resources for household/ financial sustainability
- Operate within the principles and values of affirmation, accountability, personal responsibility and perseverance

THE REBUILDERS CAMPUS will include the physical environment of two (eventually four) apartment buildings and a program/activity center to include daycare facilities for 48 resident families. There will be some common meeting, work, study, leisure and recreational space for on-campus residents. The campus will also include administrative offices and support services.

CAMPUS LOCATION & DESIGN:

The Cabarrus Avenue location surpassed all other considerations through a widespread request for proposals (RFP) and an evaluative scoring process. The strength of the location rests in;

- Access to vital services
- Public transportation
- Continuity with the surrounding community
- Contribution to the City of

Concord Master Plan

PHYSICAL ENVIRONMENT:

Phase One (2023 - 2026)

48	residential units (1, 2 & 3 Bedroom)
130 – 150	participating residents - (including 60-70 children)
	Space for - meetings, teaching, laundry facilities & recreation

Program space: Tutoring		Exercise Room	Playground	Library
	Computer Lab	Entertainment	Counseling	Community

Length of Stay in program: One – Three years
Cost to participate: Program Fees after Assessment period / Graduating Rent Structure

MARKET PROFILE: Population 6,438 within 1-mile radius in 2022.
CCM's Housing programs reflect resident demographics which are comparable to the Market Profile of the surrounding communities for age, race/ethnicity, income, family size and educational attainment.

		Market Profile*	CCM Housing**	Cabarrus County
Median HHI		$ 45,483	$ 22,884- $66,564	$ 78,009
Avg. HHI		$ 63,924	$ 42,066	
HH Income	<$35k	31%	55%***	
	$35 – 75K	46%	45%	
Avg. HH size		2.8	2.4 - 2.7	2.9
Age	<25 years	38%	55%	
	25 – 54 years	37%	34%	
College degree		15%	not recorded	34%
Median age		34 years	35 years	38 years
Race/Ethnicity - Caucasian		39%	28%	60%
Gender - Female		52%	81%	

*esri Market Profile - July 2022, 1-mile radius **2021 data ***at 24 months in program

Phase Two (2026 – 2028) Will establish Brown Mill Commons: a retail / commercial environment that will provide amenities to the community and job opportunities as well. It will include wellness and education services, and other resources that will address the needs of this corridor and the communities of Brown Mill, Missouri City, Silver Hill, Underwood Park, Hartsell, Logan and Gibson Village.

Phase Three (2028 – 2030) Will develop two more 24-unit apartment buildings to round out the campus with 96 apartments serving nearly 300 individuals.

WHAT HAPPENS IF WE DO NOTHING?

Without stable housing, a family cannot safely store and prepare food. They cannot establish adequate sleep or maintain proper hygiene. Without the stability of housing, it is nearly impossible for children to be successful in school or for adults to maintain the expectations of employment. Parents cannot support the dynamics to nurture family life or participation in community. Without stable housing, there is no rehabilitation and no recovery.

Our school systems continue to report increases in students/families who are living in hotels and other forms of homelessness. Senior adults are being squeezed out by rising costs and have become the fastest growing population in housing crisis. Cabarrus County's housing crisis is rapidly escalating into what will become a homelessness crisis. Without intentional measures, our civic and nonprofit resources will be exhausted in the effort to mitigate the crisis. Cabarrus County, like many other communities, will be overwhelmed by the level of need confronting all of our major institutions.

HOW HAS OUR COMMUNITY RESPONDED IN THE PAST?

In every economic and social disaster of the past 40 years, Cabarrus County has turned to Cooperative Christian Ministry (CCM) as a trusted source to provide crisis response and allocate resources alongside local, state and federal agencies. Residents and taxpayers of Cabarrus County have enthusiastically invested in the programs of CCM as a vital resource to address the crisis needs of our community.

Following the closing of Pillowtex in 2003 and the loss of Philip Morris in 2009, the Cabarrus community supported CCM in the creation of three new housing programs. My Father's House, Mothers & Children Housing and the Teaching Housing programs were established during the Recession of 2008-2010. These programs are the backbone of CCM's housing continuum.

WHY IS CCM THE BEST ORGANIZATION POSITIONED TODAY TO PROVIDE A SOLUTION?

CCM is uniquely capable of establishing additional safe, transitional housing and improving access to housing resources for individuals and families facing homelessness and housing crisis in Cabarrus County and is currently the only entity proposing a viable solution to address transitional housing.

CCM operated the only emergency night shelter and daytime soup kitchen in Cabarrus County for twenty-seven years before turning the operation over to The Salvation Army. For more than forty years, CCM has delivered hunger relief and financial assistance services to individuals and families in crisis in Cabarrus County and all of the city of Kannapolis. This range of comprehensive services represents the strength of CCM's ability to address the complex needs of households in crisis.

In 2010, CCM created the three new transitional housing programs to serve the growth in families experiencing homelessness. These programs have served families with children (two-parent and single-parent families), senior adults and adults with disabilities for thirteen years and have developed to produce positive outcomes for households at all levels of crisis.

HOW DOES THE CABARRUS AVENUE/BROWN MILL LOCATION BEST SERVE THE CITY?

- The proposed use is consistent with the best use of this property in the Concord Master Plan.

- The project will restore the historic property and legacy of Brown Mill and the majestic streetscape of an important entry corridor into the Concord City Center.
- The Rebuilders Campus will bring vital resources to the neighborhoods of Brown Mill, Missouri City, Silver Hill, Underwood Park, Logan, and Hartsell and complement the pursuit of affordable housing in this community.
- The location leverages access to employment, transportation and other necessary resources for households establishing housing and family stability.
- The Rebuilders Campus and CCM's housing program demographics match those of the community within a 1 mile radius. Graduates of the program will have the potential to remain in the surrounding neighborhoods as stable families with access to affordable housing.
- The Brown Mill Commons retail/commercial integration will provide employment opportunities for residents in the neighboring communities and various amenities that will encourage further investment along the corridor.

Brown Mill Commons

BROWN MILL COMMONS will honor the legacy of the historic property in an environment hosting retail/commercial enterprises that will service the local corridor and provide employment opportunities to residents of the campus and the Brown Mill community. Also on the campus will be health and wellness services, vocational training, other partner resources and CCM's Service Headquarters.

Beginning with Mr. R.A. (Bus) Brown and the Brown Manufacturing Company, providing bricks for the growth of Concord Center City, through Plant #10 and the Cannon Legacy, Brown Mill Commons will honor the contribution of the historic mill property. The restored Retail, Commercial, Human Services campus will bring life and opportunity to a corridor brimming with potential for new and existing enterprises.

Brown Mill Commons will maintain the presence of a century old landmark in Concord and will create a bridge through time from downtown and the Historic Courthouse through the generations of progress represented by the Barber Scotia Campus, Martin Luther King Jr. Plaza, and Brown & Norcott Mills on the way to the emerging manufacturing epicenter of The Grounds at Concord.

The Rebuilders College

On the Rebuilders Campus

Individuals and families enrolled in The Rebuilders College will have satisfied a rigorous application process to qualify their need, establish their readiness for the hard work of a structured and disciplined program and demonstrate a desire to persevere for positive outcomes.

The Rebuilders College represents a multi-year commitment on the part of adult and youth participants to pursue a rigorous plan for personal growth and development. Participants engage with trained staff to develop their own Personal Development Plan (PDP). The PDP sets priorities on educational, vocational and workforce training to expand career choices and increase potential for financial stability. It also encompasses priorities in physical, emotional and spiritual health.

Family Stabilization Resources

Safe, Stable and Affordable Housing
Supportive Nutrition Services
Access to Primary Medical and Dental Care
Family Strengthening Curriculums
Faith Building Activities & Studies

Adult & Child Development Resources

Connection to Behavioral Health Services
After-school Tutoring Services
Access to GED and other remedial education
Participatory Development Plans (PDP)

Job & Career Resources

Access to Vocational Training & Education
Access to Job Search/Employment Resources
Workforce Readiness
Workforce Preparedness

Financial Education & Training

Budgeting, Planning, Debt & Credit
Access to Financial Tools and Products
Banking Systems and Services

Vital Resources & Services

Public Transportation
Housing Placement Services
Homeownership Training
Childcare and Adult Daycare
Apartment Readiness Certification

CCM's *Path to Stability* model is a three to four-year progression where by successful participants who complete the program will have achieved:

- ✓ debt elimination
- ✓ credit improvement
- ✓ financial budgeting and savings
- ✓ increased income and financial stability
- ✓ established child care supports
- ✓ household stability
- ✓ reliable transportation strategy
- ✓ academic achievement
- ✓ successful parenting practices
- ✓ healthy lifestyles

Graduates of *The Rebuilders College* and the *Path to Stability* model will be ready to maintain stable independent housing in a safe and appropriate environment. Their children and youth will have the

opportunity to pursue academic achievement, discover their purpose and experience the fulfillment God intends for their life.

The Rebuilders Campus

at Brown Mill Commons

CRISIS TO RESTORATION

Carlos J. Moore ARCHITECT, P.A.

Morris Tract Mixed Use (CN-PSA-2023-00082)

100 Pitts School Rd. SW

DRC	Entitled	Units	PRS Routed	Technically Approved
9/7/2023	No	Approx. 729,040 sf of industrial space	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	No	No	No

Allocation Request

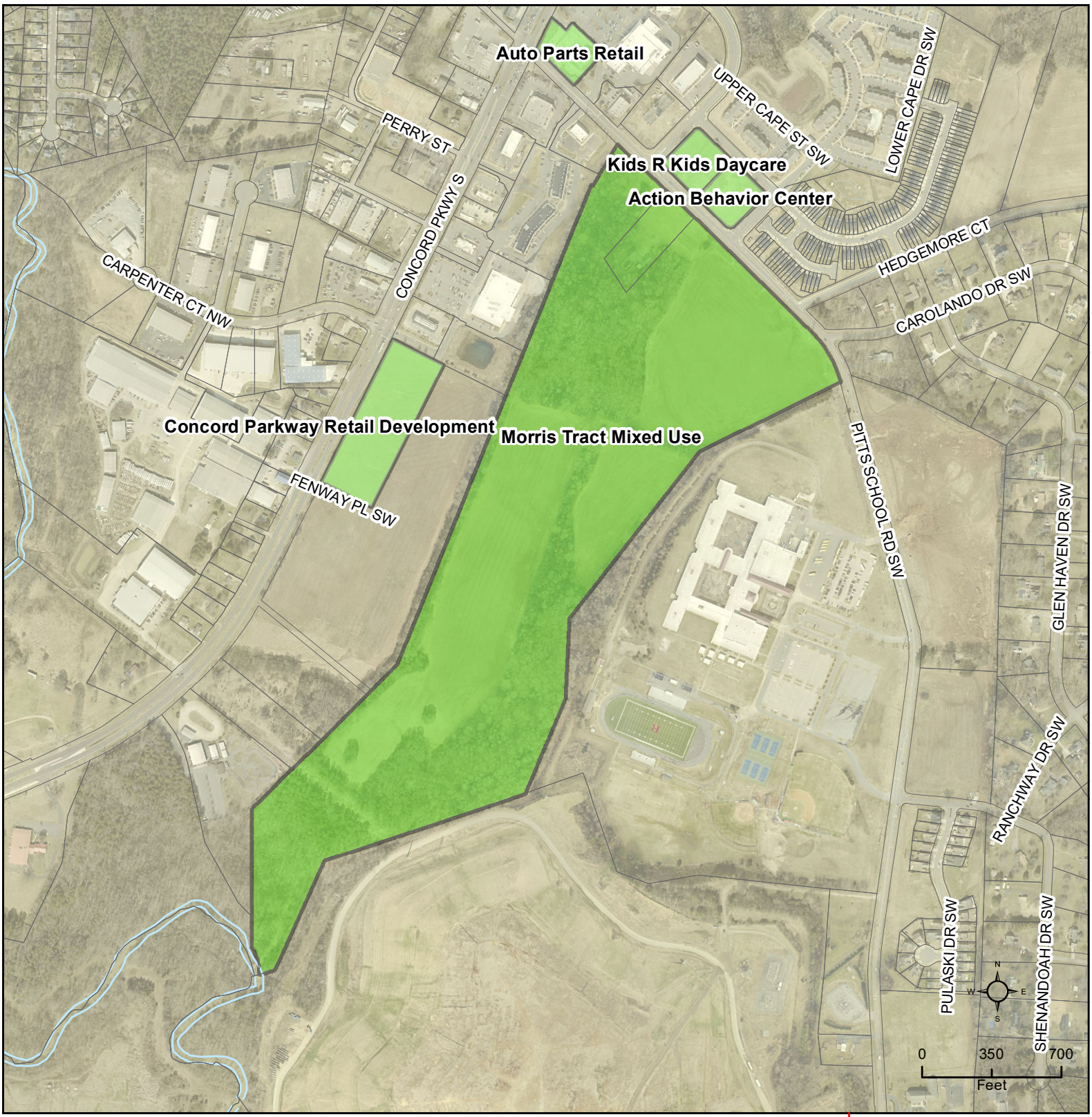
Total	2024
30,400	**30,400**

Office	Small Area Plan	Part of Approved Mixed Use	Annexation (Not ED)	Logistics/Distribution	Total
0	0	0	0	0	0

Brief Summary

The application is for a proposed industrial development that is intended to serve multiple businesses. They haven't communicated what their users will be and are currently in the process of applying for conditional rezoning for the parcel. They are proposing I-1(CD) and I-2(CD) leaving the commercial along the front untouched.

Nonresidential



CN-PSA-2023-00082

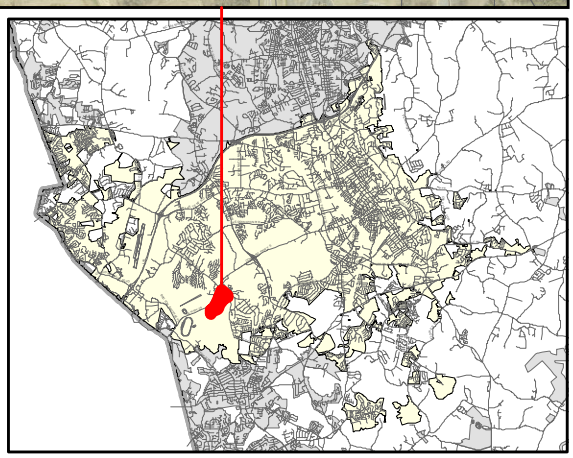
Type: Nonresidential

approx 729,040 sf of industrial space

Allocation Request: 30,400

Project Score: 0

Developments
Parcels
Rivers
Concord
Cabarrus County



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	**Project Title:**	Morris Tract Mixed Use				
2.)	**Description of project location:**	100 Pitts School Road SW (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####))				
3.)	**Cabarrus County Parcel Identification Number:**	55093177530000, 55094218220000	3a.)	**Parcel Acreage:**	86.37 Ac	
4.)	**Site Zoning and use:**	C-2/I-1 (current), I-2/I-1/C-2 (Proposed)	5.)	**Area Commercial or Industrial Building**	**(sq. ft.)**	
6a.)	**Description of Facility to be served.**	Industrial, Flex Industrial, and Commercial Space	**6b.) Number of Lots**		**6c.) Number of Units**	
7d.)	**Additional description information:**					

B. Applicant Information

Morris Family, LP and Robert F. Morris , (Title) (**Name** of **legal owner**, **board**, **council**, and/or **authorized official with title**; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	101 S Kings Drive, Suite 200 (Applicant's Street or Box Number)
Tribek Properties, Inc. (**Name of Applicant's company, city, town, corporation, sanitary district, water company or other** defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	Charlotte, NC 28204 (Applicant's City, State, Zip Code)
704-714-2860 (Applicant's Phone Number)	 (Applicant's Facsimile Number)
Scott Bortz (Name) sbortz@tribek.com (Email) (Name with Title and Email of contact person, who can answer questions about application)	sbortz@tribek.com (Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

Tommie L Little III, PE (Typed name of North Carolina Professional Engineer)	SeamonWhiteside (Company Name)
048282 (NCPE Registration Number)	1111 Metropolitan Ave, Suite 1050 (Street or Box Number)
980-312-5450 (Phone Number)	Charlotte, NC 28203 (City, State, Zip Code)
Tommie (Trey) Little - Engineer (Name and affiliation of contact person, who can answer questions about **application & designs**)	tlittle@seamonwhiteside.com (Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

☐	Residential Subdivision	☐	Retail (Stores, shopping centers)
☐	Apartments/Condominiums	☐	Institution
☐	Mobile Home Park	☐	Hospital, nursing home, dental
☐	School, preschool, daycare	☐	Church
☐	Restaurants (Food or drink facilities)	☐	Sports Centers
☐	Hotels or motels	☑	Business, offices, factories
☐	Other (specify):_____		

2.) The type of wastewater is (indicate percentage):

	% Domestic
33	**% Commercial**
66	**% Industrial**
	% Other use (Specify) _____

3.) Pretreatment required:
(●) No
( ) Yes **(Specify or attach effluent documentation)**

4.) **Volume of wastewater flow to be allocated for this particular project:** 30,400 gallons per day
*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**
(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below. The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**

a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

(Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.)

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)	No. of Units	Flow
See attached calculations	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
		Total	GPD

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I _ E. Blanton Hamilton Jr **the undersigned, do hereby make application for preliminary wastewater**
(Printed Name)

allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.

Signature: _____ Date: 10/12/2023

Sewer Demand Flow Calculations for:
Morris Tract Industrial
SW+ Job Number CL1149

Date: 7/21/2023
Prepared By: TLL

Building	Flow Generator*	Flow Unit*	# of Units	Flow per Unit*	Total Flow
1	General Business and Office Facilities	Gallons/Employee/Shift	294	25	7,350 GPD
2	General Business and Office Facilities	Gallons/Employee/Shift	90	25	2,250 GPD
3	General Business and Office Facilities	Gallons/Employee/Shift	113	25	2,825 GPD
4	General Business and Office Facilities	Gallons/Employee/Shift	105	25	2,625 GPD
5	General Business and Office Facilities	Gallons/Employee/Shift	108	25	2,700 GPD
6	General Business and Office Facilities	Gallons/Employee/Shift	90	25	2,250 GPD

Average Daily Flow = 20,000 GPD

Outparcel	Flow Generator*	Flow Unit*	# of Units	Flow per Unit*	Total Flow
1	Restaurant (Full Service)	Gallons/Seat	80	40	3,200 GPD
2	Service Stations, Gas Stations	Gallons/Plumbing Fixture	10	250	2,500 GPD
3	Convenience Stores (With Food Preperation)	Gallons/100 SF Floor Space	45	60	2,700 GPD
4	Medical and Dental Offices	Gallons/Practitioner/Shift	8	250	2,000 GPD

Average Daily Flow = 10,400 GPD

Total Averal Daily Flow = 30,400 GPD

Notes:

* Number of employees per shift for each building is estimated as a ratio of employees per 1,000 sf.
* Building 1 is estimated at 0.75 employees per 1,000 sf .
* Buildings 2-6 is estimated at 1.5 employees per 1,000 sf.
* Outparcel uses are assumed based on other business types in the area.
* Values listed reference Section 15A NCAC 02T .0114 of the NCDEQ Rules Governing Publc Water Systems

October 12, 2023

Morris Tract Industrial
Preliminary Sewer Application Narrative

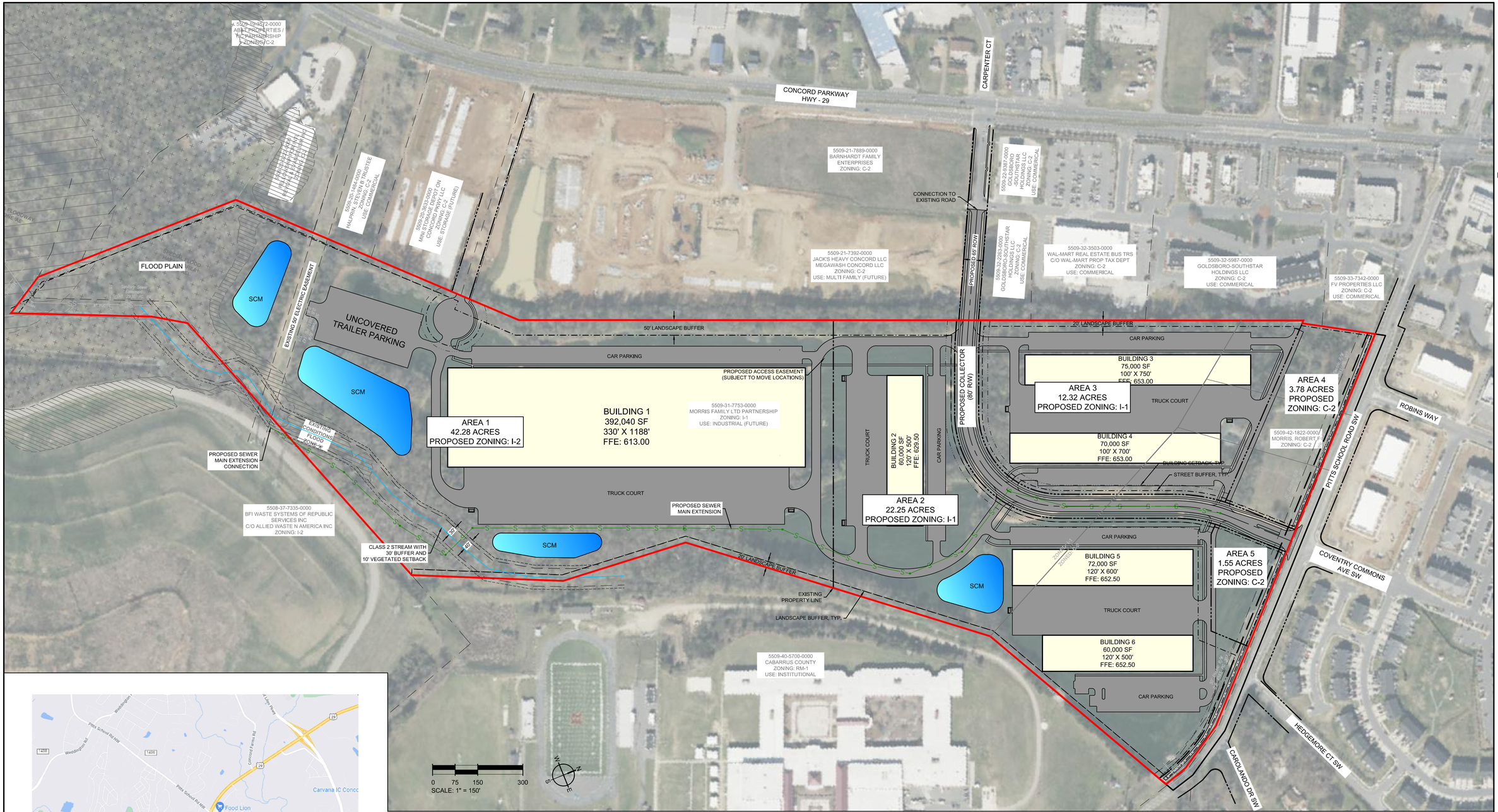
This application is for a proposed industrial development that will serve multiple business types. Through rigorous coordination with City Staff and Cabarrus Economic Development we have determined a product mix and development plan that excludes residential development and will allow for numerous different types and sizes of business opportunities.

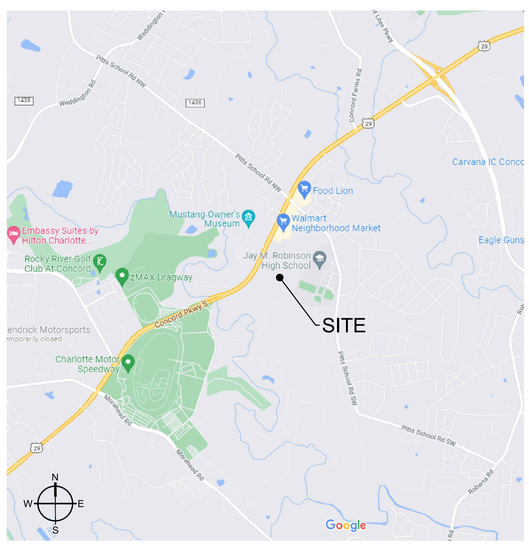
This development represents an opportunity for the City and County to continue to be competitive in attracting new businesses to the community and supporting the growth of existing businesses within the community.

Tribek Properties,

Scott Bortz

COPYRIGHT © SEAMON, WHITESIDE & ASSOCIATES, INC. 501 WANDO PARK BOULEVARD, SUITE 200 | MOUNT PLEASANT, SC 29464 | 508 RHETT STREET, SUITE 101 | GREENVILLE, SC 29601 THIS DRAWING SHALL NOT BE REPRODUCED IN ANY MANNER OR USED FOR ANY PURPOSE WITHOUT WRITTEN PERMISSION.





VICINITY MAP

SEAMONWHITESIDE
MOUNT PLEASANT, SC
843.884.1667
GREENVILLE, SC
864.298.0534
SUMMERVILLE, SC
843.972.0710
SPARTANBURG, SC
864.272.1272
CHARLOTTE, NC
980.312.5450
WWW.SEAMONWHITESIDE.COM

MORRIS TRACT
CONDITIONAL REZONING PLAN

LANDEAVOR, LLC
CONCORD, NORTH CAROLINA

SW+ PROJECT: CL1149
DATE: 08/15/2023
DRAWN BY: MEM
CHECKED BY: TLL

REVISION HISTORY

SITE PLAN

C1.0

PLOTTED:10/12/2023 7:34 AM, BY Trey Little V: \CL1149\CAD Files\Exhibits\CL1149 Rezoning Plan 08-04-2023.dwg

Butler Built Addition (CN-PSA-2023-00083)

70 Pitts School Rd. NW

DRC	Entitled	Units	PRS Routed	Technically Approved
No	Yes	12,000 sf additional steel building	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	No	No	No

Allocation Request

Total	2024
700	**700**

Office	Small Area Plan	Part of Approved Mixed Use	Annexation (Not ED)	Logistics/Distribution	Total
0	0	0	0	0	0

Brief Summary

This project is looking for more manufacturing space as their company has grown. They are looking to add a 12,000 square foot addition to the building to meet their growth. This parcel is zoned Light Industrial (I-1).

CN-PSA-2023-00083

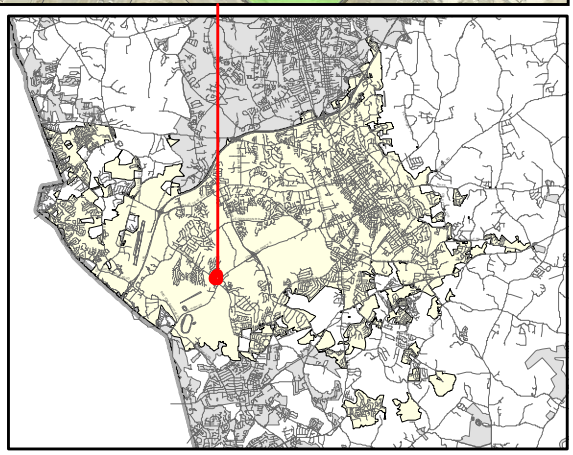
Type: Nonresidential

12,000 sf additional steel building

Allocation Request: 700

Project Score: 0

Developments
Parcels
Rivers
Concord
Cabarrus County



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	Project Title:	Butler Built Addition					
2.)	Description of project location:	70 PITTS SCHOOL ROAD APPOX 500 FT FROM RT 29 INTERSECTIONS (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####))					
3.)	Cabarrus County Parcel Identification Number:	55093408620000	3a.)	Parcel Acreage:	8.69		
4.)	Site Zoning and use:		5.)	Area Commercial or Industrial Building (sq. ft.)	12000		
6a.)	Description of Facility to be served.		6b.) Number of Lots	1	6c.) Number of Units	1	
7d.)	Additional description information:	ADDITIONAL STEEL BUILDING TO MATCH EXISTING					

B. Applicant Information

PAMELA L BICKFORD president (Title) (Name of legal owner, board, council, and/or authorized official with title; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	5302 Atwater Drive (Applicant's Street or Box Number)
PF2 HOLDINGS INCORPORATED (Name of Applicant's company, city, town, corporation, sanitary district, water company or other defined in property records and/or as listed in the NC Secretary of State Corporation filings. . as applicable.)	Concord, NC 28025 (Applicant's City, State, Zip Code)
7047841027 (Applicant's Phone Number)	(Applicant's Facsimile Number)
Fred Bickford GM (Name) Fred@RacingExperts.com (Email) (Name with Title and Email of contact person, who can answer questions about application)	Pam@RacingExperts.com (Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

TBA (Typed name of North Carolina Professional Engineer)	(Company Name)
(NCPE Registration Number)	(Street or Box Number)
(Phone Number)	(City, State, Zip Code)
(Name and affiliation of contact person, who can answer questions about application & designs)	(Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

☐	Residential Subdivision	☐	Retail (Stores, shopping centers)
☐	Apartments/Condominiums	☐	Institution
☐	Mobile Home Park	☐	Hospital, nursing home, dental
☐	School, preschool, daycare	☐	Church
☐	Restaurants (Food or drink facilities)	☐	Sports Centers
☐	Hotels or motels	☑	Business, offices, factories
☐	Other (specify):____		

2.) The type of wastewater is (indicate percentage):

	% Domestic
	% Commercial
100	% Industrial
	% Other use (Specify) ____

3.) Pretreatment required:
- (•) No
- ( ) Yes (Specify or attach effluent documentation)

4.) **Volume of wastewater flow to be allocated for this particular project:** 700 gallons per day
*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**
(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**
a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).
b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**
{**Flow rates NOT listed in table 15A NCAC 2T .0114** must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)			No. of Units	Flow	
Factories, excluding industrial waste	25	gal/	25		GPD	650
General business and office facilities	3	gal/	25		GPD	75
		gal/			GPD	
		gal/			GPD	
		gal/			GPD	
		gal/			GPD	
				Total	GPD	700

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I PAMELA L BICKFORD (Printed Name), **the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.**

Pamela L Bickford — Signature:

10/12/23 — Date:

Project Narritive & Sewer Calculations for Butler Built
70 Pitts School Road NW
Concord, NC 28027
PIN# 55093408620000
Zoned I-1
8.69 ac

Butler Built Professional Seat Systems has been a manufacturing facility in Concord for the last 30 plus years serving both the domestic and international racing communities. Throughout the years the business has grown and is need of addition manufacturing space. PF Holdings Incorporated would like to provide them additional manufacturing and office space. The proposed building will be 80' x 150' steel engineered building and match the existing steel wall building. The proposed building will be located on the right side of the existing building more than 600 feet from the Pitts School Road entrance. The current driveway is sufficient enough to serve the expansion and no need for any additional driveway area. Current impervious area is less than 5%. The property is open and will only require minimum excavation for the building pad only. The property is currently being served by a septic system under the grandfather law.
With the expanded capacity Butler Built is expecting to increase their work force. PF2 Holdings Incorporated also plans to utilize a portion of the building for its offices. Butler Built currently employs 14 persons but usually employs 18 as it has current positions available to fill. New capacity would create 7 additional positions for a total of 25 positions available. PF2 offices will have a minimum 3 office personnel also.

The total waste water requested on the application is; 28 employees/25gal= 700 GPD.

Nonresidential

324 Church St. N. (CN-PSA-2023-00084)

324 Church St. N.

DRC	Entitled	Units	PRS Routed	Technically Approved
No	Yes	5,356 sf business. Retail, bar	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	No	No	No

Allocation Request

Total	2024
4,210	**4,210**

Office	Small Area Plan	Part of Approved Mixed Use	Annexation (Not ED)	Logistics/Distribution	Total
0	1	0	0	0	1

Brief Summary

The applicant is proposing what they have called phase 2, which would offer additional seating capacity for the restaurant. They would also like to provide beauty parlors, office, retail, and other businesses. This parcel is zoned General Commercial (C-2) and is in the Center City Plan.

Nonresidential

CN-PSA-2023-00084

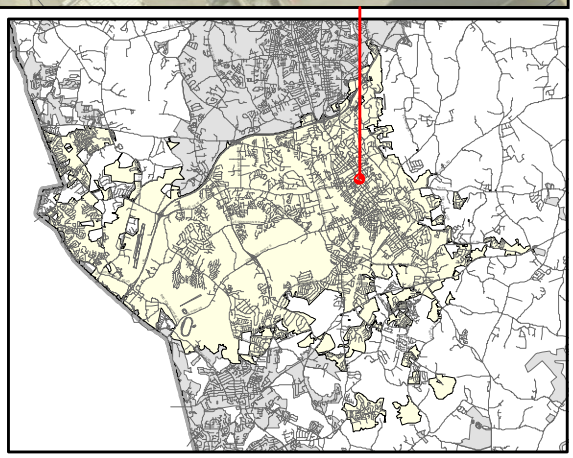
Type: Nonresidential

5,356 sf business, retail, bar

Allocation Request: 4,210

Project Score: 1

Developments
Parcels
Rivers
Concord
Cabarrus County



Concord
NORTH CAROLINA

PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	Project Title:	324 Church St N					
2.)	Description of project location:	Recently fully renovated building at the corner of Church St N and St Charles Ave NE (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####)					
3.)	Cabarrus County Parcel Identification Number:	56216153490000	3a.)	Parcel Acreage:	.43		
4.)	Site Zoning and use:	C-2/Commercial	5.)	Area Commercial or Industrial Building	(sq. ft.) 5356		
6a.)	Description of Facility to be served.	business, retail, restaurant	6b.) Number of Lots	1	6c.) Number of Units	6	
7d.)	Additional description information:	The building was fully renovated in 2022-2023 with lease spaces to a warm vanilla box.					

B. Applicant Information

Norstein Properties LLC John Eckstein, President (Title) (Name of **legal owner**, **board**, **council**, and/or **authorized official with title**, as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant)	65 Corban Ave SE STE 12 Concord, NC 28025 (Applicant's Street or Box Number)
Norstein Properties LLC (Name of Applicant's company, city, town, corporation, sanitary district, water company or other defined in property records and/or as listed in the NC Secretary of State Corporation filings, as applicable)	65 Corban Ave SE STE 12 Concord, NC 28025 (Applicant's City, State, Zip Code)
770-855-9649 (Applicant's Phone Number)	(Applicant's Facsimile Number)
John Eckstein (Name) jeckste@gmail.com (Email) (Name with Title and Email of contact person, who can answer questions about application)	jeckste@gmail.com (Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of owuership if signing as owner.

C. Design Engineer Information if available

Virginia L Moore, RA (Typed name of North Carolina Professional Engineer)	Carlos J Moore Architect, P.A. (Company Name)
11215 (NCPE Registration Number)	222 Church St NE (Street or Box Number)
704-788-8333 (Phone Number)	Concord, NC 28025 (City, State, Zip Code)
Virginia Moore (Name and affiliation of contact person, who can answer questions about **application & designs**)	vmoore@cmoorearch.com (Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

☐	Residential Subdivision	☑	Retail (Stores, shopping centers)
☐	Apartments/Condominiums	☐	Institution
☐	Mobile Home Park	☐	Hospital, nursing home, dental
☐	School, preschool, daycare	☐	Church
☑	Restaurants (Food or drink facilities)	☐	Sports Centers
☐	Hotels or motels	☑	Business, offices, factories
☐	Other (specify):____		

2.) The type of wastewater is (indicate percentage):

100	% Domestic
	% Commercial
	% Industrial
	% Other use (Specify) ____

3.) Pretreatment required:

◉ No

○ Yes **(Specify or attach effluent documentation)**

4.) **Volume of wastewater flow to be allocated for this particular project**: 4210 gallons per day

*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**

(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**

a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{**Flow rates NOT listed in table 15A NCAC 2T .0114** must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)		No. of Units	Flow	
Business	25	gal/ employee	12 people	GPD	300
Possible beauty parlor	125	gal/ booth or bowl	2 bowls	GPD	250
Restaurant/lounge seating	40	gal/ seat	84 people	GPD	3360
Bar/cocktail area	20	gal/ seat	10 seats	GPD	200
Unit 4 possible mercantile	100	gal/ 1000sf	1	GPD	100
		gal/		GPD	
			Total	GPD	4210

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I John Eckstein (Printed Name), **the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.**

Signature: _____ Date: 10/12/2023

City of Concord
City Council
Concord, NC 28025

Reference: 324 Church St N Development

Dear City Council Members,

Norstein Properties LLC and Carlos J Moore Architect, P.A. are pleased to present the Preliminary Wastewater Flow application (PWWF) for the development located at 324 Church St N Concord, North Carolina 28025.

The 324 Church St N Development is a 5356 sq. ft. commercial building located on parcel 56216153490000. The site is .43 acres and is currently zoned C-2. The section of the building facing Church St currently features a recently approved (PRB2023-01369) phase 1 of a restaurant redevelopment by Berline Philemond. Upon approval of this application, Berline will begin the phase 2 expansion of the development for additional seating capacity. Norstein Properties LLC also asks for additional capacity to meet the demand for beauty parlors, office, retail, and business in the building. Please see **Table 1.a** for calculations of anticipated wastewater flows.

Table 1.a

Description	**Quantity**	**Flow**	**Total (GPD)**
Business	12 people	25 gal/employee	300
Possible beauty parlor	2 bowls	125 gal/booth or bowl	250
Restaurant/lounge seating	84 people	40 gal/seat	3360
Bar/cocktail area	10 seats	20 gal/seat	200
Unit 4 possible mercantile	1	100 gal/1000sf	100
		Total	**4210**

This development will bring much-needed restaurant, retail, office, and business commercial space to the Church Street area of downtown Concord, North Carolina. The building at 324 Church St underwent a complete renovation in 2022 that transformed the corner of Church St. and St. Charles Ave. Norstein Properties appreciates the city council's consideration of this application and we look forward to continued investment in downtown Concord.

Sincerely,

John Eckstein
President
Norstein Properties LLC
jeckste@gmail.com

Concord Golf Range (CN-PSA-2023-00088)

2600 Armentrout Dr. SW

DRC	Entitled	Units	PRS Routed	Technically Approved
10/12/2023	Yes	7,500 sf golf range with covered bays and small resturant	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	No	No	No

Allocation Request

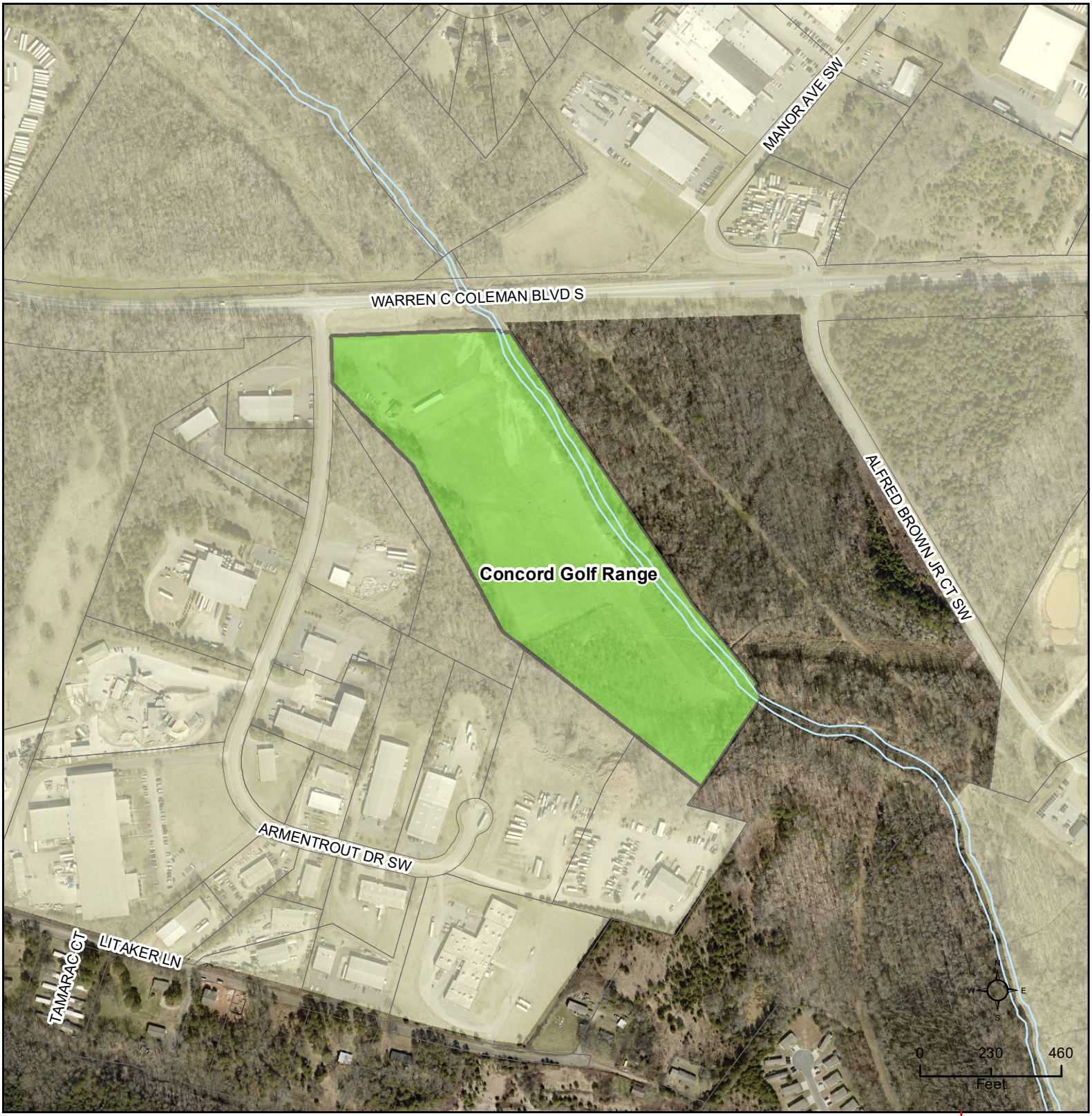
Total	2024
4,000	4,000

Office	Small Area Plan	Part of Approved Mixed Use	Annexation (Not ED)	Logistics/Distribution	Total
0	0	0	0	0	0

Brief Summary

The current business is a driving range, and the applicant is proposing to create “Hot Shot Golf,” which is a golf entertainment venue. This would offer a 5,500 square foot, 20 bay covered hitting area along with a restaurant with outdoor patio. This parcel is zoned General Commercial (C-2).

Nonresidential



CN-PSA-2023-00088

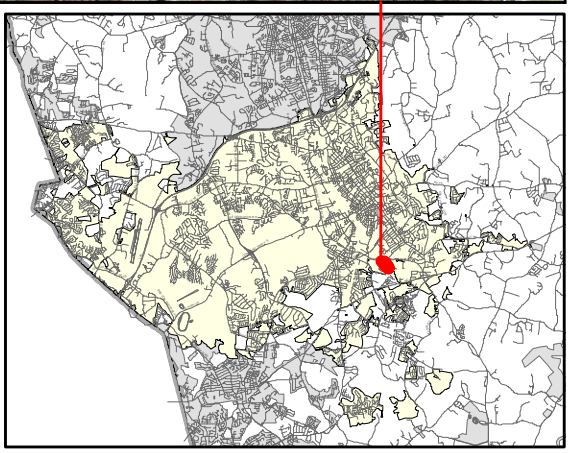
Type: Nonresidential

7,500 sf Golf range with covered bays and small restaurant

Allocation Request: 4,000

Project Score: 0

Developments
Parcels
Rivers
Concord
Cabarrus County



Concord
NORTH CAROLINA

PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	Project Title:	Concord Golf Range					
2.)	Description of project location:	2600 Armentrout (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####))					
3.)	Cabarrus County Parcel Identification Number:	5539-16-2751	3a.)	Parcel Acreage:	19.1		
4.)	Site Zoning and use:	C-2	5.)	Area Commercial or Industrial Building (sq. ft.)	7500		
6a.)	Description of Facility to be served.	golf range	6b.) Number of Lots	1	6c.) Number of Units	2	
7d.)	Additional description information:	golf range with covered bays and small restaurant					

B. Applicant Information

Mark Butler owner (Title) (Name of legal owner, board, council, and/or authorized official with title: as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	56655 Grand River Ave unit #377 (Applicant's Street or Box Number)
West Holdings, LLC (Name of Applicant's company, city, town, corporation, sanitary district, water company or other defined in property records and/or as listed in the NC Secretary of State Corporation filings, as applicable.)	New Hudson MI 48165 (Applicant's City, State, Zip Code)
248-955-8222 (Applicant's Phone Number)	(Applicant's Facsimile Number)
Kyle Zimpleman (Name) kyle@expandcap.com (Email) (Name with Title and Email of contact person, who can answer questions about application)	kyle@expandcap.com (Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

(Typed name of North Carolina Professional Engineer)	(Company Name)
(NCPE Registration Number)	(Street or Box Number)
(Phone Number)	(City, State, Zip Code)
(Name and affiliation of contact person, who can answer questions about application & designs)	(Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

☐	Residential Subdivision	☐	Retail (Stores, shopping centers)
☐	Apartments/Condominiums	☐	Institution
☐	Mobile Home Park	☐	Hospital, nursing home, dental
☐	School, preschool, daycare	☐	Church
☑	Restaurants (Food or drink facilities)	☐	Sports Centers
☐	Hotels or motels	☐	Business, offices, factories
☑	Other (specify): golf range		

2.) The type of wastewater is (indicate percentage):

	% Domestic
100	% Commercial
	% Industrial
	% Other use (Specify) ____

3.) Pretreatment required:

◉ No

○ Yes **(Specify or attach effluent documentation)**

4.) **Volume of wastewater flow to be allocated for this particular project:** 4000 gallons per day

*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**

(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**

a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{**Flow rates NOT listed in table 15A NCAC 2T .0114** must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)	No. of Units	Flow
small bar/single service restaurant	20 gal/ per seat	100	GPD 2000
golf range/bathrooms	250 gal/ per fixture	8	GPD 2000
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
		Total	GPD 4000

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I Kyle Zimpleman, **the undersigned, do hereby make application for preliminary wastewater**

(Printed Name)

allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.

Signature: 10/13/23 Date:

The Plan:

2600 Armentrout, Concord NC
19.5 acres

Hot Shot Golf is a cutting-edge golf entertainment venue, complete with state-of-the-art Top Tracer technology. Our vision for this project is to create a premier golfing experience that caters to the diverse needs and preferences of the community of Concord and neighboring towns and cities.

Our plans entail the construction of a 5500 square foot, 20-bay covered hitting area, where golf enthusiasts can refine their skills in a comfortable and sheltered environment.

Complementing this facility, we will construct a small restaurant (2,400sqft), complete with covered outdoor patio seating (800sqft). This space will serve as a hub for golfers and visitors alike.

By bringing this exciting project to life, we aim to create job opportunities for residents and bolster economic growth. We firmly believe that the influx of visitors to our venue will not only elevate the overall appeal of this area but also contribute to increased destination traffic and business patronage.

We look forward to collaborating with the community, local businesses, and city officials to ensure that our venture aligns with the unique character of Concord while offering a unique golfing destination for all to enjoy.

The Business Concept:

With a fusion of the latest **Top Tracer** technology and the classic golf range, **Hot Shot Golf** is committed to providing customers with an exciting and affordable way to experience the sport of golf.

The facility's heated bays are thoughtfully designed to **protect golfers from the harsh elements** of the chilly and gloomy winters, while also offering shade and cooling fans during the summer months.

Whether you are a seasoned pro or a beginner, **Hot Shot Golf** aims to provide an optimal golfing experience throughout the year, regardless of the weather.

Illustration purpose only

HOT SHOT GOLF

RANGE VENUE

US-601 HWY
Daily Traffic Count 17K+

Utility Pole Line Easement

Additional Parking

Picnic area and Yard Games

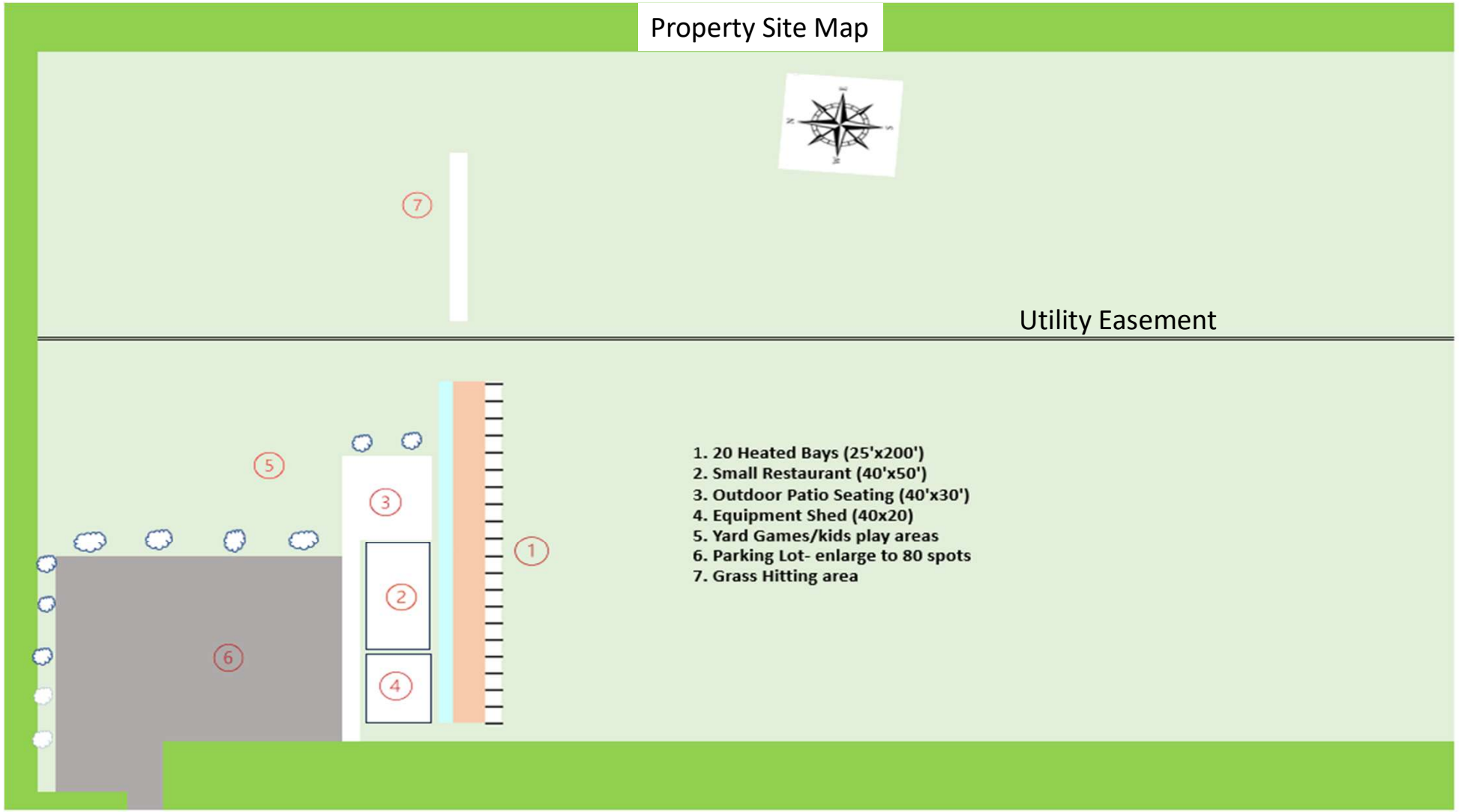
Build Site

Grass Hitting area

Current structures will be removed and build site area will be elevated 2’ above the AE 100yr flood plain

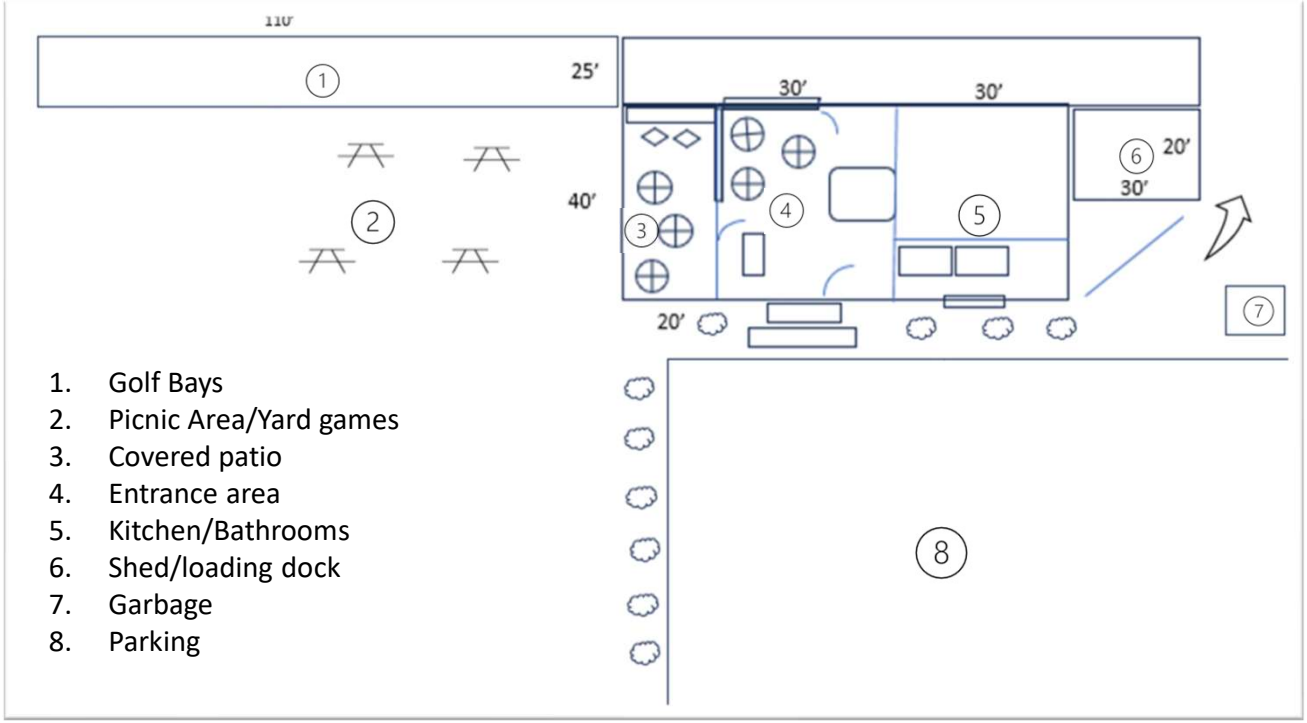
Irish Buffalo Creek

Property Site Map



Armentrout

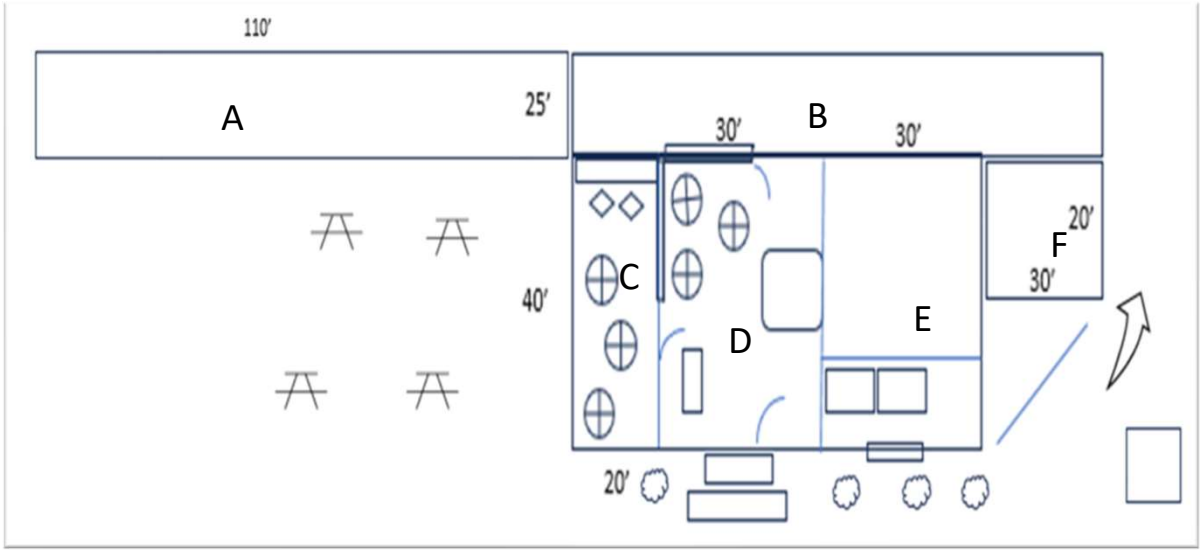
Development Plan



1. Golf Bays
2. Picnic Area/Yard games
3. Covered patio
4. Entrance area
5. Kitchen/Bathrooms
6. Shed/loading dock
7. Garbage
8. Parking

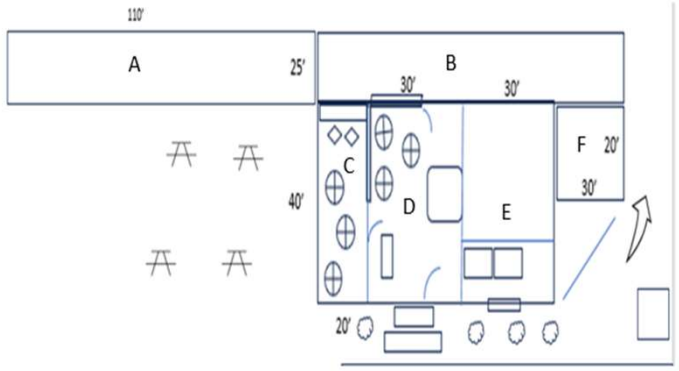
Building Structures

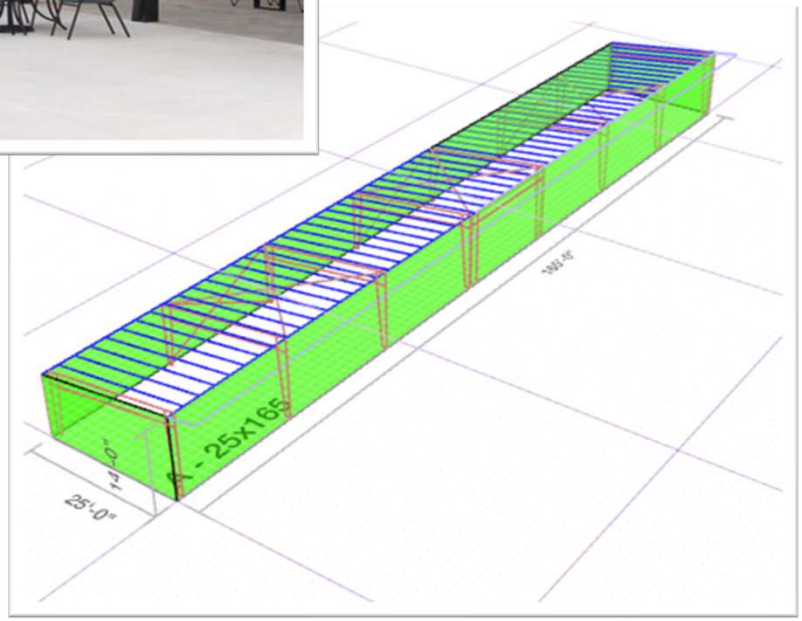
A. 25x 110 Lean-to (10 Bay) Building
B. 25x110 Lean-to 10 bay (attached to Building C & D
C. 20x40 Open air covered patio
D. 30x40 Restaurant (FoH)
E. 30x40 Kitchen/Bathrooms(BoH)
F. 30x20 Lean to Shed/loading area



Building #A

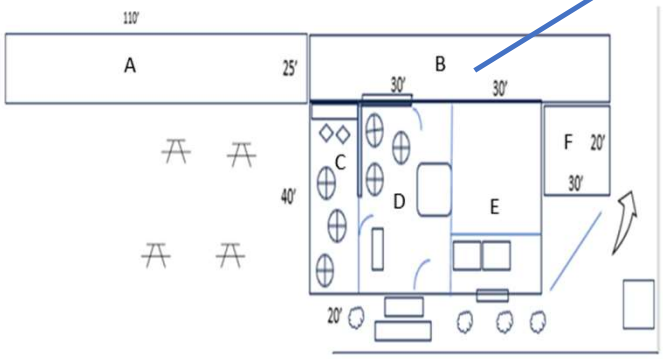
- 25x 110 Lean-to (10 Bay)
- 14’H Open air format w/22’ btw beams (quote 12’H and 8’ at base)
- =2750sqft





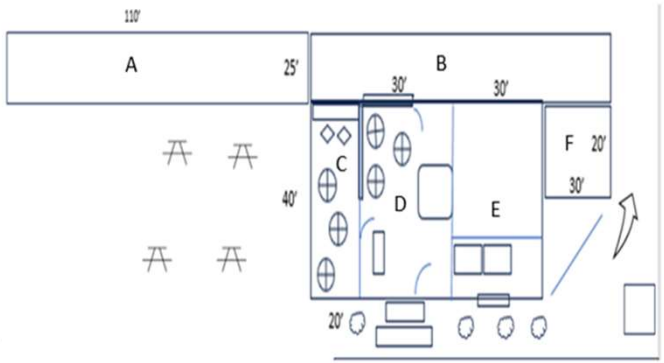
Building #B

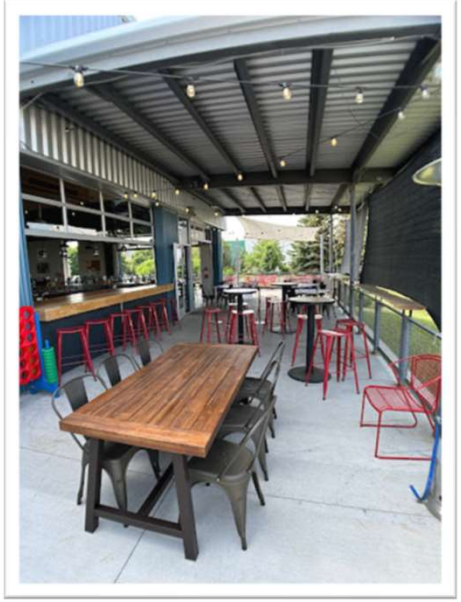
- 25x 110 Lean-to (10 Bay) connected to main buildings
- 12’H Open format w/22’ btw beams
- =2750sqft

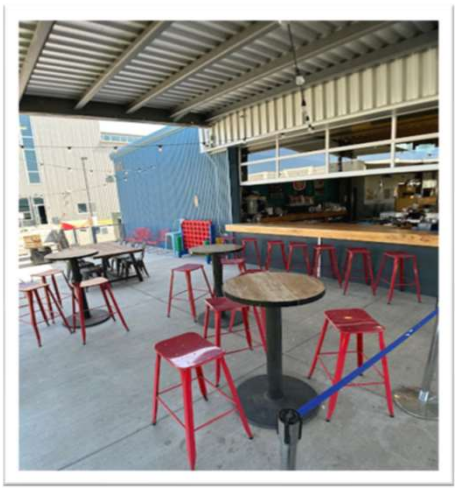


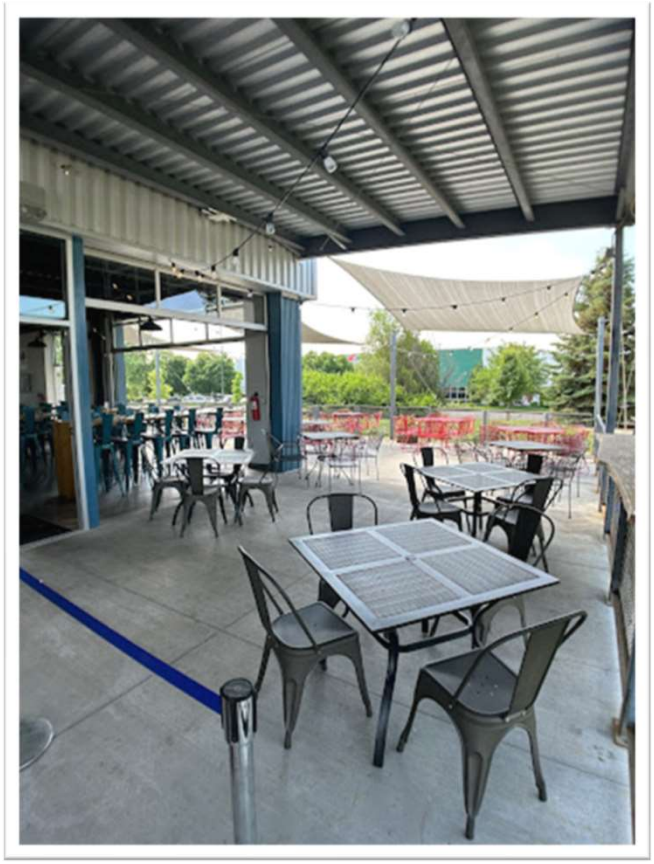
Building #C

- 20x 40 Lean-to style covered patio
- 14’H Open format w/22’ btw beams
- =800sqft
- (2) 16’ wide glass garage door w/man door



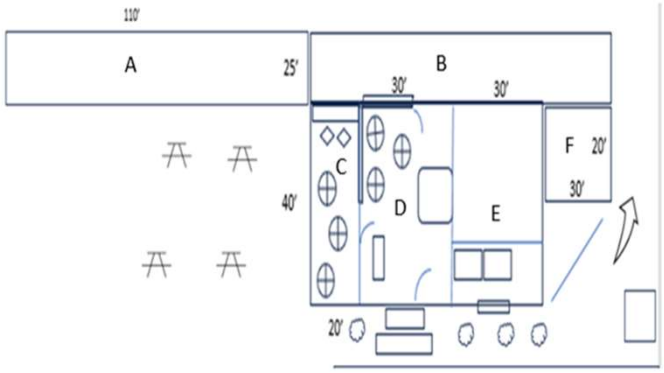






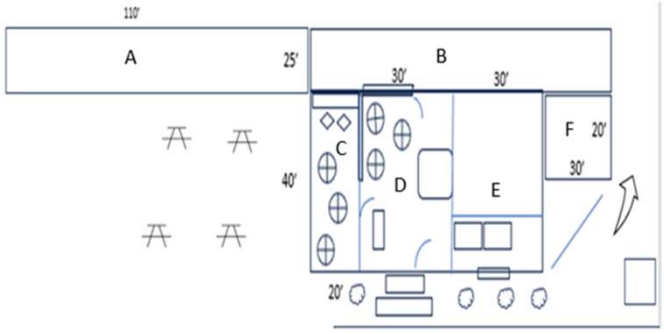
Building #D

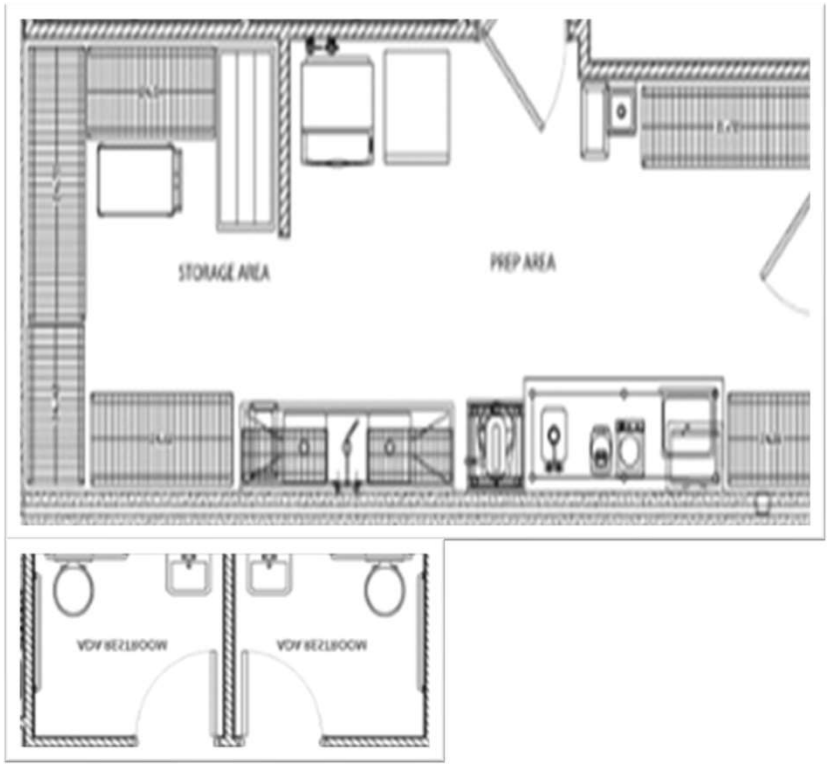
- 30x 40 Main Restaurant/Pro Shop
- 14’H Open format w/22’ btw beams
- =1200sqft



Building #E

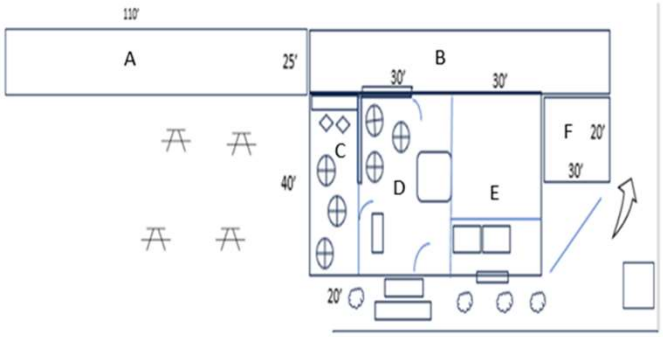
- 30x 40 Kitchen/BoH
- 14’H Open format w/22’ btw beams
- =1200sqft

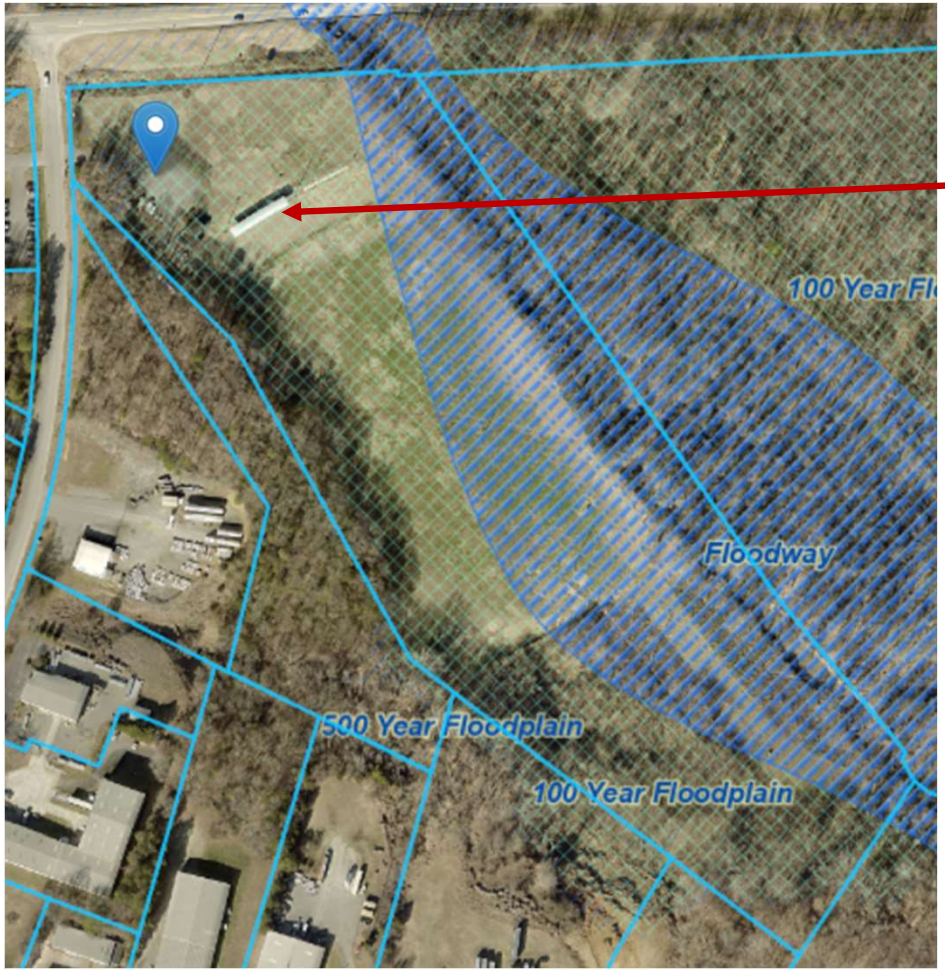




Building #F

- 20x 30 Lean-to style w/o roll up door
- 8’H Open format
- =1200sqft
- Corrugated Steel specs (thickness & types?)





The floodway portion of the property will not be disturbed. We intend to work with the City to ensure the lean-to buildings are developed above the AE 100-year Floodplain elevation.

WARREN C COLEMAN BLVD S
570
560
590
630
2772
2782

Woodspring Suites (CN-PSA-2023-00090)

503 Dickens PL. NE.

DRC	Entitled	Units	PRS Routed	Technically Approved
No	Yes	48,660 sf hotel with 122 rooms	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	No	No	No

Allocation Request

Total	2024
21,350	**21,350**

Office	Small Area Plan	Part of Approved Mixed Use	Annexation (Not ED)	Logistics/Distribution	Total
0	0	0	0	0	0

Brief Summary

The applicant is proposing to construct a 122-room hotel. This parcel is zoned General Commercial (C-2).

Nonresidential

CN-PSA-2023-00090

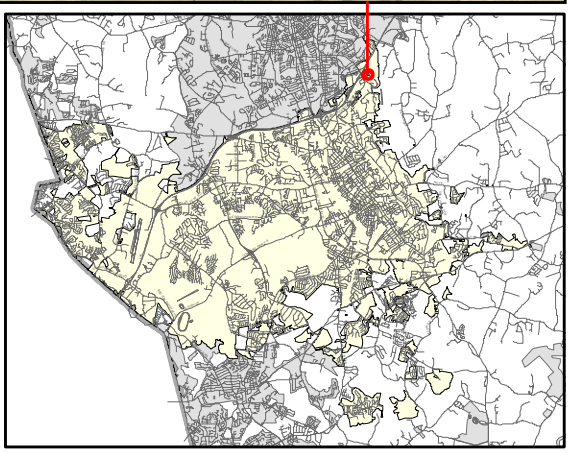
Type: Nonresidential

48,6660 sf hotel with 122 rooms

Allocation Request: 21,350

Project Score: 0

Developments
Parcels
Rivers
Concord
Cabarrus County



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	Project Title:	Woodspring Suites					
2.)	Description of project location:	Site located on Dickens Place NE, approx 0.16 miles NE of the intersection of Dickens Place NE and Copperfield Blvd. NE (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####)					
3.)	Cabarrus County Parcel Identification Number:	5622-87-5801	3a.)	Parcel Acreage:	2.227 ac		
4.)	Site Zoning and use:	C-2, Commercial	5.)	Area Commercial or Industrial Building (sq. ft.)	48,660		
6a.)	Description of Facility to be served.	Hotel	6b.) Number of Lots	1	6c.) Number of Units	122	
7d.)	Additional description information:	Hotel with 122 rooms with in-room kitchens and a lobby					

B. Applicant Information

The Orange Group LLC , (Title) (**Name** of **legal owner**, **board**, **council**, and/or **authorized official with title**; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	999 Ravenswood Road NE (Applicant's Street or Box Number)
Aakash Barodia (**Name of Applicant's company, city, town, corporation, sanitary district, water company or other** defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	Concord, NC 28025 (Applicant's City, State, Zip Code)
252-412-8800 (Applicant's Phone Number)	 (Applicant's Facsimile Number)
Kate Underwood, PhD, PE (Name) kate@daylighteng.com (Email) (Name with Title and Email of contact person, who can answer questions about application)	aakash@kaihotelgroup.com (Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

Kate Underwood , PhD, PE (Typed name of North Carolina Professional Engineer)	Daylight Engineering (Company Name)
033470 (NCPE Registration Number)	P.O Box 1804 (Street or Box Number)
(980) 234-7500 (Phone Number)	Concord, NC, 28026-1804 (City, State, Zip Code)
Kate Underwood, PhD, PE (Name and affiliation of contact person, who can answer questions about **application & designs**)	kate@daylighteng.com (Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

☐	Residential Subdivision	☐	Retail (Stores, shopping centers)
☐	Apartments/Condominiums	☐	Institution
☐	Mobile Home Park	☐	Hospital, nursing home, dental
☐	School, preschool, daycare	☐	Church
☐	Restaurants (Food or drink facilities)	☐	Sports Centers
☑	Hotels or motels	☐	Business, offices, factories
☐	Other (specify):____		

2.) The type of wastewater is (indicate percentage):

	% Domestic
100	% Commercial
	% Industrial
	% Other use (Specify) ____

3.) Pretreatment required:
- (●) No
- ( ) Yes (Specify or attach effluent documentation)

4.) **Volume of wastewater flow to be allocated for this particular project:** 21,350 gallons per day
*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**
(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**
- a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).
- b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{**Flow rates NOT listed in table 15A NCAC 2T .0114** must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)	No. of Units	Flow
Hotel with in-room cooking facilities	175 gal/ room	122 rooms	GPD 21,350
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
		Total	GPD 21,350

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I Aakash Bacodia, **the undersigned, do hereby make application for preliminary wastewater**
(Printed Name)

allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.

Signature: _____ Date: 10/12/23

THE ORANGE GROUP LLC

Dear Concord City Council,

My name is Aakash Barodia and I am the managing member of The Orange Group LLC. We are requesting the City Council to grant us sewer allocation for a 122-room hotel on the corner of Vinehaven and Dickens PL off of Exit 60 on I-85. We have owned this tract of land since 2017.

The members of our company are permanent residents of Concord. My father-in-law, Ghanshyam Patel, purchased his first motel in Concord in 1986 that we still own today. My wife was born and raised in Concord, starting at the original Cabarrus Academy on Union Street to graduating from Concord High. We moved back in 2016 and have since built a house and have 3 and 5 year old boys born at the same hospital as my wife.

Our family is truly born and raised locally and we have no plans of moving anywhere in the future.

The hospitality business is what we are and what we do. We have multiple properties in Virginia and South Carolina but we want to build close to home. We understand you are in a tough position with limited sewer to allocate, but if there is sewer available we strongly feel it should be allocated to our project.

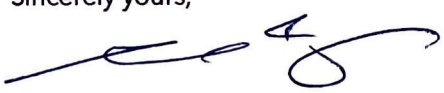
We will create 20+ full-time and part-time long term jobs to our area, hire local contractors during construction phases, and generate hundreds of thousands of dollars in tax revenue annually to Cabarrus County. We will go above and beyond to ensure our hotel is energy efficient and exceeds all standards. There will be pedestrian walkways on all sides of our building and it will aesthetically conform to existing structures in the area.

Our project will be beneficial to the City of Concord because there are no hotels that cater to the traveling nurses, young professionals, and short-term workers that need accommodations in the North Concord area. There is a high demand for this group of travelers and, although the majority of our business will be transient, we will have the facilities to cater to their short-term needs. There will be a ripple effect from all our guests that will flow to gas stations, restaurants, and attractions in the area and it starts with hotels like ours that give guests the comforts of home while being away.

Using current STR Report metrics specific to our local market we have further confirmed that our property is in high demand and will not affect similar properties in our area.

We hope this information will allow the Concord City Council to approve our wastewater flow application.

Sincerely yours,



Aakash Barodia

999 Ravenswood Rd NE, Concord, NC 28025 252-412-8800 aakash@kaihotelgroup.com

COPPERFIELD, INC.
635 – 23 & 8733 – 80
part of pin # 5622 88 3541
ZONE : C–2
MGT # 02 11 13
MGT # 07 02 08

BY GPS READING
6/29/2017
N: 627,897.49
E: 1,528,343.49
NC GRID – NAD(2011)
EX."MAG"NAIL

EX."MAG" NAIL

MH

N 4°47'11" E > 167.08'(T)

71.53'

n.i.p.

S 89°44'02" E > 299.79'

n.i.p.

S 2°30'52" E > 522.51'(T)

NEW IRONS

1'–6" CURB AND GUTTER (TYP.)

8' LANDSCAPE BUFFER

20FT LANDSCAPE BUFFER

216.00'

9.00'

18.00'

24.00'

26.00'

R5.00'

R7.00'

R30.00'

70FT STEM

L1

L2

10' MBS

8 FT LANDSCAPE BUFFER

UTILITY EASEMENT

2.227 Acres

LOT 6

180.00'

BUILDING
48,660 SQ. FT

MBK 87, PG. 08
REVISED PLAT
MBK 40, PG. 34
RECOMBINATION TRACT
PB 2 11 13

60' Public R/W

C27

C1

C2

C3

CP

SIGHT TRIANGLES
10'x70'
and 30'x30'

10' MBS & SW & UTIL. EASEMENT
REF. MBK 40, PG. 34

EX."MAG" NAIL

EXIST.CONC.MONU.

MH

SS

38.35'

R25.00'

R65.00'

R3.00'

202.87'

STORM EASEMENT

30' Permanent Storm
Drainage Easement
MBK 40, PG. 34

135.92'

e.i.r.,1/2"

107.39'

e.i.r.,1/2"

< N 85°17'51" W 96.49'

< N 89°44'06" W

243.31'(T)

EXIST. BROKEN CONC. MONU.

Vinehaven Dr. NE
60' R/W
public

LOT 5A

Rocon, LLC
5186 – 103
pin # 5622 87 4663
ZONE : C–2

COLDWATER COMMERCIAL SUBD. – PH III, LOT 5 MBK 43, PG. 66

LOT 5

North Copper Ridge Associates, LLC
6444 – 126
pin # 5622 87 7539
ZONE : C–2

N

0 20 40.0001 Feet

SITE DATA TABLE

PARCEL PIN: 5622–87–5801

ACREAGE: 2.23 ACRES

EXISTING ZONING: C–2
PROPOSED ZONING: C–2

MAX. BUILDING HEIGHT	48 FT.
SETBACKS:	30' MIN FRONT N/A MAX
MIN. LOT WIDTH	50 FT.
MIN. LOT DEPTH	100 FT.
MAX. IMPERVIOUS RATIO:	0.80

PROPOSED USE: HOTEL
ROOMS – 122

PARKING REQUIREMENT: 1 SPACE PER ROOM + 1 SPACE PER 800 SF OF PUBLIC MEETING AREA AND RESTAURANT SPACE

PARKING SPACES PROVIDED: 127

NOTE: WATER QUALITY AND DETENTION TO BE PROVIDED UNDERGROUND OR ON ADJACENT PROPRTY (TO BE DETERMINED)

NOTE: BUILDING HEIGHT MAY BE INCREASED BY ONE FOOT FOR EACH ONE FOOT OF ADDITIONAL BUILDING SETBACK UP TO A MAXIMUM HEIGHT OF 200 FEET.

REVISION	DATE	DESCRIPTION

WOODSPRING SUITES

SITE LAYOUT PLAN

503 DICKENS PLACE NE, CONCORD, NC 28025
THE ORANGE GROUP, 999 RAVENSWOOD RD NE, CONCORD, NC, 28025
PROJECT NO. 23064
PROJECT MANAGER: KWU

DAYLIGHT ENGINEERING
NCBELS LICENSE: P–2772
57 UNION STREET SOUTH, CONCORD, NC 28025 · (980) 234–7500 · WWW.DAYLIGHTENG.COM

ENGINEERS SEAL

PRELIMINARY
NOT FOR
CONSTRUCTION
10/16/2023

C200

COLOR SCHEDULE:

- A — COLOR: SW7012 "CREAMY" PPG
- B — COLOR: SW6120 "BELIEVABLE BUFF" PPG
- C — COLOR: SW7594 "CARRIAGE DOOR" PPG
- D — COLOR: SW7026 "GRIFFIN" PPG

NOTE TO DESIGNER:
DESERT SCHEME

COLOR SCHEDULE:

- A — COLOR: SW9166 "DRIFT OF MIST" PPG
- B — COLOR: SW7658 "GRAY CLOUDS" PPG
- C — COLOR: SW9152 "LET IT RAIN" PPG
- D — COLOR: SW7076 "CYBERSPACE" PPG

NOTE TO DESIGNER:
COASTAL SCHEME

COLOR SCHEDULE:

- A — COLOR: SW9109 "NATURAL LINEN" PPG
- B — COLOR: SW6201 "THUNDEROUS" PPG
- C — COLOR: SW7644 "GATEWAY GREY" PPG
- D — COLOR: SW7048 "URBANE BRONZE" PPG

NOTE TO DESIGNER:
FOREST SCHEME

COLOR SCHEDULE:

- A — COLOR: SW7004 "SNOWBOUND" PPG"
- B — COLOR: SW7569 "STUCCO" PPG
- C — COLOR: SW9168 "ELEPHANT EAR" PPG
- D — COLOR: SW7675 "SEALSKIN" PPG

NOTE TO DESIGNER:
NEUTRAL SCHEME IS USED AS A BASIS FOR DESIGN, MODIFY COLOR PER REGION

NOTES:

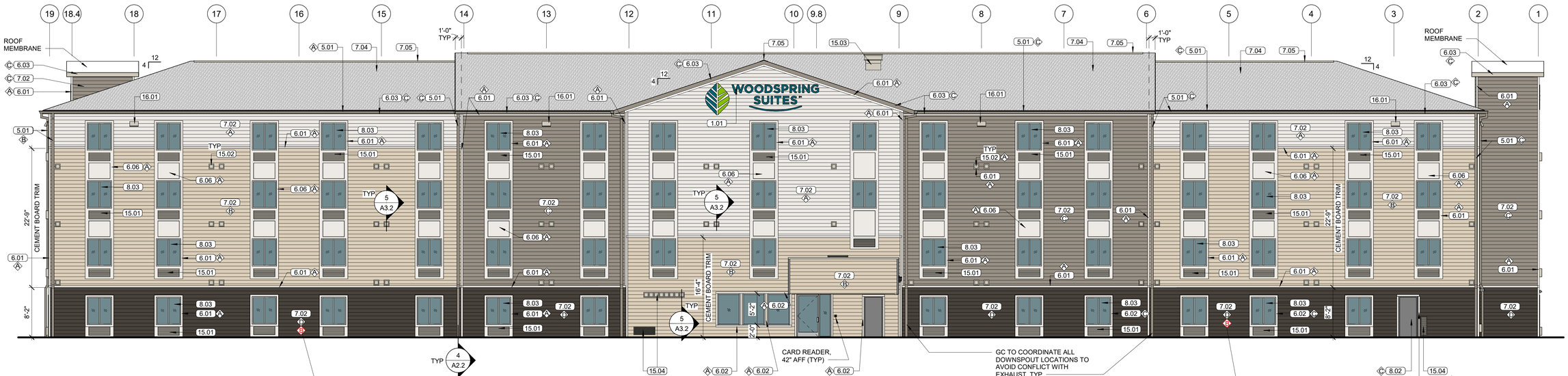
1. GC TO COORDINATE ELECTRICAL ROUGH IN WITH CONTRACTOR AND SIGN VENDOR PRIOR TO DRYWALL.
2. REFER TO SIGN PACKAGE FOR ALL BLOCKING AND MOUNTING DETAILS.
3. ALIGN EXHAUST VENTS BOTH VERTICAL AND HORIZONTAL.
4. EXTERIOR SIGNAGE: OWNER TO COORDINATE WITH SIGN VENDOR AND LOCAL JURISDICTION.
5. GUTTERS, DOWNSPOUTS, PARAPET CAP, AND FLASHING TO BE SELECTED FROM MANUFACTURER'S STANDARD COLORS TO MATCH AS SCHEDULED, SUBMIT FOR APPROVAL.
6. ALL COLOR TRANSITIONS OCCUR AT INSIDE CORNERS NOT OUTSIDE CORNERS.

GENERAL NOTE:
PROVIDE WEATHER BARRIER OVER ALL EXTERIOR SHEATHING PRIOR TO THE INSTALLATION OF ANY EXTERIOR FINISH MATERIAL. INSTALL PER MANUFACTURER'S SPECIFICATIONS AND PROVIDE ALL MANUFACTURER'S ACCESSORIES TO FULLY FLASH AND COUNTER-FLASH AT ALL WINDOWS, DOORS, AND EXTERIOR PENETRATIONS. PROVIDE A WEATHER TIGHT BARRIER AT ALL SURFACES. COORDINATE FLASHING WITH WINDOW, DOOR, VENT, ETC. MANUFACTURER'S FOR A WEATHER TIGHT SEAL AT ALL OPENINGS.

KEYNOTE LEGEND

1.01	SIGNAGE BY OWNER; UNDER SEPARATE PERMIT, COORDINATE BLOCKING WITH SIGN MANUFACTURER
5.01	ALUMINUM GUTTERS AND DOWNSPOUTS
6.01	CEMENT BOARD TRIM: 5/4"x4"/ EIFS TRIM: 2-1/2"x4"
6.02	CEMENT BOARD TRIM AT STONE: 5/4"x4"
6.03	CEMENT BOARD TRIM FASCIA
6.06	CEMENT BOARD PANEL
7.02	7" EXPOSURE CEMENT BOARD LAP SIDING: SEE COLOR SCHEDULE
7.04	COMPOSITION SHINGLES
7.05	RIDGE VENT: REF SHEET A1.3 FOR DETAILS
8.02	HOLLOW METAL DOOR
8.03	SLIDING WINDOW, TYP.: SEE SPECS
15.01	THRU-WALL PTAC
15.02	MECHANICAL LOUVERS: REF MECH. DWGS. PAINT TO MATCH ADJACENT
15.03	ELEVATOR VENT THRU ROOF, REF 4/A1.3
15.04	MECHANICAL LOUVERS: REF MECH. DWGS. MILL ALUMINUM FINISH
16.01	LIGHT WALL PACK, MOUNT 35'-0" TO CENTER OF FIXTURE, REF ELEC. DWGS.

NOTE TO DESIGNER:
REVISE KEYNOTES PER PROJECT



2 REAR ELEVATION
1/8" = 1'-0"

1 FRONT ELEVATION
1/8" = 1'-0"

NOTE: THIS SHEETS IS INTENDED TO BE PRINTED IN COLOR FOR CLARITY.

5/23/2023 4:25:59 PM

brr

Architect of Record:
BRR Architecture, Inc.

8131 METCALF AVE,
SUITE 300
OVERLAND PARK, KS 66204

www.brrarch.com

Tel: 913-262-9095
Fax: 913-262-9044

Consultants

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Issues & Revisions

NO.	DATE	DESCRIPTION

Project Name

WoodSpring Suites

Project Address

Address, City, ST ZIP

WOODSPRING SUITES
CHOICE HOTELS

Drawn By: Author
Checked By:

Document Date: MM/DD/YY
Protocycle: WSS_v5_2023.1 (05/05/23)
Bulletins Through: WSS_v2_808

Project No. XXXXXXXX

Professional Seal

NOT FOR CONSTRUCTION

Sheet Title

EXTERIOR ELEVATIONS

Sheet No.

A2.1

BRR Original printed on recycled paper

NOTE TO DESIGNER:
REVISE KEYNOTES PER PROJECT

KEYNOTE LEGEND

1.01	SIGNAGE BY OWNER; UNDER SEPARATE PERMIT, COORDINATE BLOCKING WITH SIGN MANUFACTURER
5.01	ALUMINUM GUTTERS AND DOWNSPOUTS
6.01	CEMENT BOARD TRIM: 5/4"x4"/ EIFS TRIM: 2-1/2"x4"
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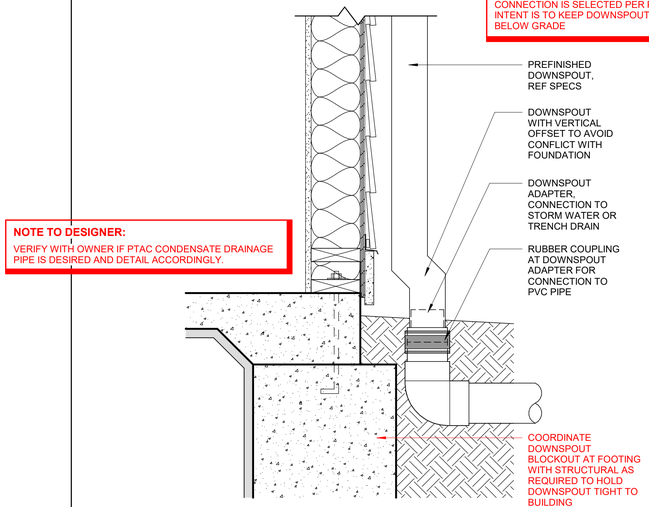
15.03	ELEVATOR VENT THRU ROOF, REF 4/A1.3
16.01	LIGHT WALL PACK, MOUNT 35'-0" TO CENTER OF FIXTURE, REF ELEC. DWGS.

NOTE TO DESIGNER:
VERIFY CONNECTION EITHER TO STORM WATER OR TRENCH DRAIN. LOCATION OF DOWNSPOUT ADAPTER MAY SHIFT UP OR DOWN DEPENDING ON WHICH CONNECTION IS SELECTED PER PROJECT. DESIGN INTENT IS TO KEEP DOWNSPOUT ADAPTER AT OR BELOW GRADE

NOTE TO DESIGNER:
VERIFY WITH OWNER IF PTAC CONDENSATE DRAINAGE PIPE IS DESIRED AND DETAIL ACCORDINGLY.



4 DOWNSPOUT CONNECTION
1 1/2" = 1'-0"

COLOR SCHEDULE:
- A COLOR: SW7012 "CREAMY" PPG
- B COLOR: SW6120 "BELIEVABLE BUFF" PPG
- C COLOR: SW7594 "CARRIAGE DOOR" PPG
- D COLOR: SW7026 "GRIFFIN" PPG

NOTE TO DESIGNER:
DESERT SCHEME

COLOR SCHEDULE:
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- C COLOR: SW9152 "LET IT RAIN" PPG
- D COLOR: SW7076 "CYBERSPACE" PPG

NOTE TO DESIGNER:
COASTAL SCHEME

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- B COLOR: SW6201 "THUNDEROUS" PPG
- C COLOR: SW7644 "GATEWAY GREY" PPG
- D COLOR: SW7048 "URBANE BRONZE" PPG

NOTE TO DESIGNER:
FOREST SCHEME

COLOR SCHEDULE:
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- D COLOR: SW7675 "SEALSKIN" PPG

NOTE TO DESIGNER:
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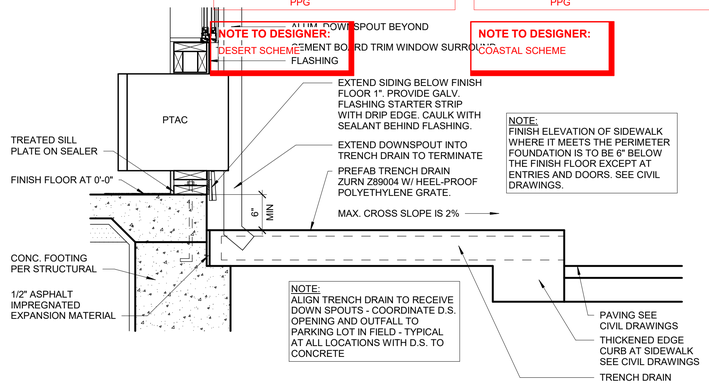
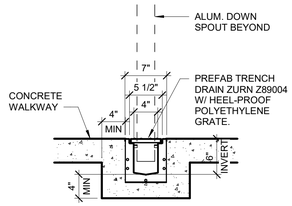
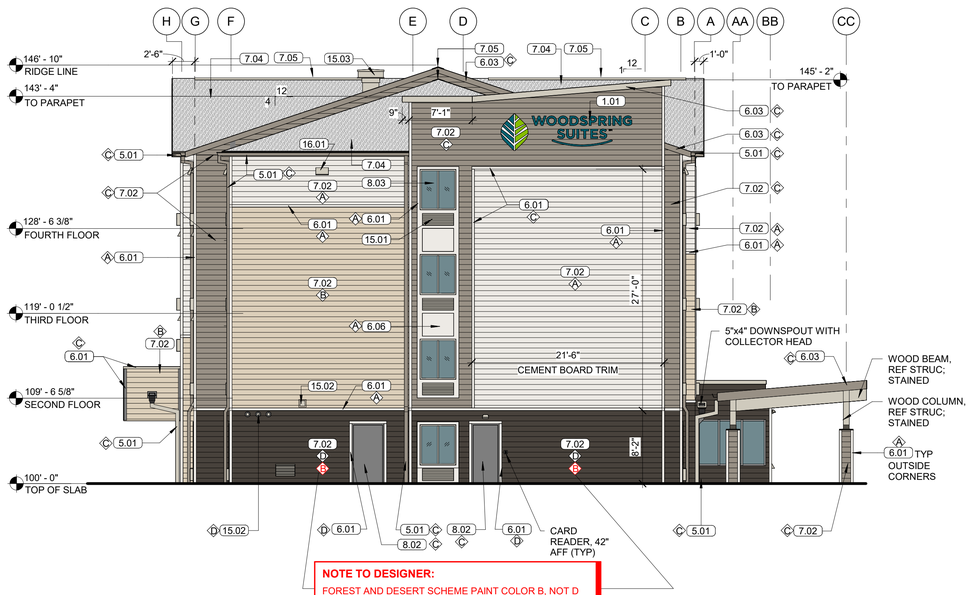


3A BUILDING SILL AT SIDEWALK
1" = 1'-0"



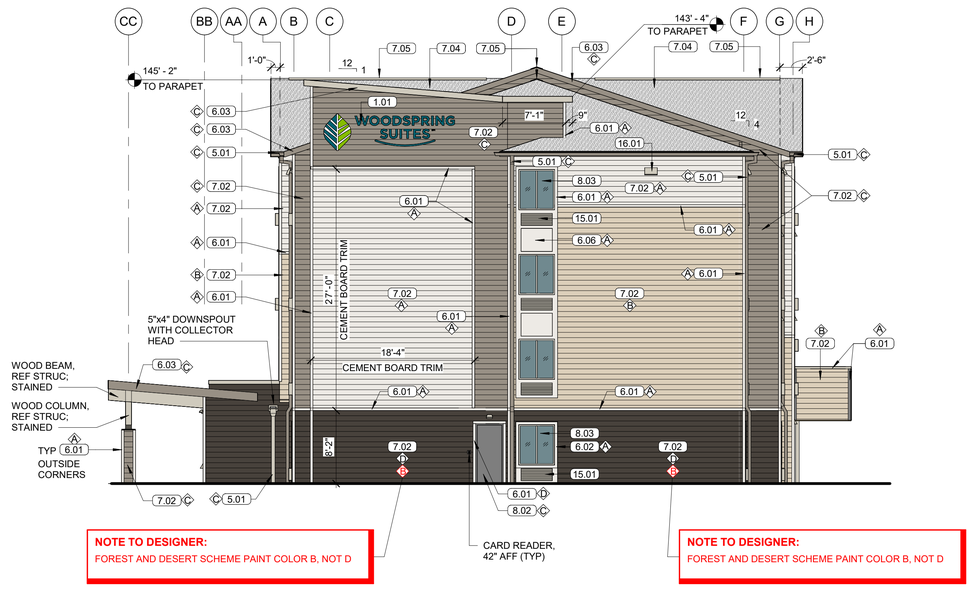
3 PREFAB TRENCH DRAIN SECTION
1" = 1'-0"

NOTE TO DESIGNER:
REMOVE DETAILS 3 AND 3A IF DOWNSPOUTS ARE TIED INTO THE STORM WATER SYSTEM



NOTE TO DESIGNER:
FOREST AND DESERT SCHEME PAINT COLOR B, NOT D

2 LEFT SIDE ELEVATION
1/8" = 1'-0"



NOTE TO DESIGNER:
FOREST AND DESERT SCHEME PAINT COLOR B, NOT D

NOTE TO DESIGNER:
FOREST AND DESERT SCHEME PAINT COLOR B, NOT D

1 RIGHT SIDE ELEVATION
1/8" = 1'-0"

NOTE: THIS SHEETS IS INTENDED TO BE PRINTED IN COLOR FOR CLARITY.

GENERAL NOTE:
PROVIDE WEATHER BARRIER OVER ALL EXTERIOR SHEATHING PRIOR TO THE INSTALLATION OF ANY EXTERIOR FINISH MATERIAL. INSTALL PER MANUFACTURER'S SPECIFICATIONS AND PROVIDE ALL MANUFACTURER'S ACCESSORIES TO FULLY FLASH AND COUNTER-FLASH AT ALL WINDOWS, DOORS, AND EXTERIOR PENETRATIONS. PROVIDE A WEATHER TIGHT BARRIER AT ALL SURFACES. COORDINATE FLASHING WITH WINDOW, DOOR, VENT, ETC. MANUFACTURER'S FOR A WEATHER TIGHT SEAL AT ALL OPENINGS.

NOTES:
1. GC TO COORDINATE ELECTRICAL ROUGH IN WITH CONTRACTOR AND SIGN VENDOR PRIOR TO DRYWALL.
2. REFER TO SIGN PACKAGE FOR ALL BLOCKING AND MOUNTING DETAILS.
3. ALIGN EXHAUST VENTS BOTH VERTICAL AND HORIZONTAL.
4. EXTERIOR SIGNAGE: OWNER TO COORDINATE WITH SIGN VENDOR AND LOCAL JURISDICTION.
5. GUTTERS, DOWNSPOUTS, PARAPET CAP, AND FLASHING TO BE SELECTED FROM MANUFACTURER'S STANDARD COLORS TO MATCH AS SCHEDULED, SUBMIT FOR APPROVAL.

brr
Architect of Record:
BRR Architecture, Inc.

8131 METCALF AVE, SUITE 300 OVERLAND PARK, KS 66204

www.brrarch.com

Tel: 913-262-9095
Fax: 913-262-9044

Consultants

Copyright Notice
This drawing was prepared for use on a specific site contemporaneously with its issue date and it is not suitable for use on a different project site or at a later time. Use of this drawing for reference or example on another project requires the services of properly licensed architects and engineers. Reproduction of this drawing for reuse on another project is not authorized and may be contrary to the law.

Issues & Revisions

NO.	DATE	DESCRIPTION

Project Name
WoodSpring Suites

Project Address
Address, City, ST ZIP

Drawn By: Author
Checked By:

Document Date: MM/DD/YY
Protocycle: WSS_v5_2023.1 (05/05/23)
Bulletins Through: WSS_v2_B08

Project No.
XXXXXXXX

Professional Seal

NOT FOR CONSTRUCTION

Sheet Title
EXTERIOR ELEVATIONS

Sheet No.
A2.2

BRR Original printed on recycled paper

5/23/2023 4:26:06 PM

Automobile Car Wash (CN-PSA-2023-00092)

10060 Edison Sq. Dr. NW.

DRC	Entitled	Units	PRS Routed	Technically Approved
No	Yes	15,000 sf car wash	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	No	No	No

Allocation Request

Total	2024
1,200	**1,200**

Office	Small Area Plan	Part of Approved Mixed Use	Annexation (Not ED)	Logistics/Distribution	Total
0	0	0	0	0	0

Brief Summary

The applicant is proposing an automobile car wash at this location. This parcel is zoned General Commercial (C-2).

Nonresidential

CN-PSA-2023-00092

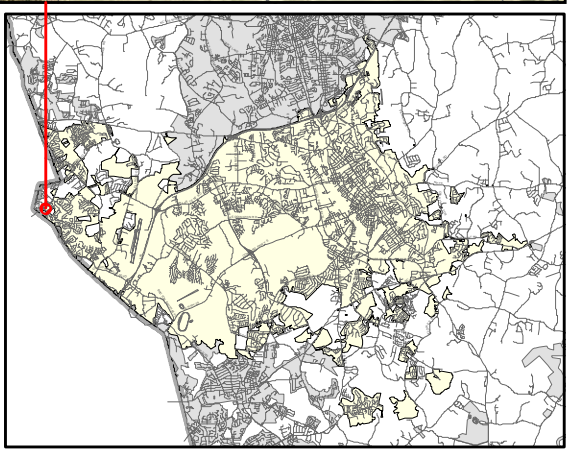
Type: Nonresidential

15,000 sf car wash

Allocation Request: 1,200

Project Score: 0

Developments
Parcels
Rivers
Concord
Cabarrus County



Concord
NORTH CAROLINA

PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	Project Title:	Automobile Car Wash					
2.)	Description of project location:	Site located at the SE corner of Harris Rd & Ellenwood Road (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####))					
3.)	Cabarrus County Parcel Identification Number:	46705557030000	3a.)	Parcel Acreage:	±1.781		
4.)	Site Zoning and use:	C-2	5.)	Area Commercial or Industrial Building (sq. ft.)	15,000		
6a.)	Description of Facility to be served.	automobile car wash	6b.) Number of Lots	1	6c.) Number of Units	1	
7d.)	Additional description information:	automobile car wash facility					

B. Applicant Information

Christopher Harkins owner (Title) (Name of legal owner, board, council, and/or authorized official with title; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	1225 Mercedez Benz Drive (Applicant's Street or Box Number)
TIL Holdings of Texas, LLC (Name of Applicant's company, city, town, corporation, sanitary district, water company or other defined in property records and/or as listed in the NC Secretary of State Corporation filings, as applicable.)	Shreveport, LA 71115 (Applicant's City, State, Zip Code)
(318) 698-5770 (Applicant's Phone Number)	(Applicant's Facsimile Number)
Todd Burns (Name) todd@tixpresswash.com (Email) (Name with Title and Email of contact person, who can answer questions about application)	(Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

Lester A. Barnes (Typed name of North Carolina Professional Engineer)	Benesch (Company Name)
040973 (NCPE Registration Number)	2359 Perimeter Pointe Parkway, Suite 350 (Street or Box Number)
704-521-9880 (Phone Number)	Charlotte, NC 28208 (City, State, Zip Code)
Pamela G. Johnson - Project Manager (Name and affiliation of contact person, who can answer questions about application & designs)	lbarnes@benesch.com (Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

☐	Residential Subdivision	☐	Retail (Stores, shopping centers)
☐	Apartments/Condominiums	☐	Institution
☐	Mobile Home Park	☐	Hospital, nursing home, dental
☐	School, preschool, daycare	☐	Church
☐	Restaurants (Food or drink facilities)	☐	Sports Centers
☐	Hotels or motels	☐	Business, offices, factories
☑	Other (specify): Automobile car wash facility		

2.) The type of wastewater is (indicate percentage):

	% Domestic
100	% Commercial
	% Industrial
	% Other use (Specify) ____

3.) Pretreatment required:

(•) No

( ) Yes (Specify or attach effluent documentation)

4.) **Volume of wastewater flow to be allocated for this particular project:** 1,200 gallons per day

*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**

(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**

a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)	No. of Units	Flow
Car Wash Facility	1200 gal/ bay	1	GPD 1,200
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
		Total	GPD 1,200

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I Todd Burns (Printed Name), **the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.**

Signature: [signature] Date: 10/13/2023

2359 Perimeter Pointe Parkway, Suite 350
Charlotte, NC 28208
www.benesch.com
P 704-521-9880

Sanitary Sewer Allocation Narrative – Automobile Car Wash
Benesch Project #: 17000600.00

October 6, 2023

This sewer allocation application is to support a redevelopment project at 10060 Edison Square Dr. NW, in the City of Concord. (PID # 4670555703) The parcel is currently undeveloped, and the total site area is approximately 1.781 acres. The anticipated development is an Automobile Car Wash Facility. The parcel is currently zoned C-2, which allows development of this type. The parcel is not located within a delineated FEMA floodplain.

The parcel is surrounded on three sides by similar zoning (C-2) and across Harris Road to the north is zoned residential (LDR). The remaining parcels within the immediate surrounding area have all been developed, and now include businesses such as; a medical office building, several restaurants, a gas station, a child care facility and a Veterinarian. Pedestrian connections via sidewalks and crosswalks are existing and surround the undeveloped parcel.

Stormwater management is yet to be determined but will be accomplished by acceptable practices to the extent practical. Post-construction stormwater control measures will be implemented as necessary to comply with local and state detention / water quality ordinances.

New water services are proposed to serve an anticipated Automobile Car Wash Facility. Proposed gravity sanitary sewer services will be discharged into an existing private sewer located along the eastern property boundary. The estimated sewer flow demand associated with this project is approximately 1,200 gallons per day (gpd).

Crown/Concord (Car Wash) (CN-PSA-2023-00093)

945 Concord Pkwy. N.

DRC	Entitled	Units	PRS Routed	Technically Approved
No	Yes	6,000 sf carwash/retail/office/resturant	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	No	No	No

Allocation Request

Total	2024
13,775	**13,775**

Office	Small Area Plan	Part of Approved Mixed Use	Annexation (Not ED)	Logistics/Distribution	Total
0	0	0	0	0	0

Brief Summary

The applicant is proposing to redevelop the existing AutoSudz car wash into a new car wash and potentially a restaurant, retail, and office. The property has been vacant for some time. This parcel is zoned General Commercial (C-2).

CN-PSA-2023-00093

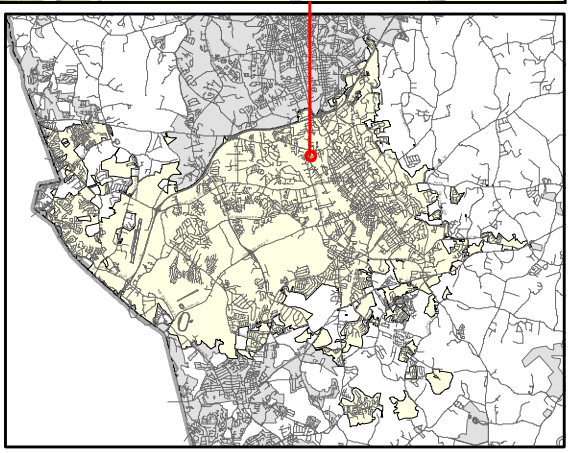
Type: Nonresidential

6,000 sf carwash/retail/office/ restaurant

Allocation Request: 13,775

Project Score: 0

Developments
Parcels
Rivers
Concord
Cabarrus County



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	**Project Title:**	Flow Store Road					
2.)	**Description of project location:**	located at the intersection of US Hwy 601 and Flowes Store Road E (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####)					
3.)	**Cabarrus County Parcel Identification Number:**	5539902295000	3a.)	**Parcel Acreage:**	62.12		
4.)	**Site Zoning and use:**	PUD	5.)	**Area Commercial or Industrial Building**	**(sq. ft.)** 0		
6a.)	**Description of Facility to be served.**	single-family lots	**6b.) Number of Lots**	210	**6c.) Number of Units**	210	
7d.)	**Additional description information:**	includes 9 parcels					

B. Applicant Information

Steve Bailey , President (Title) (**Name** of **legal owner**, **board**, **council**, and/or **authorized official with title**; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	7224 Jameson Way (Applicant's Street or Box Number)
Prestige Corporate Development, PLLC (**Name of Applicant's company, city, town, corporation, sanitary district, water company or other** defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	Stanley, NC 28164 (Applicant's City, State, Zip Code)
704-607-5059 (Applicant's Phone Number)	 (Applicant's Facsimile Number)
Alex Bonda (Name) alex.bonda@pcdllc.net (Email) (Name with Title and Email of contact person, who can answer questions about application)	steve@pcdllc.net (Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

Jonathan A. Carter (Typed name of North Carolina Professional Engineer)	Bluestone Land Management, PLLC (Company Name)
30916 (NCPE Registration Number)	115 Autumn Frost Avenue (Street or Box Number)
704-649-2863 (Phone Number)	Statesville, NC 28677 (City, State, Zip Code)
Jonathan A. Carter (Name and affiliation of contact person, who can answer questions about **application & designs**)	jonathan.carter@bluestonelandmanagement.com (Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

✔	Residential Subdivision		Retail (Stores, shopping centers)
	Apartments/Condominiums		Institution
	Mobile Home Park		Hospital, nursing home, dental
	School, preschool, daycare		Church
	Restaurants (Food or drink facilities)		Sports Centers
	Hotels or motels		Business, offices, factories
✔	Other (specify): Pool/Clubhouse (50gal/100sf/day+10gal per person per day)		

2.) The type of wastewater is (indicate percentage):

100	**% Domestic**
	% Commercial
	% Industrial
	% Other use (Specify) _____

3.) Pretreatment required:

○ No

○ Yes **(Specify or attach effluent documentation)**

4.) **Volume of wastewater flow to be allocated for this particular project**: 65,600 gallons per day

*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**

(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**

a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)			No. of Units	Flow	
Single Family Lots (4-bedrooms)	300	gal/	day	210	GPD	63,000
Pool	10	gal/	day/person	200 people	GPD	2,000
Clubhouse	50	gal/	day/100 sf	1200 sf	GPD	600
		gal/			GPD	
		gal/			GPD	
		gal/			GPD	
				Total	GPD	65,600

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I Steve Bailey (Printed Name), **the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.**

Timothy A. Dockery — Signature:

8.25.2023 — Date:

I own the former AutoSudz Car wash located at 945 Concord Parkway North. It has been vacant for several years, and it is my hope to redevelop this property in 2024. Since this property is located on one of the City's main corridors, I am certain the city would like to see this property occupied and active again. Please consider granting us a sewer allocation so that a redevelopment can occur.

Thank you for your consideration.

Tim Dockery

Nonresidential

Poplar Crossing Commercial (CN-PSA-2023-00095)

311 George W. Liles Pkwy. NW.

DRC	Entitled	Units	PRS Routed	Technically Approved
8/17/2023	Yes	Approx. 9,000 sf single service restaurant and National bank branch	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	No	No	No

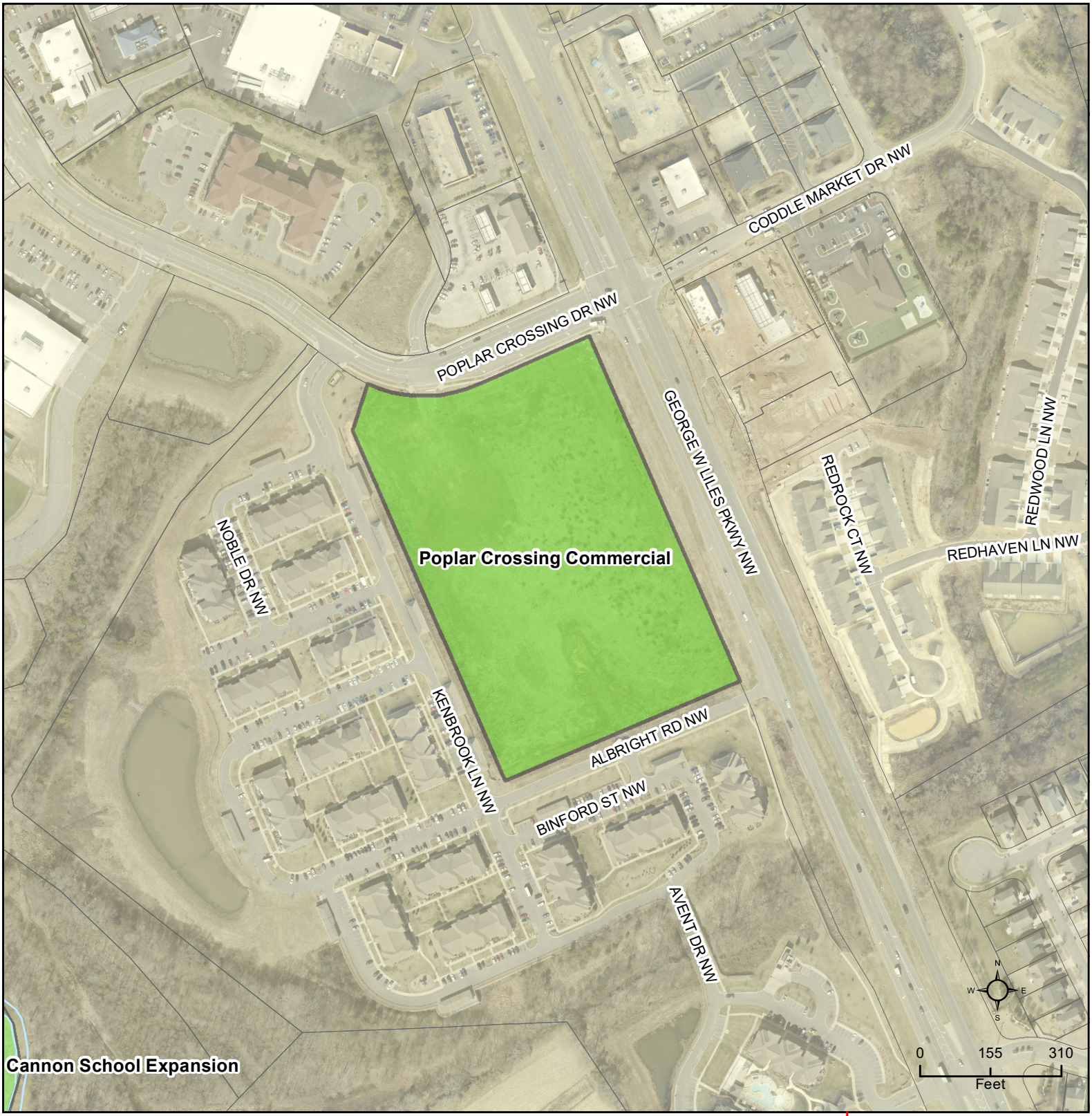
Allocation Request

Total	2024
2,600	**2,600**

Office	Small Area Plan	Part of Approved Mixed Use	Annexation (Not ED)	Logistics/Distribution	Total
0	0	0	0	0	0

Brief Summary

The applicant is proposing to expand the Poplar Crossing development with Phase III. This will include a restaurant along with a national bank branch. This parcel is zoned General Commercial (C-2).



CN-PSA-2023-00095

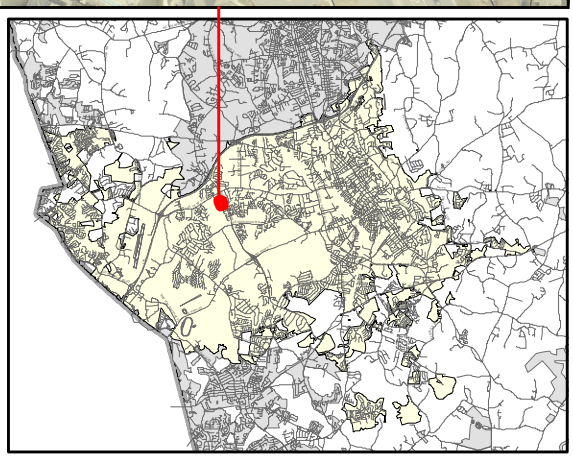
Type: Nonresidential

9,000 sf single service articles resturant & bank

Allocation Request: 2,600

Project Score: 0

Developments
Parcels
Rivers
Concord
Cabarrus County



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	**Project Title:**	Poplar Crossing Commercial					
2.)	**Description of project location:**	3.0+/- acre site at the SW corner of Poplar Crossing Drive and George W. Liles Parkway (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####))					
3.)	**Cabarrus County Parcel Identification Number:**	A portion of 56003795000000	3a.)	**Parcel Acreage:**	Approximately 3.00		
4.)	**Site Zoning and use:**	C-2 Commercial Restaurant and National Bank Branch	5.)	**Area Commercial or Industrial Building (sq. ft.)**	9,000+/-		
6a.)	**Description of Facility to be served.**	Single Service Articles Restaurant and a National Bank Branch	6b.)	**Number of Lots**	2	6c.) **Number of Units**	2
7d.)	**Additional description information:**	Single Service Articles restaurant and National bank branch					

B. Applicant Information

Coble Family Farm LLC, JPN Family LLLP (Title) (**Name** of **legal owner**, **board**, **council**, and/or **authorized official with title**; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	816-G Brawley School Rd. (Applicant's Street or Box Number)
JMS Poplar LLC (**Name of Applicant's company, city, town, corporation, sanitary district, water company or other** defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	Mooresville, NC 28117 (Applicant's City, State, Zip Code)
704-662-0105 (Applicant's Phone Number)	704-662-8753 (Applicant's Facsimile Number)
Scott Needham, Manager (Name) bdc@infionline.net (Email) (Name with Title and Email of contact person, who can answer questions about application)	bdc@infionline.net (Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

Donald L. Munday (Typed name of North Carolina Professional Engineer)	Piedmont Design Associates, P.A. (Company Name)
17327 (NCPE Registration Number)	125 E. Plaza Drive, Suite 101 (Street or Box Number)
704-664-7888 (Phone Number)	Mooresville, NC 28115 (City, State, Zip Code)
John Hart, Piedmont Design Associates, P.A. (Name and affiliation of contact person, who can answer questions about **application & designs**)	dmunday@pdapa.com (Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

☐	Residential Subdivision	☐	Retail (Stores, shopping centers)
☐	Apartments/Condominiums	☐	Institution
☐	Mobile Home Park	☐	Hospital, nursing home, dental
☐	School, preschool, daycare	☐	Church
☑	Restaurants (Food or drink facilities)	☐	Sports Centers
☐	Hotels or motels	☑	Business, offices, factories
☐	Other (specify):____		

2.) The type of wastewater is (indicate percentage):

	% Domestic
100	**% Commercial**
	% Industrial
	% Other use (Specify) ____

3.) Pretreatment required:
- (●) No
- ( ) Yes **(Specify or attach effluent documentation)**

4.) **Volume of wastewater flow to be allocated for this particular project**: 2,600 gallons per day
*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**
(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**

a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)	No. of Units	Flow
Restaurant, Single Service Articles	20 gal/	115	GPD 2,300
Bank, General Business and Office facilities	25 gal/	12	GPD 300
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
		Total	GPD 2,600

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I Scott R. Needham, **the undersigned, do hereby make application for preliminary wastewater**
(Printed Name)

allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.

Scott R. Needham — Signature:

10/16/2023 — Date:

PROJECT NARRATIVE
ADDENDUM TO
PRELIMINARY WASTEWATER FLOW APPLICATION
POPLAR CROSSING COMMERCIAL NEXT PHASE

POPLAR CROSSING is a mixed-use development in the SW quadrant of Poplar Tent Road and George W. Liles Parkway covering approximately 125 acres. Commencing in 1998 with our development of Poplar Crossing Shopping Center, needed retail services were brought to the growing Coddle Creek, western side of the City of Concord. Since 1998 we have expanded the shopping center twice, developed a Senior Living Housing Community and partnered with a charter school to improve traffic distribution with a loop road and new Campus for Cabarrus Charter Academy. In partnership with GCI Residential, 45 acres have been developed into Legacy Concord, a 350 unit apartment home community already nearing full occupancy.

Phase III of Poplar Crossing Commercial will focus on a 3.0+/- acre portion of 10.85 undeveloped acres in the SW quadrant of and at the corner Poplar Crossing Drive and George W. Liles Parkway. This phase will include a Single Service Articles restaurant at 4,500+/-SF and 115 seats, along with a national bank branch at 3,500+/-SF with 8 employees at its highest shift.

Phase III originally was allocated 7,200 gpd sewer capacity in July 2022 for up to 10,000SF for a full-service family-style restaurant, however, the prospective user at the time declined to move forward with the project. This sewer capacity will no longer be utilized and will expire in January 2024. The businesses in this current request will only require sewer capacity for approximately one third of the original approved application with the remainder now being available for the City of Concord to reallocate to other requests.

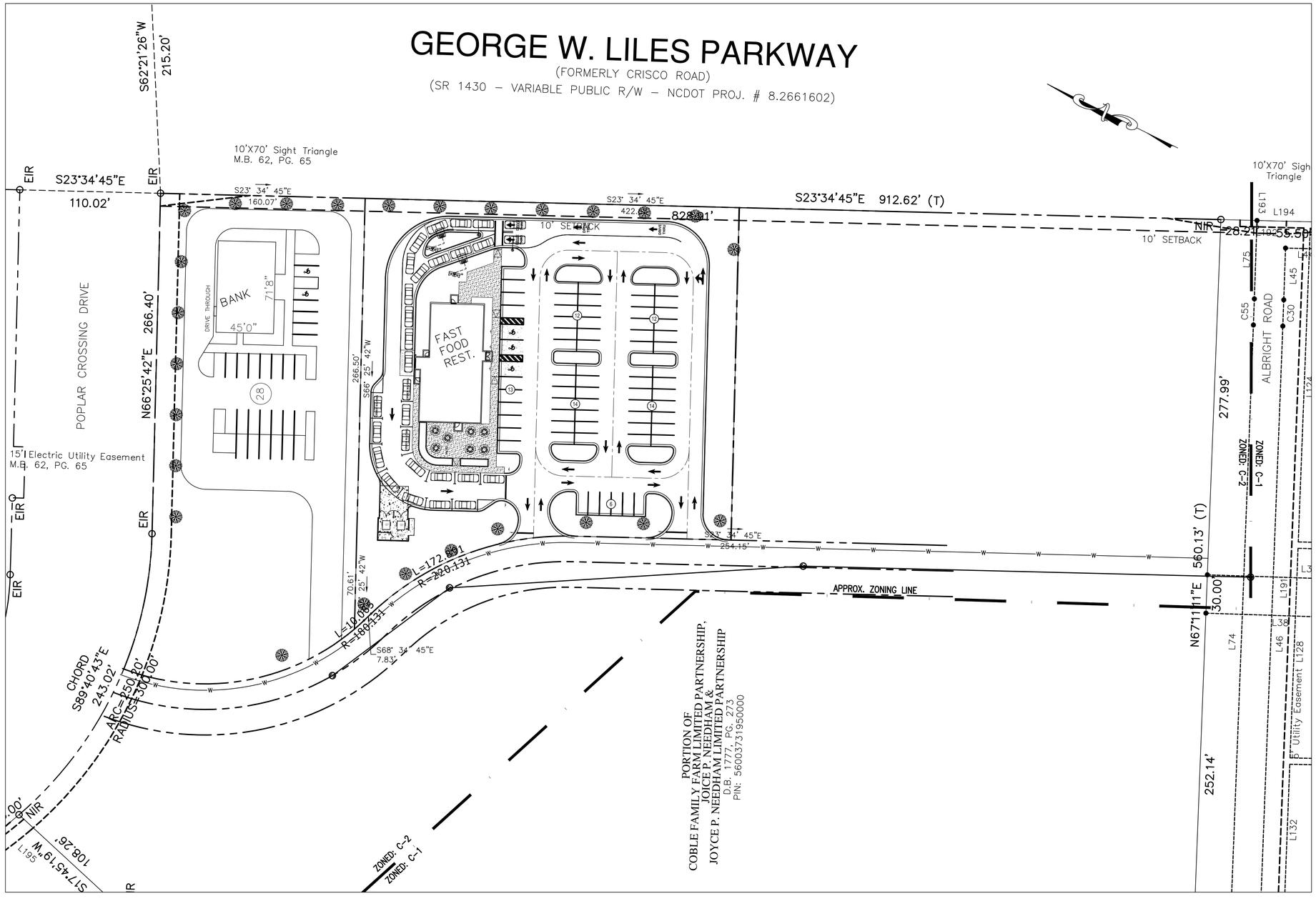
Contracts with the restaurant and bank have been negotiated subject only to availability of sewer capacity and standard contract due diligence approvals. The property is zoned C-2 requiring no rezoning; we have employed the feedback received after our Design Review Committee (DRC) meeting held August 17, 2023, and our preliminary plat designed per the DRC meeting responses, will be complete by mid-October 2023.

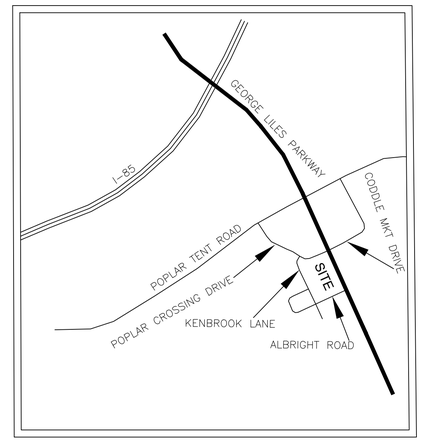
While our shopping center and others in the area offer a variety of unique dining options, a Single Service Articles restaurant catering to a broad range of the area population will be an asset to one of Concord's most desirable growing communities. A national bank branch will offer an additional banking option as well in this growing sector of Cabarrus County.

GEORGE W. LILES PARKWAY

(FORMERLY CRISCO ROAD)

(SR 1430 – VARIABLE PUBLIC R/W – NCDOT PROJ. # 8.2661602)





VICINITY MAP

NOT TO SCALE

Notes:

PIN: 5600-37-9500
Owner: JPN FAMILY LLLP/COBLE FAMILY FARM LLC
Current Zoning: C-2 (Concord)
Watershed: None
Township 2, Poplar Tent
Area: 10.859 acres (GIS)
311 George Liles Parkway NW, Concord, NC 28027
Deed Book 16377 Page 264, Plat Book 68 Page 108
Scale 1"= 40'

GRAPHIC SCALE

0 20 40 80

1 inch = 40 feet

PIEDMONT DESIGN
ENGINEERING / SURVEYING / PLANNING
Associates, P.A.
Suite 101 Westfield Center , 125 East Plaza Drive
Mooresville, North Carolina 28115
Phone:(704) 660-2566 Fax:(704) 660-2776 www.pdapa.com
NCBELS License # C-1007

PREPARED FOR:
REAL ESTATE DEVELOPMENT PARTNERS
711 CENTRAL AVENUE
CHARLOTTE, NC 28204
704-905-6555

PRELIMINARY PLAN
GEORGE LILES RETAIL
GEORGE LILES PARKWAY
CONCORD, NORTH CAROLINA

Preliminary
07/31/2023 7:58:14 AM

REVISIONS	BY

Date: 07/25/23
Scale: 1"=40 FT
NA
Drawn: JHH
Checked: DLM
Project:
Job:
Sheet
P-1
of 1 Sheets

PUBLICATION OR REUSE OF THESE DRAWINGS OR ANY DETAILS WITHIN MUST BE WITH THE WRITTEN CONSENT OF PIEDMONT DESIGN ASSOCIATES, P.A.

Location: Owner: Approved: Date of Issue:

I:\Engineering\1-Projects\2023\George Liles Retail\Revised 03-23\PDA George Liles Retail 072523.dwg, 7/31/2023 7:57:37 AM, DWG To PDF.pc3

Nonresidential

Concord Parkway Retail Development (CN-PSA-2023-00100)

4045 Concord Pkwy. S.

DRC	Entitled	Units	PRS Routed	Technically Approved
5/11/2023	Yes	20,572 sf of car wash restaurant, and medical offices	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	No	No	No

Allocation Request

Total	2024
6,300	**6,300**

Office	Small Area Plan	Part of Approved Mixed Use	Annexation (Not ED)	Logistics/Distribution	Total
0	0	0	0	0	0

Brief Summary

The applicant is proposing to develop four lots into a car wash, restaurant (chipotle), retail, dental/ medical office, Starbuck's, and McDonald's. This parcel is zoned General Commercial (C-2).

CN-PSA-2023-00100

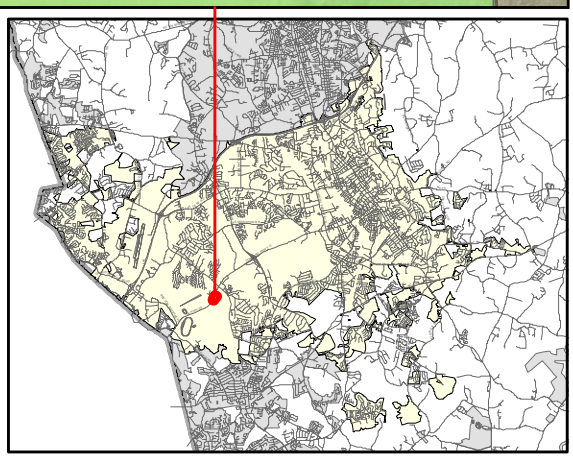
Type: Nonresidential

20,572sf of car wash, restaurant, and medical offices

Allocation Request: 6,300

Project Score: 0

Developments
Parcels
Rivers
Concord
Cabarrus County



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	Project Title:	Concord Parkway Retail Development					
2.)	Description of project location:	Concord Parkway South, Concord, NC 28027 (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####))					
3.)	Cabarrus County Parcel Identification Number:	5509-21-7889-0000	3a.)	Parcel Acreage:	5.26		
4.)	Site Zoning and use:	C-2 Commercial	5.)	Area Commercial or Industrial Building (sq. ft.)	20,572		
6a.)	Description of Facility to be served.	Carwash, Convinience	6b.) Number of Lots	4	6c.) Number of Units	6	
7d.)	Additional description information:	All lots and units are within the parcel.					

B. Applicant Information

BARNHARDT FAMILY ENTERPRISES , Owner (Title) (**Name** of **legal owner**, **board**, **council**, and/or **authorized official with title**; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	100 Magnolia Rd (Applicant's Street or Box Number)
CF Smith Property Group (**Name of Applicant's company, city, town, corporation, sanitary district, water company or other** defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	Pinehurst, NC, 28374 (Applicant's City, State, Zip Code)
910-774-3513 (Applicant's Phone Number)	910-997-2544 (Applicant's Facsimile Number)
Zach Von Rupp Director of Real Estate (Name) zvonrupp@cfsmithpg.com (Email) (Name with Title and Email of contact person, who can answer questions about application)	zvonrupp@cfsmithpg.com (Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

Brian Burchett (Typed name of North Carolina Professional Engineer)	Sambatek (Company Name)
24501 (NCPE Registration Number)	8312 Creedmoor Road (Street or Box Number)
919-398-6517 (Phone Number)	Raleigh, NC 27613 (City, State, Zip Code)
(Name and affiliation of contact person, who can answer questions about **application & designs**)	bburchett@sambatek.com (Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

☐	Residential Subdivision	☑	Retail (Stores, shopping centers)
☐	Apartments/Condominiums	☐	Institution
☐	Mobile Home Park	☐	Hospital, nursing home, dental
☐	School, preschool, daycare	☐	Church
☐	Restaurants (Food or drink facilities)	☐	Sports Centers
☐	Hotels or motels	☐	Business, offices, factories
☐	Other (specify):_____		

2.) The type of wastewater is (indicate percentage):

	% Domestic
100	**% Commercial**
	% Industrial
	% Other use (Specify) _____

3.) Pretreatment required:

◉ No

○ Yes **(Specify or attach effluent documentation)**

4.) **Volume of wastewater flow to be allocated for this particular project**: 9740 gallons per day

*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**

(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**

a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)			No. of Units	Flow	
Car wash facilities	1200	gal/	bay	3	GPD	3600
Restaurant, full Service	40	gal/	seat	18	GPD	720
Medical or dental offices	250	gal/	practitioner/shift	3	GPD	750
Medical or dental offices	250	gal/	practitioner/shift	3	GPD	750
Restaurant, full Service	40	gal/	seat	35	GPD	1400
Restaurant, full Service	40	gal/	seat	63	GPD	2520
				Total	GPD	9740

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I Zach Von Rupp (Printed Name), **the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.**

Zach Von Rupp Digitally signed by Zach Von Rupp Date: 2023.10.16 16:18:28 -04'00' 10.16.23

Signature: Date:

City of Concord Preliminary Wastewater Flow Application

Project Narrative

Project: Proposed commercial development of 5.28 acres zoned C-2 Commercial and located on the west side of Concord Parkway South. Included for reference is the proposed site plan which is comprised of the following proposed uses to be located on four (4) separate parcels of land:

Lot 1

- *Car Wash (3,700 Square Feet)*

    - The proposed car wash use would employ approximately 25 new employees that would include a salaried Manager and Assistant Manager with salaries ranging from $50,000 to $100,000. Employees working at the facility would have an hourly wage between $13 and $20 per hour.
    - As noted in the application, the estimated gallons per day is 3,000 gallons.
    - The estimated investment in this portion of the project is $3,500,000 and the estimated annual sales will be $2,000,000 per year.

Lot 2

- *Restaurant – Chipotle (2,307 Square Feet)*

    - The proposed Chipotle restaurant would employee approximately 20 new employees with 8 employees working each shift. Managers at the location would earn approximately $25.00 per hour with employees making approximately $17.00 per hour.
    - As noted in the application, the estimated gallons per day is 1,400 gallons per day.
    - The estimated investment in this portion of the project will be approximately $3,000,000 with annual sales being estimated between $2.2 and $2.5 million in the initial two years.

- *Retail (3,500 Square Feet)*

    - End user has not yet been finalized for this space, however, the estimated gallons per day for this space is no more than 750 gallons per day and total investment for this portion of the project is estimated to be $2,000,000.
    - Anticipated annual sales for this space is estimated to be between $1.8 and $3.0 million.
    - The anticipated job creation for the Retail space is 10-25 employees with salary ranges from 30,000-125,000.00.

- *Dental/Medical Office (4,000 Square Feet)*

    - End user has not yet been identified for this space, however, the estimated gallons per day for this space is no more than 750 gallons per day and total investment for this portion of the project is estimated to be approximately $3,500,000.
    - The proposed Dental/Medical office is expected to employ 10-20 full time employees with estimated salary range are from 35,000-150,000.

Lot 3

- *Starbuck's (2,575 Square Feet)*

    - The proposed Starbucks would employee between 27-35 employees at this location with an average of 6-8 employees on shift during peak business times. The minimum starting pay rate for all US hourly employees is $15.00 per hour and eligible part-time and full-time employees receive, among other things, comprehensive health coverage (medical, dental and vision), highly competitive 401(k) program with company match and annual Bean Stock grants.
    - As noted in the application, the estimate gallons per day would be 720 gallons per day.
    - The estimated investment in this portion of the project is $3,500,000 and the estimated annual sales from this location is $2.3 million.

Lot 4

- *Drive-Thru Restaurant – McDonald's (3,900 Square Feet)*

    - The proposed McDonald's would employ between 12-15 employees per shift with 20 employees working on peak-hour shifts. The average hourly wage for employees ranges between $12 and $15 per hour.
    - As noted in the application, the estimated gallons per day is 2,520 gallons per day.
    - The estimated investment in this portion of the project is approximately $4,000,000 and the estimated annual sales is between $4.5 and $4.9 million.

The proposed commercial development would bring a host needed services and eating options along a major corridor in Concord. All uses are needed for the development in order to complement each other and to ensure a consistency of development along the corridor.

TOTAL REQUESTED WASTEWATVER ALLOCATION: 9,740 gallons per day

TOTAL INVESTMENT/VALUE FOR DEVELOPMENT: +/- $19,000,000

JOBS CREATED: 140

Estimated RE Tax Value Creation/ Sales Tax Estimate:

Parcel	Est. Property Value	Concord Annual Ad Valorem Tax Estimate	Cabarrus Co. Annual Ad Valorem Tax Estimate	Annual Retail Sales	Jobs Created
McDonald's	$ 4,000,000	$ 19,200	$ 29,600	$ 4,900,000	20
Starbucks	$ 3,500,000	$ 16,800	$ 25,900	$ 2,300,000	35
Multi-Tenant Retail / Restaurant / Medical	$ 8,500,000	$ 40,800	$ 62,900	$ 7,500,000	60
Car Wash	$ 3,000,000	$ 14,400	$ 22,200	$ 2,000,000	25
Total	$ 19,000,000	$ 91,200	$ 140,600	$ 16,700,000	140

NOTE:
BOUNDARY INFORMATION TAKEN FROM PLAT AND TAX PARCEL MAPS. AN ACTUAL FIELD SURVEY HAS NOT BEEN PERFORMED.

SITE ZONING: C-2 COMMERCIAL				
SITE AREA: 5.28 ACRES				
	FRONT	RIGHT	LEFT	REAR
BUILDING SETBACKS	10 FEET	NONE	NONE	NONE
LANDSCAPE BUFFERS:	8 FEET	8 FEET	8 FEET	8 FEET
BUILDING HEIGHT:	48 FEET			

PARKING REQUIREMENTS:
CAR WASH: MINIMUM - 1 PER 500 SF OF GROSS FLOOR AREA, INCLUDING WASH BAYS/TUNNELS AND RETAIL AREAS.
MAXIMUM - 1 PER 375 SF OF GROSS FLOOR AREA INCLUDING WASH BAYS/TUNNELS AND RETAIL AREAS.
CONVENIENCE STORE: MINIMUM - 6 PER 1,000 SF OF GROSS FLOOR AREA, PLUS SUFFICIENT STACKING AREA TO ACCOMMODATE 2 VEHICLES PER EACH SIDE OF PUMP ISLAND.
MAXIMUM - 10 PER 1,000 SF, PLUS SUFFICIENT STACKING AREA TO ACCOMMODATE 2 VEHICLES PER EACH SIDE OF PUMP ISLAND.
RESTAURANT: MINIMUM -1 PER EVERY 3 SEATING ACCOMMODATION PLUS SUFFICIENT STACKING AREA TO ACCOMMODATE ANY DRIVE-THROUGH LANE(S).
MAXIMUM - 1 PER 50 SF OF GROSS FLOOR AREA, PLUS SUFFICIENT STACKING AREA TO ACCOMMODATE ANY DRIVE-THROUGH LANE(S).
AUTOMOBILE/BODY SHOP: MINIMUM -1 PER 500 SF OF GROSS FLOOR AREA INCLUDING ALL SERVICE AREAS, PLUS 1 PER EMPLOYEE.
MAXIMUM - 1 PER 375 SF OF GROSS FLOOR AREA INCLUDING ALL SERVICE AREAS, PLUS 1 PER EMPLOYEE.

ANGLE:	90°	60°	45°	ADA
STALL SIZE:	9' X 18'	9' X 18'	9' X 18'	8' X 18'
AISLE DIMENSION:	NOT FOUND			

CONCORD PARKWAY SOUTH
(120' PUBLIC RIGHT-OF-WAY)
PLAT BOOK 49, PAGE 31

CAR WASH
±3,700 SF
24 SPACES

RESTAURANT
±2,397 SF

RETAIL
3,500 SF

DENTAL OFFICE
4,000 SF
78 TOTAL SPACES

STARBUCK'S
2,575 SF
48 SPACES

RESTAURANT
3,900 SF
60 SEATS
40 SPACES

NEW LOT 1
54,053 SF OR 1.24 ACRES

NEW LOT 2
71,309 SF OR 1.63 ACRES

NEW LOT 3
53,277 SF OR 1.22 ACRES

NEW LOT 4
51,435 SF OR 1.18 ACRES

BARNHARDT FAMILY ENTERPRISES
LOT 2
DEED BOOK 16240, PAGE 158
PLAT BOOK 86, PAGE 62
PIN: 5509178890000
TOTAL AREA
5.26 ACRES

N/F
CONCORD HOUSING LLC
LOT 1
DEED BOOK 16240, PAGE 158
PLAT BOOK 86, PAGE 62
PIN: 55091739200000

N/F
GOLDSBORO-SOUTHSTAR HOLDINGS, LLC
DEED BOOK 10813, PAGE 79
PLAT BOOK 64, PAGE 70
PIN: 55092293870000

N/F
GOLDSBORO-SOUTHSTAR HOLDINGS, LLC
DEED BOOK 10813, PAGE 79
PLAT BOOK 64, PAGE 70
PIN: 55093222630000

GRAPHIC SCALE
30 0 15 30 60
1 inch = 30 ft.

REVISIONS									
NO.	DATE	DESCRIPTION	BY
1	02-23-2023	STARBUCK'S COMMENTS	RCN
2	03-03-2023	STARBUCK'S COMMENTS	KL

COMMERCIAL SITE DESIGN
8312 CREEDMOOR ROAD
RALEIGH, NORTH CAROLINA 27615
(919) 848-6021, FAX: (919) 848-3741
WWW.CSITEDESIGN.COM

CLIENT:
C.F. SMITH PROPERTY GROUP
122 ROCKINGHAM ROAD
ROCKINGHAM, NC 28379
PHONE: (91)997-2544

PROPOSED COMMERCIAL DEVELOPMENT
CONCORD PARKWAY SUTH
CONCORD, NORTH CAROLINA

PRELIMINARY SITE PLAN #8

PROJECT NO.	TRC-2302
FILENAME:	TRC2302-PSP8
DRAWN BY:	STH
SCALE:	1" = 30'
DATE:	03-31-2023
SHEET NO.	PSP7

X:\TRC - Tri-City, Inc\2302 - Concord, NC\CAD\SKETCHES\TRC2302-PSP8.dwg, 3/31/2023 1:50:02 PM, TravisH

Nonresidential

Jacobs Crossing Restaurant North (CN-PSA-2023-00102)

3420 Jacobs Crossing Blvd. SW.

DRC	Entitled	Units	PRS Routed	Technically Approved
9/4/2008	Yes	2,500 sf restaurant	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	No	No	No

Allocation Request

Total	2023
1,660	**1,660**

Office	Small Area Plan	Part of Approved Mixed Use	Annexation (Not ED)	Logistics/Distribution	Total
0	0	0	0	0	0

Brief Summary

This proposal is for the current parcel to be subdivided into 5 lots and this project would be on one of the proposed lots. This parcel is zoned General Commercial (C-2).

CN-PSA-2023-00102

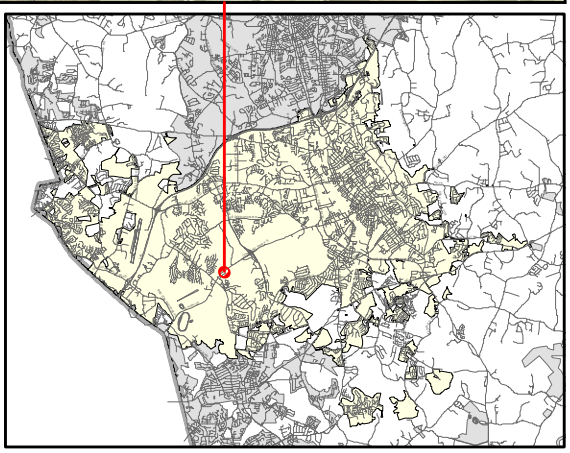
Type: Nonresidential

2,500 sf restaurant

Allocation Request: 1,660

Project Score: 0

Developments
Parcels
Rivers
Concord
Cabarrus County



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	**Project Title:**	Jacobs Crossing Restaurant North					
2.)	**Description of project location:**	Site located on Jacobs Crossing Blvd, approximately 0ft south of the intersection of Jacobs Crossing Blvd and Samuel Adams Circle. (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####))					
3.)	**Cabarrus County Parcel Identification Number:**	55094449700000	3a.)	**Parcel Acreage:**	8.983 ac		
4.)	**Site Zoning and use:**	C-2	5.)	**Area Commercial or Industrial Building**	**(sq. ft.)** 2,500		
6a.)	**Description of Facility to be served.**	Restaurant	**6b.) Number of Lots**	1	**6c.) Number of Units**	NA	
7d.)	**Additional description information:**	This project will be a restaurant on the corner of Jacobs Crossing and Samuel Adams Circle and will be on a portion of this parcel. The anticipated building size is 2,500 sf.					

B. Applicant Information

Brian Edenfield, (Owner) (Title) (**Name of legal owner, board, council**, and/or **authorized official with title**; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	215 Milford Cir. (Applicant's Street or Box Number)
Settlers Landing Commercial, LLC (**Name of Applicant's company, city, town, corporation, sanitary district, water company or other** defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	Mooresville, NC, 28117 (Applicant's City, State, Zip Code)
713-859-6309 (Applicant's Phone Number)	(Applicant's Facsimile Number)
Ross Godwin (Name) rgodwin@bowman.com (Email) (Name with Title and Email of contact person, who can answer questions about application)	edenfield@sbcglobal.com (Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

Matt Lowder (Typed name of North Carolina Professional Engineer)	Bowman North Carolina, Ltd. (Company Name)
24434 (NCPE Registration Number)	4006 Barrett Dr., Suite 104 (Street or Box Number)
919-553-6570 (Phone Number)	Raleigh, NC, 27606 (City, State, Zip Code)
(Name and affiliation of contact person, who can answer questions about **application & designs**)	mlowder@bowman.com (Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

☐	Residential Subdivision	☐	Retail (Stores, shopping centers)
☐	Apartments/Condominiums	☐	Institution
☐	Mobile Home Park	☐	Hospital, nursing home, dental
☐	School, preschool, daycare	☐	Church
☑	Restaurants (Food or drink facilities)	☐	Sports Centers
☐	Hotels or motels	☐	Business, offices, factories
☐	Other (specify):____		

2.) The type of wastewater is (indicate percentage):

100	% Domestic
	% Commercial
	% Industrial
	% Other use (Specify) ____

3.) Pretreatment required:
◉ No
○ Yes **(Specify or attach effluent documentation)**

4.) **Volume of wastewater flow to be allocated for this particular project**: 3320 gallons per day
*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**
(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**

a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{**Flow rates NOT listed in table 15A NCAC 2T .0114** must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)	No. of Units	Flow
Restaurant	40 gal/ seat	83	GPD 3320
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
		Total	GPD 3320

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

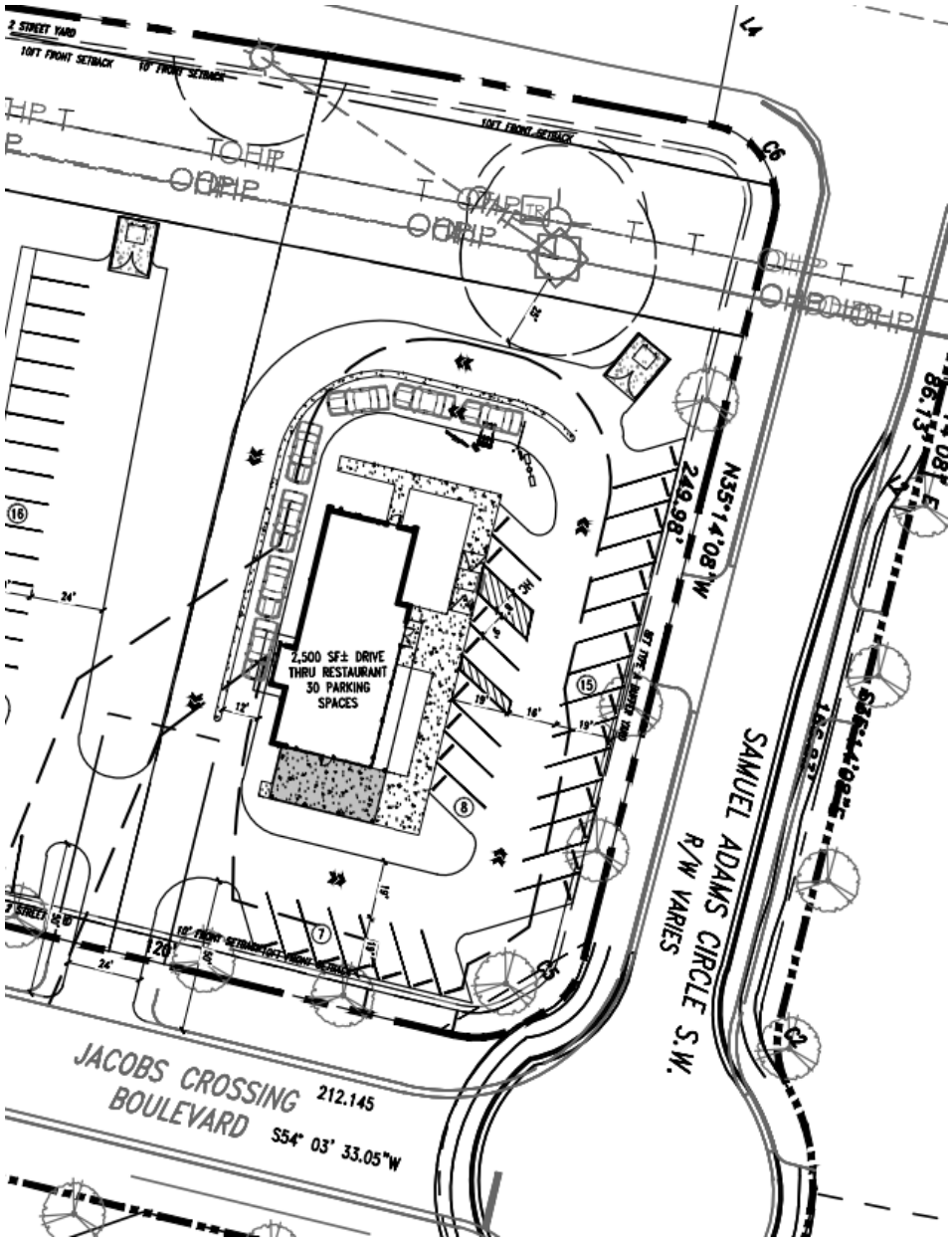
I _ Brian Edenfield _____, **the undersigned, do hereby make application for preliminary wastewater**
(Printed Name)

allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.

Signature: _____ Date: 10·16·23

JACOBS CROSSING RESTAURANT NORTH – PROJECT NARRATIVE

This $750K project located on Jacob's Crossing Blvd. will be on a portion of a 8.98 acre parcel inside the Settlers Landing development near the intersection of Jacobs Crossing and Samuel Adams Circle. The current zoning is C-2. The parcel will be subdivided into 5 lots with this project residing on 1 of the lots. This lot will have a 2,500 square foot building and will be used for a restaurant.



GRAPHIC SCALE
60 0 30 60 120 240
1 INCH = 60 FEET

US HWY 29
120' PUBLIC R/W

OUTPARCEL 4
1.968 AC

OUTPARCEL 5
2.091 AC

OUTPARCEL 6
2.293 AC

OUTPARCEL 7
3.094 AC

JACOBS CROSSING BOULEVARD

SAMUEL ADAMS CIRCLE S.W.

CONCORD SEVEN LLC
DB: 2420 PG: 221
DB: 6070 PG: 276
5509-54-4854

CITY OF CONCORD 50' UTILITY R/W
DB: 3816 PG: 263

SITE DATA

STREET ADDRESS:	JACOBS CROSSING BLVD CONCORD, NC 28027 CABARRUS COUNTY
PIN NUMBER:	55094449700000

2,500 SF± DRIVE THRU RESTAURANT
33 PARKING SPACES

26,400 SF±
90 PARKING SPACES

25,000 SF±
85 PARKING SPACES

20,400 SF±
76 PARKING SPACES

2,500 SF± DRIVE THRU RESTAURANT
30 PARKING SPACES

Bowman

Bowman North Carolina Ltd.
400K BARRETT DR
Suite 101
RALEIGH, NC 27609
Phone: (919)553-6570
bowman.com
Bowman North Carolina Ltd.

JACOBS CROSSING BLVD
CONCORD, NC
CABARRUS COUNTY

PRELIMINARY
DO NOT
USE FOR
CONSTRUCTION

REVISIONS
No. Date Desc.

Drawn
Checked
Approved

Project No. 000000
Date: OCTOBER 12, 2023

Title
CONCEPTUAL
SITE PLAN

Sheet No.
C1.0

Nonresidential

Jacobs Crossing Restaurant South (CN-PSA-2023-00103)

3420 Jacobs Crossing Blvd. SW.

DRC	Entitled	Units	PRS Routed	Technically Approved
9/4/2008	Yes	2,500 sf restaurant	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	No	No	No

Allocation Request

Total	2023
1,660	**1,660**

Office	Small Area Plan	Part of Approved Mixed Use	Annexation (Not ED)	Logistics/Distribution	Total
0	0	0	0	0	0

Brief Summary

This proposal is for the current parcel to be subdivided into 5 lots and this project would be on one of the proposed lots. This parcel is zoned General Commercial (C-2).

CN-PSA-2023-00103

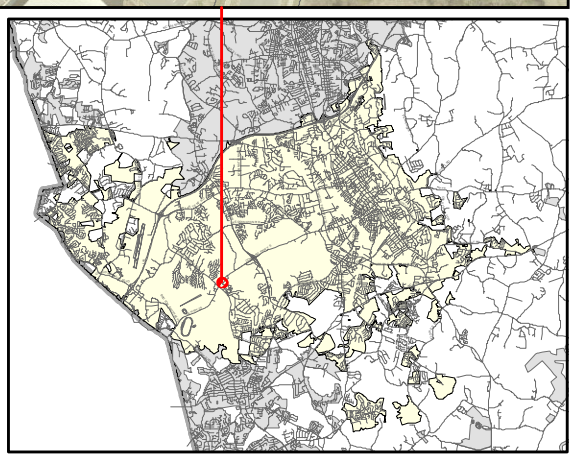
Type: Nonresidential

2,500 sf restaurant

Allocation Request: 1,660

Project Score: 0

Developments
Parcels
Rivers
Concord
Cabarrus County



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	Project Title:	Jacobs Crossing Restaurant South					
2.)	Description of project location:	Site located on Jacobs Crossing Blvd, approximately 0ft north of the intersection of Jacobs Crossing Blvd and Robins Way. (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####))					
3.)	Cabarrus County Parcel Identification Number:	55094449700000	3a.)	Parcel Acreage:	8.983 ac		
4.)	Site Zoning and use:	C-2	5.)	Area Commercial or Industrial Building (sq. ft.)	2,500		
6a.)	Description of Facility to be served.	Restaurant	6b.) Number of Lots	1	6c.) Number of Units	NA	
7d.)	Additional description information:	This project will a restaurant on the corner of Jacobs Crossing and Robins Way and will be on a portion of this parcel. The anticipated building size is 2,500 sf.					

B. Applicant Information

Brian Edenfield, (Owner) (Title)	215 Milford Cir.
(Name of legal owner, board, council, and/or authorized official with title; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	(Applicant's Street or Box Number)
Settlers Landing Commercial, LLC	Mooresville, NC, 28117
(Name of Applicant's company, city, town, corporation, sanitary district, water company or other defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	(Applicant's City, State, Zip Code)
713-859-6309	
(Applicant's Phone Number)	(Applicant's Facsimile Number)
Ross Godwin (Name) rgodwin@bowman.com (Email)	edenfield@sbcglobal.com
(Name with Title and Email of contact person, who can answer questions about application)	(Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

Matt Lowder	Bowman North Carolina, Ltd.
(Typed name of North Carolina Professional Engineer)	(Company Name)
24434	4006 Barrett Dr., Suite 104
(NCPE Registration Number)	(Street or Box Number)
919-553-6570	Raleigh, NC, 27606
(Phone Number)	(City, State, Zip Code)
	mlowder@bowman.com
(Name and affiliation of contact person, who can answer questions about application & designs)	(Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

☐	Residential Subdivision	☐	Retail (Stores, shopping centers)
☐	Apartments/Condominiums	☐	Institution
☐	Mobile Home Park	☐	Hospital, nursing home, dental
☐	School, preschool, daycare	☐	Church
☑	Restaurants (Food or drink facilities)	☐	Sports Centers
☐	Hotels or motels	☐	Business, offices, factories
☐	Other (specify):____		

2.) The type of wastewater is (indicate percentage):

100	% Domestic
	% Commercial
	% Industrial
	% Other use (Specify) ____

3.) Pretreatment required:

◉ No

○ Yes **(Specify or attach effluent documentation)**

4.) **Volume of wastewater flow to be allocated for this particular project**: 3320 gallons per day

*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**

(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**

a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)	No. of Units	Flow
Restaurant	40 gal/ seat	83	GPD 3320
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
		Total	GPD 3320

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I _ Brian Edenfield _____, **the undersigned, do hereby make application for preliminary wastewater**

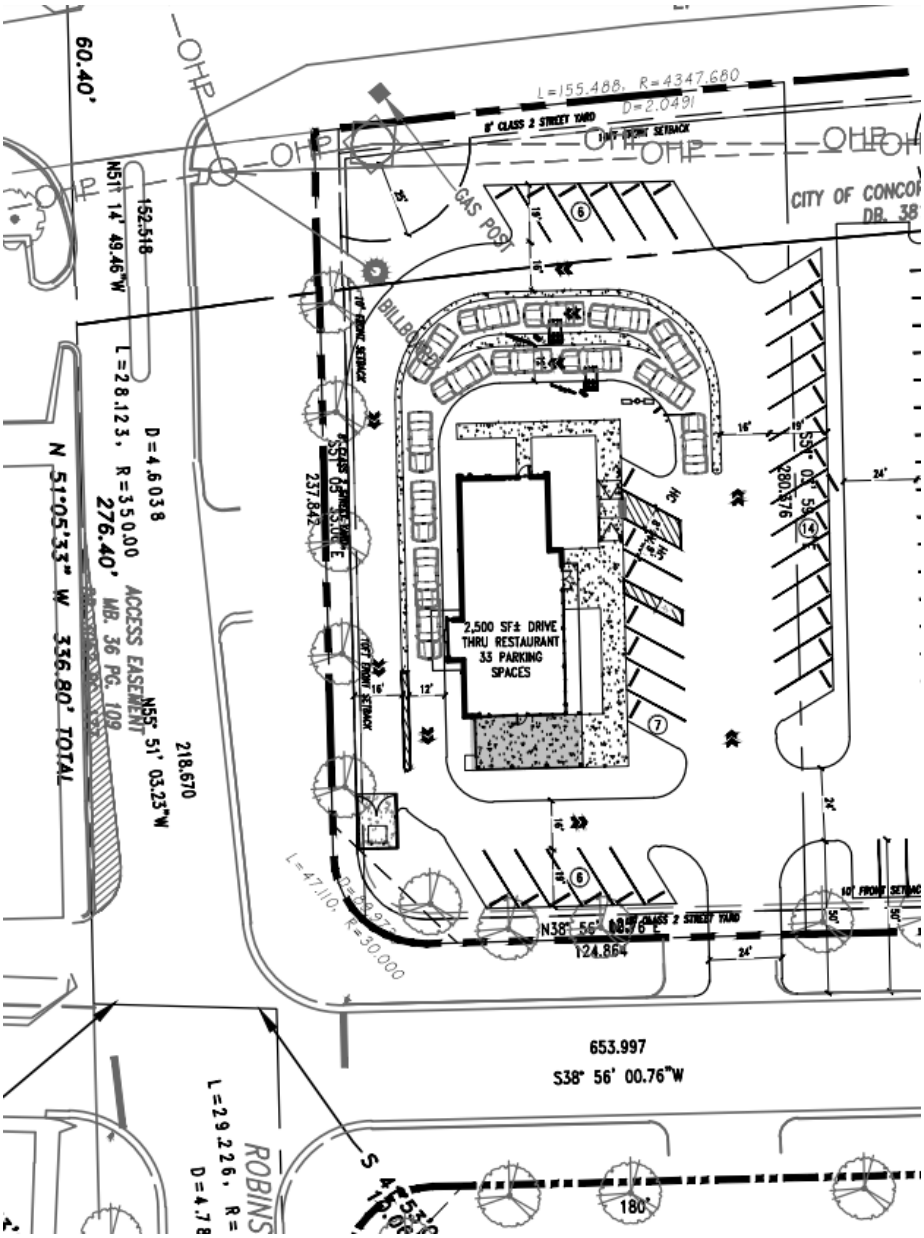
(Printed Name)

allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.

Signature: _____ Date: 10.16.23

JACOBS CROSSING RESTAURANT SOUTH – PROJECT NARRATIVE

This $750K project located on Jacob's Crossing Blvd. will be on a portion of a 8.98 acre parcel inside the Settlers Landing development near the intersection of Jacobs Crossing and Robins Way. The current zoning is C-2. The parcel will be subdivided into 5 lots with this project residing on 1 of the lots. This lot will have a 2,500 square foot building and will be used for a restaurant.



GRAPHIC SCALE

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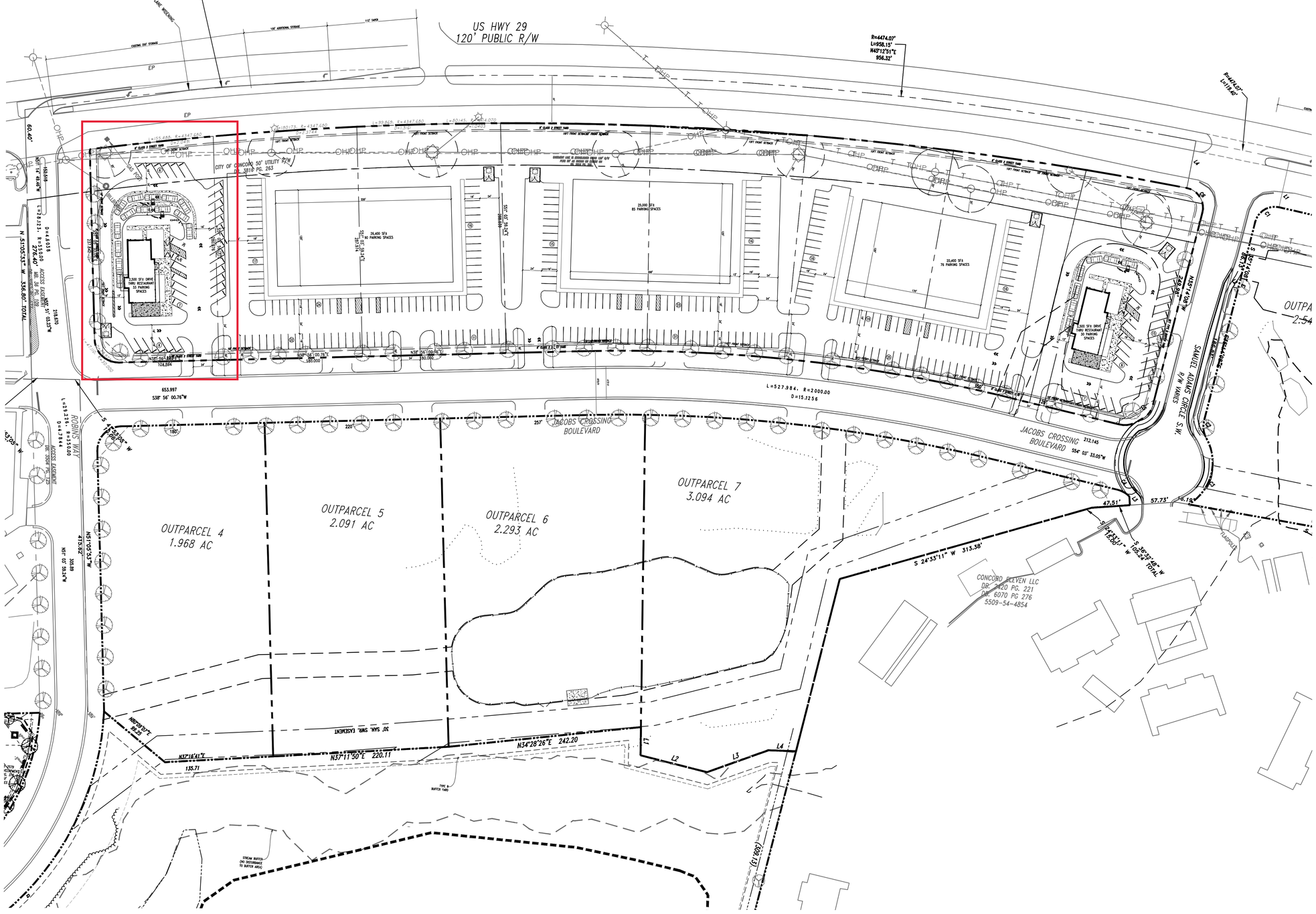
1 INCH = 60 FEET


US HWY 29
120' PUBLIC R/W
JACOBS CROSSING BOULEVARD
SAMUEL ADAMS CIRCLE S.W.
OUTPARCEL 4
1.968 AC
OUTPARCEL 5
2.091 AC
OUTPARCEL 6
2.293 AC
OUTPARCEL 7
3.094 AC
7,500 SF± DRIVE THRU RESTAURANT
33 PARKING SPACES
26,400 SF±
90 PARKING SPACES
25,000 SF±
85 PARKING SPACES
20,400 SF±
76 PARKING SPACES
7,500 SF± DRIVE THRU RESTAURANT
30 PARKING SPACES
CITY OF CONCORD 50' UTILITY R/W
DB. 5816 PG. 263
CONCORD SEVEN LLC
DB. 2420 PG. 221
DB. 6070 PG. 276
5509-54-4854
30' SAN. SWR. EASEMENT
ACCESS EASEMENT
BUFFER TYP.
STREAM BUFFER (NO DISTURBANCE TO BUFFER AREA)
EP
OHP
T
N 51°05'33" W 336.80' TOTAL
S38° 56' 00.76"W 653.997
N37°18'41"E 155.71
N37°11'50"E 220.11
N34°28'26"E 242.20
S 24°33'11" W 315.38'
S 18°43'50" W 47.51'
S 18°24'10" W 57.73'
S 18°24'10" W 76.18'
L=527.984, R=2000.00
D=15.1256
R=4407.97'
L=378.08'
N39°51'57"E
515.78'
R=4474.07'
L=958.15'
N49°12'51"E
956.32'
R=4474.07'
L=119.40'
L=212.145, R=4547.650
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L=80.145, R=4547.650
L=80.145, R=4547.650
L=212.145, R=4547.650
L=212.145, R=4547.650
L=212

Nonresidential

Jacobs Crossing General Office Space #1 (CN-PSA-2023-00104)

3420 Jacobs Crossing Blvd. SW.

DRC	Entitled	Units	PRS Routed	Technically Approved
9/4/2008	Yes	25,000 sf general office space	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	No	No	Yes

Allocation Request

Total	2023
3,125	**3,125**

Office	Small Area Plan	Part of Approved Mixed Use	Annexation (Not ED)	Logistics/Distribution	Total
0	0	0	0	0	0

Brief Summary

This proposal is for the current parcel to be subdivided into 5 lots and this project would be on one of the proposed lots. The lot will have 25,000 square feet of general office space. This parcel is zoned General Commercial (C-2).

CN-PSA-2023-00104

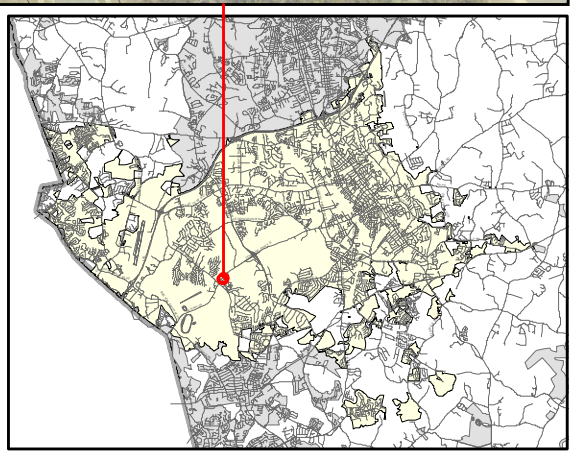
Type: Nonresidential

25,000 sf general office space

Allocation Request: 3,125

Project Score: 0

Developments
Parcels
Rivers
Concord
Cabarrus County



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	Project Title:	Jacobs Crossing General Office Space #1					
2.)	Description of project location:	Site located on Jacobs Crossing Blvd, approximately 360ft north of the intersection of Jacobs Crossing Blvd and Robins Way. (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####))					
3.)	Cabarrus County Parcel Identification Number:	55094449700000	3a.)	Parcel Acreage:	8.983 ac		
4.)	Site Zoning and use:	C-2	5.)	Area Commercial or Industrial Building (sq. ft.)	25,000		
6a.)	Description of Facility to be served.	Business	6b.) Number of Lots	1	6c.) Number of Units	25	
7d.)	Additional description information:	This project will be general office space (potentially medical and/or retail). This project will be on 1 lot (approximately 2.2 acres) on a portion of this parcel. This lot will have a 25,000 sf building with 24 units.					

B. Applicant Information

Brian Edenfield, (Owner) (Title) (Name of legal owner, board, council, and/or authorized official with title; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	215 Milford Cir. (Applicant's Street or Box Number)
Settlers Landing Commercial, LLC (Name of Applicant's company, city, town, corporation, sanitary district, water company or other defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	Mooresville, NC, 28117 (Applicant's City, State, Zip Code)
713-859-6309 (Applicant's Phone Number)	(Applicant's Facsimile Number)
Ross Godwin (Name) rgodwin@bowman.com (Email) (Name with Title and Email of contact person, who can answer questions about application)	edenfield@sbcglobal.com (Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

Matt Lowder (Typed name of North Carolina Professional Engineer)	Bowman North Carolina, Ltd. (Company Name)
24434 (NCPE Registration Number)	4006 Barrett Dr., Suite 104 (Street or Box Number)
919-553-6570 (Phone Number)	Raleigh, NC, 27606 (City, State, Zip Code)
(Name and affiliation of contact person, who can answer questions about application & designs)	mlowder@bowman.com (Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

☐	Residential Subdivision	☐	Retail (Stores, shopping centers)
☐	Apartments/Condominiums	☐	Institution
☐	Mobile Home Park	☐	Hospital, nursing home, dental
☐	School, preschool, daycare	☐	Church
☐	Restaurants (Food or drink facilities)	☐	Sports Centers
☐	Hotels or motels	☑	Business, offices, factories
☐	Other (specify):____		

2.) The type of wastewater is (indicate percentage):

100	% Domestic
	% Commercial
	% Industrial
	% Other use (Specify) ____

3.) Pretreatment required:
- (●) No
- ( ) Yes **(Specify or attach effluent documentation)**

4.) **Volume of wastewater flow to be allocated for this particular project**: 3125 gallons per day
*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**
(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**
- a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).
- b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)	No. of Units	Flow
General Business (5 employees per unit)	25 gal/ employee	125	GPD 3125
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
		Total	GPD 3125

E. Applicant Acknowledgment

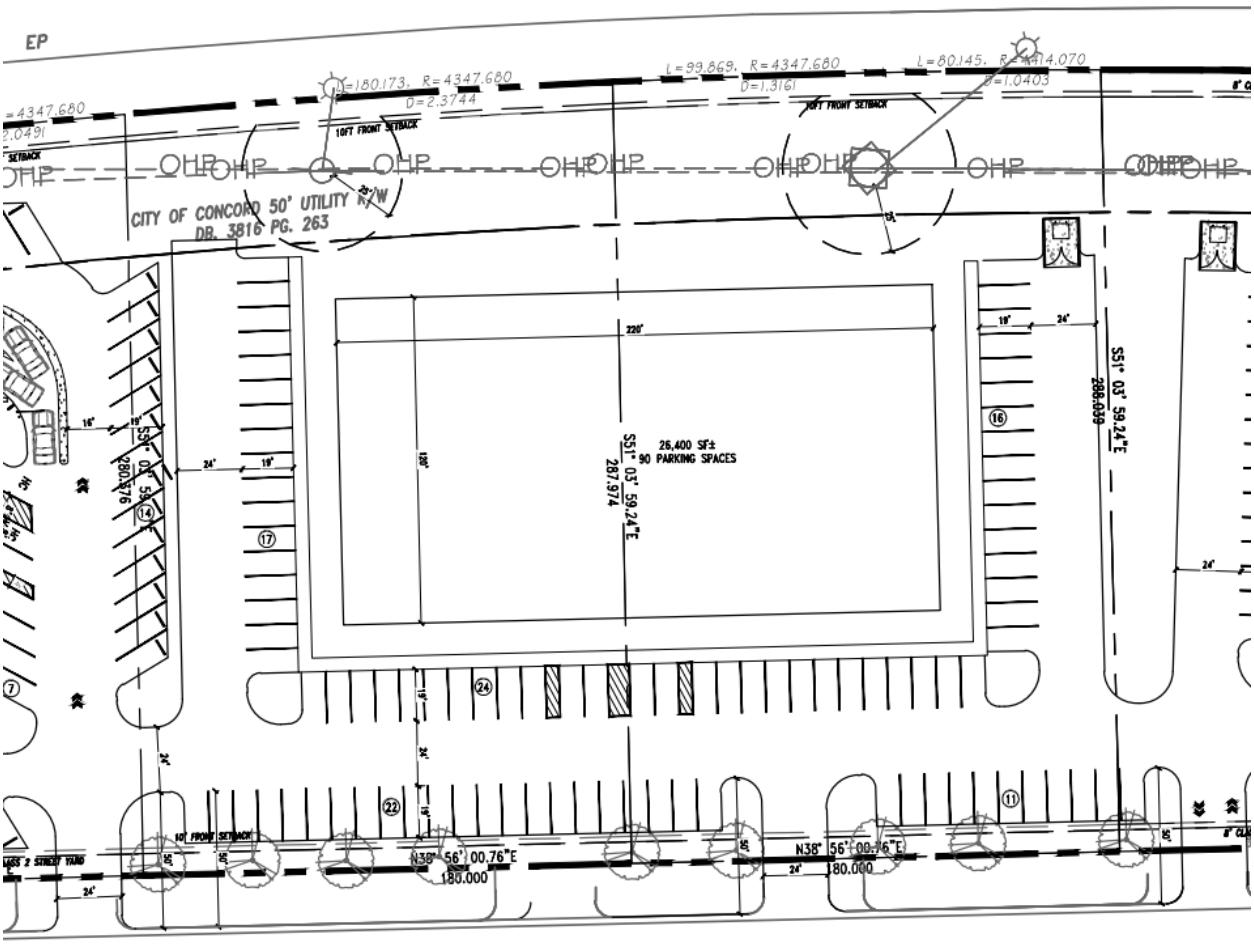
Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I Brian Edenfield (Printed Name), **the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.**

Signature: [signature] Date: 10-16-23

JACOBS CROSSING GENERAL OFFICE #1 – PROJECT NARRATIVE

This $7.5M project located on Jacob's Crossing Blvd. will be on a portion of a 8.98 acre parcel inside the Settlers Landing development near the intersection of Jacobs Crossing and Robins Way. The current zoning is C-2. The parcel will be subdivided into 5 lots with this project residing on 1 of the lots. This lot will have a 25,000 square foot building and will be general office space and potentially for medical and retail.



GRAPHIC SCALE

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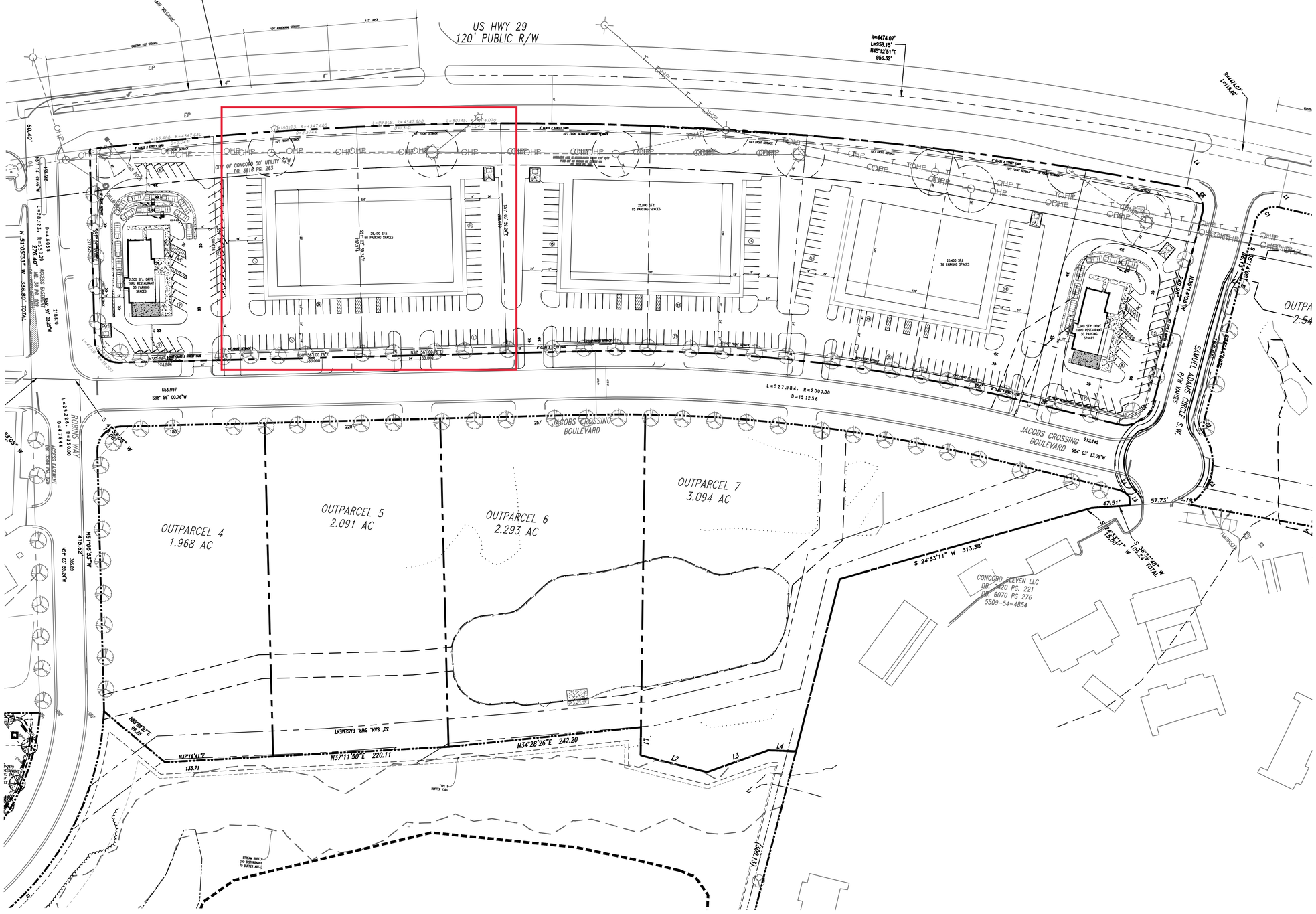
1 INCH = 60 FEET



SITE DATA

STREET ADDRESS:	JACOBS CROSSING BLVD CONCORD, NC 28027 CABARRUS COUNTY
PIN NUMBER:	55094449700000

2,500 SF± DRIVE THRU RESTAURANT
33 PARKING SPACES

26,400 SF±
90 PARKING SPACES

25,000 SF±
85 PARKING SPACES

20,400 SF±
76 PARKING SPACES

2,500 SF± DRIVE THRU RESTAURANT
30 PARKING SPACES

Bowman

Bowman North Carolina Ltd.
400K BARRETT DR
Suite 101
RALEIGH, NC 27609
Phone: (919)553-6570
bowman.com
Bowman North Carolina Ltd.

JACOBS CROSSING BLVD
CONCORD, NC
CABARRUS COUNTY

PRELIMINARY
DO NOT
USE FOR
CONSTRUCTION

REVISIONS

No.	Date	Desc.

Drawn
Checked
Approved

Project No. 000000
Date: OCTOBER 12, 2023

Title

CONCEPTUAL
SITE PLAN

Sheet No.

C1.0

Nonresidential

Jacobs Crossing General Office Space #2 (CN-PSA-2023-00105)

3420 Jacobs Crossing Blvd. SW.

DRC	Entitled	Units	PRS Routed	Technically Approved
9/4/2008	Yes	25,000 sf general office space	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	No	No	Yes

Allocation Request

Total	2023
3,125	**3,125**

Office	Small Area Plan	Part of Approved Mixed Use	Annexation (Not ED)	Logistics/Distribution	Total
0	0	0	0	0	0

Brief Summary

This proposal is for the current parcel to be subdivided into 5 lots and this project would be on one of the proposed lots. The lot will have 25,000 square feet of general office space. This parcel is zoned General Commercial (C-2).

CN-PSA-2023-00105

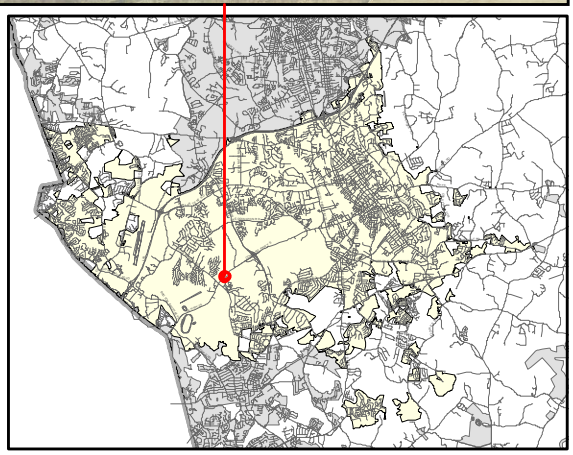
Type: Nonresidential

25,000 sf general office space

Allocation Request: 3,125

Project Score: 0

Developments
Parcels
Rivers
Concord
Cabarrus County



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	Project Title:	Jacobs Crossing General Office Space #2					
2.)	Description of project location:	Site located on Jacobs Crossing Blvd, approximately 730ft north of the intersection of Jacobs Crossing Blvd and Robins Way. (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####))					
3.)	Cabarrus County Parcel Identification Number:	55094449700000	3a.)	Parcel Acreage:	8.983 ac		
4.)	Site Zoning and use:	C-2	5.)	Area Commercial or Industrial Building (sq. ft.)	25,000		
6a.)	Description of Facility to be served.	Business	6b.) Number of Lots	1	6c.) Number of Units	25	
7d.)	Additional description information:	This project will be general office space (potentially medical and/or retail). This project will be on 1 lot (approximately 2.2 acres) on a portion of this parcel. This lot will have a 25,000 sf building with 25 units.					

B. Applicant Information

Brian Edenfield, (Owner) (Title) (Name of legal owner, board, council, and/or authorized official with title; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	215 Milford Cir. (Applicant's Street or Box Number)
Settlers Landing Commercial, LLC (Name of Applicant's company, city, town, corporation, sanitary district, water company or other defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	Mooresville, NC, 28117 (Applicant's City, State, Zip Code)
713-859-6309 (Applicant's Phone Number)	(Applicant's Facsimile Number)
Ross Godwin (Name) rgodwin@bowman.com (Email) (Name with Title and Email of contact person, who can answer questions about application)	edenfield@sbcglobal.com (Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

Matt Lowder (Typed name of North Carolina Professional Engineer)	Bowman North Carolina, Ltd. (Company Name)
24434 (NCPE Registration Number)	4006 Barrett Dr., Suite 104 (Street or Box Number)
919-553-6570 (Phone Number)	Raleigh, NC, 27606 (City, State, Zip Code)
(Name and affiliation of contact person, who can answer questions about application & designs)	mlowder@bowman.com (Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

☐	Residential Subdivision	☐	Retail (Stores, shopping centers)
☐	Apartments/Condominiums	☐	Institution
☐	Mobile Home Park	☐	Hospital, nursing home, dental
☐	School, preschool, daycare	☐	Church
☐	Restaurants (Food or drink facilities)	☐	Sports Centers
☐	Hotels or motels	☑	Business, offices, factories
☐	Other (specify):____		

2.) The type of wastewater is (indicate percentage):

100	% Domestic
	% Commercial
	% Industrial
	% Other use (Specify) ____

3.) Pretreatment required:
◉ No
○ Yes **(Specify or attach effluent documentation)**

4.) **Volume of wastewater flow to be allocated for this particular project**: 3125 gallons per day
*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**
(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**

a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)	No. of Units	Flow
General Business (5 employees per unit)	25 gal/ employee	125	GPD 3125
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
		Total	GPD 3125

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

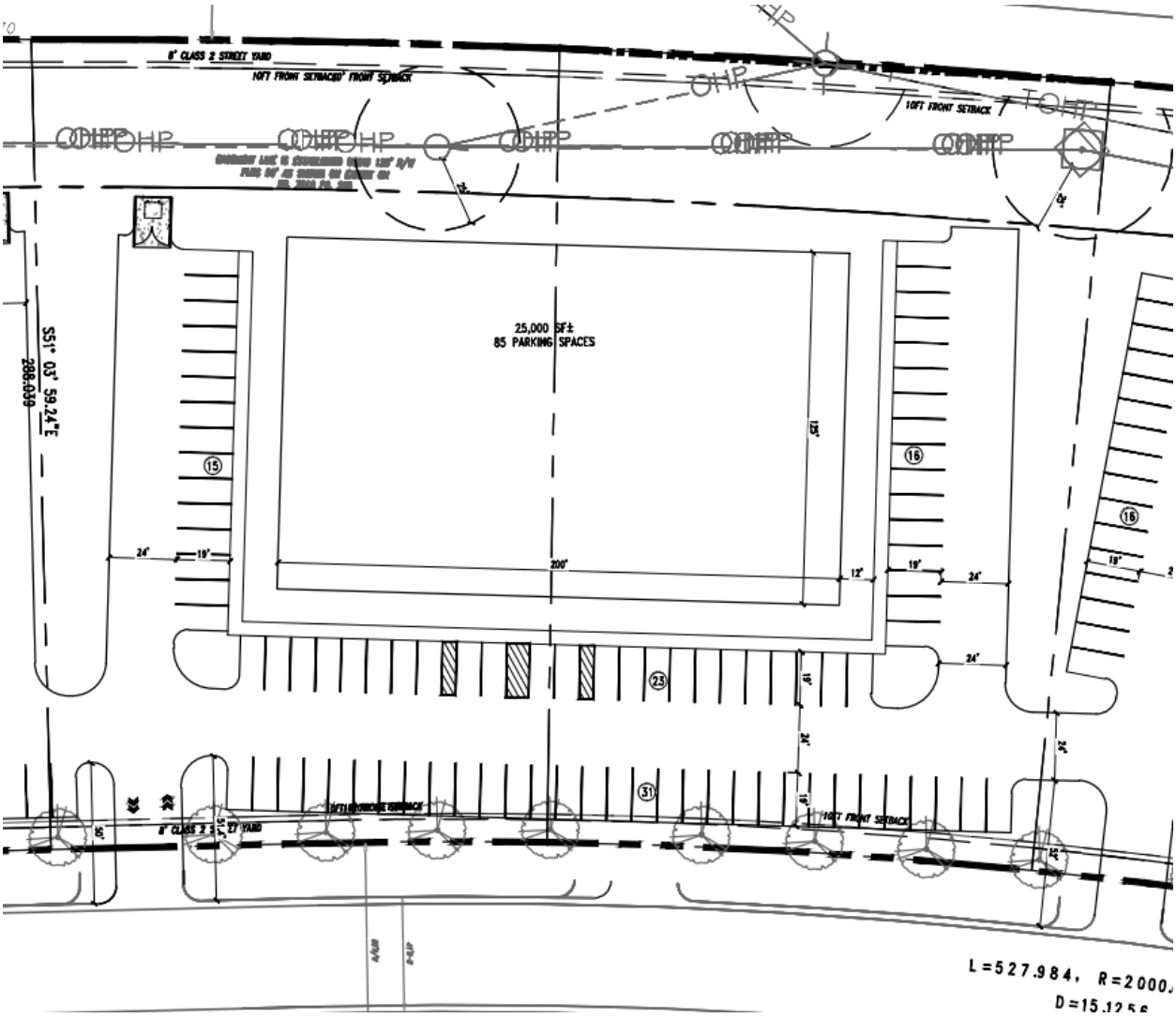
I _ Brian Edenfield _____, **the undersigned, do hereby make application for preliminary wastewater**
(Printed Name)

allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.

Signature: _____ Date: 10·16·23

JACOBS CROSSING GENERAL OFFICE #2 – PROJECT NARRATIVE

This $7.5M project located on Jacob's Crossing Blvd. will be on a portion of a 8.98 acre parcel inside the Settlers Landing development near the intersection of Jacobs Crossing and Robins Way. The current zoning is C-2. The parcel will be subdivided into 5 lots with this project residing on 1 of the lots. This lot will have a 25,000 square foot building and will be general office space and potentially for medical and retail.



GRAPHIC SCALE

60 0 30 60 120 240

1 INCH = 60 FEET

US HWY 29
120' PUBLIC R/W

JACOBS CROSSING BOULEVARD

OUTPARCEL 4
1.968 AC

OUTPARCEL 5
2.091 AC

OUTPARCEL 6
2.293 AC

OUTPARCEL 7
3.094 AC

CONCORD SEVEN LLC
DB: 3420 PG: 221
DB: 6070 PG: 276
5509-54-4854

SITE DATA

STREET ADDRESS:	JACOBS CROSSING BLVD CONCORD, NC 28027 CABARRUS COUNTY
PIN NUMBER:	55094449700000

2,500 SF± DRIVE THRU RESTAURANT
33 PARKING SPACES

26,400 SF±
90 PARKING SPACES

25,000 SF±
85 PARKING SPACES

20,400 SF±
76 PARKING SPACES

2,500 SF± DRIVE THRU RESTAURANT
30 PARKING SPACES

Bowman

Bowman North Carolina Ltd.
400K BARRETT DR
Suite 101
RALEIGH, NC 27609
Phone: (919)553-6570
bowman.com
Bowman North Carolina Ltd.

JACOBS CROSSING BLVD
CONCORD, NC
CABARRUS COUNTY

PRELIMINARY
DO NOT
USE FOR
CONSTRUCTION

REVISIONS		
No.	Date	Desc.

Drawn
Checked
Approved

Project No. 000000
Date: OCTOBER 12, 2023

Title

CONCEPTUAL
SITE PLAN

Sheet No.

C1.0

Nonresidential

Jacobs Crossing General Office Space #3 (CN-PSA-2023-00106)

3420 Jacobs Crossing Blvd. SW.

DRC	Entitled	Units	PRS Routed	Technically Approved
9/4/2008	Yes	20,400 sf general office space	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	No	No	Yes

Allocation Request

Total	2023
2,500	2,500

Office	Small Area Plan	Part of Approved Mixed Use	Annexation (Not ED)	Logistics/Distribution	Total
0	0	0	0	0	0

Brief Summary

This proposal is for the current parcel to be subdivided into 5 lots and this project would be on one of the proposed lots. The lot will have 20,400 square feet of general office space and potentially for medical and retail. This parcel is zoned General Commercial (C-2).

CN-PSA-2023-00106

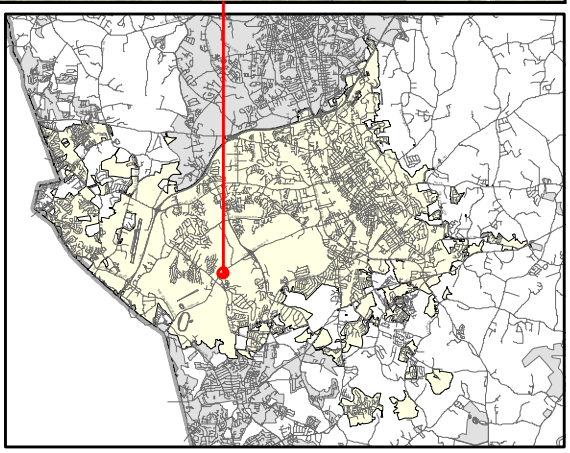
Type: Nonresidential

20,400 sf general office space

Allocation Request: 2,500

Project Score: 0

Developments
Parcels
Rivers
Concord
Cabarrus County



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	Project Title:	Jacobs Crossing General Office Space #3					
2.)	Description of project location:	Site located on Jacobs Crossing Blvd, approximately 340ft south of the intersection of Jacobs Crossing Blvd and Samuel Adams Circle. (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####))					
3.)	Cabarrus County Parcel Identification Number:	55094449700000	3a.)	Parcel Acreage:	8.983 ac		
4.)	Site Zoning and use:	C-2	5.)	Area Commercial or Industrial Building (sq. ft.)	20,400		
6a.)	Description of Facility to be served.	Business	6b.) Number of Lots	1	6c.) Number of Units	20	
7d.)	Additional description information:	This project will be general office space (potentially medical and/or retail). This project will be on 1 lot (approximately 2.2 acres) on a portion of this parcel. This lot will have a 20,400 sf building with 24 units.					

B. Applicant Information

Brian Edenfield, (Owner) (Title) (Name of legal owner, board, council, and/or authorized official with title; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	215 Milford Cir. (Applicant's Street or Box Number)
Settlers Landing Commercial, LLC (Name of Applicant's company, city, town, corporation, sanitary district, water company or other defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	Mooresville, NC, 28117 (Applicant's City, State, Zip Code)
713-859-6309 (Applicant's Phone Number)	(Applicant's Facsimile Number)
Ross Godwin (Name) rgodwin@bowman.com (Email) (Name with Title and Email of contact person, who can answer questions about application)	edenfield@sbcglobal.com (Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

Matt Lowder (Typed name of North Carolina Professional Engineer)	Bowman North Carolina, Ltd. (Company Name)
24434 (NCPE Registration Number)	4006 Barrett Dr., Suite 104 (Street or Box Number)
919-553-6570 (Phone Number)	Raleigh, NC, 27606 (City, State, Zip Code)
(Name and affiliation of contact person, who can answer questions about application & designs)	mlowder@bowman.com (Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

☐	Residential Subdivision	☐	Retail (Stores, shopping centers)
☐	Apartments/Condominiums	☐	Institution
☐	Mobile Home Park	☐	Hospital, nursing home, dental
☐	School, preschool, daycare	☐	Church
☐	Restaurants (Food or drink facilities)	☐	Sports Centers
☐	Hotels or motels	☑	Business, offices, factories
☐	Other (specify):____		

2.) The type of wastewater is (indicate percentage):

100	**% Domestic**
	% Commercial
	% Industrial
	% Other use (Specify) ____

3.) Pretreatment required:
- (●) No
- ( ) Yes **(Specify or attach effluent documentation)**

4.) **Volume of wastewater flow to be allocated for this particular project**: 2500 gallons per day
*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**
(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**

a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)	No. of Units	Flow
General Business (5 employees per unit)	25 gal/ employee	100	GPD 2500
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
		Total	GPD 2500

E. Applicant Acknowledgment

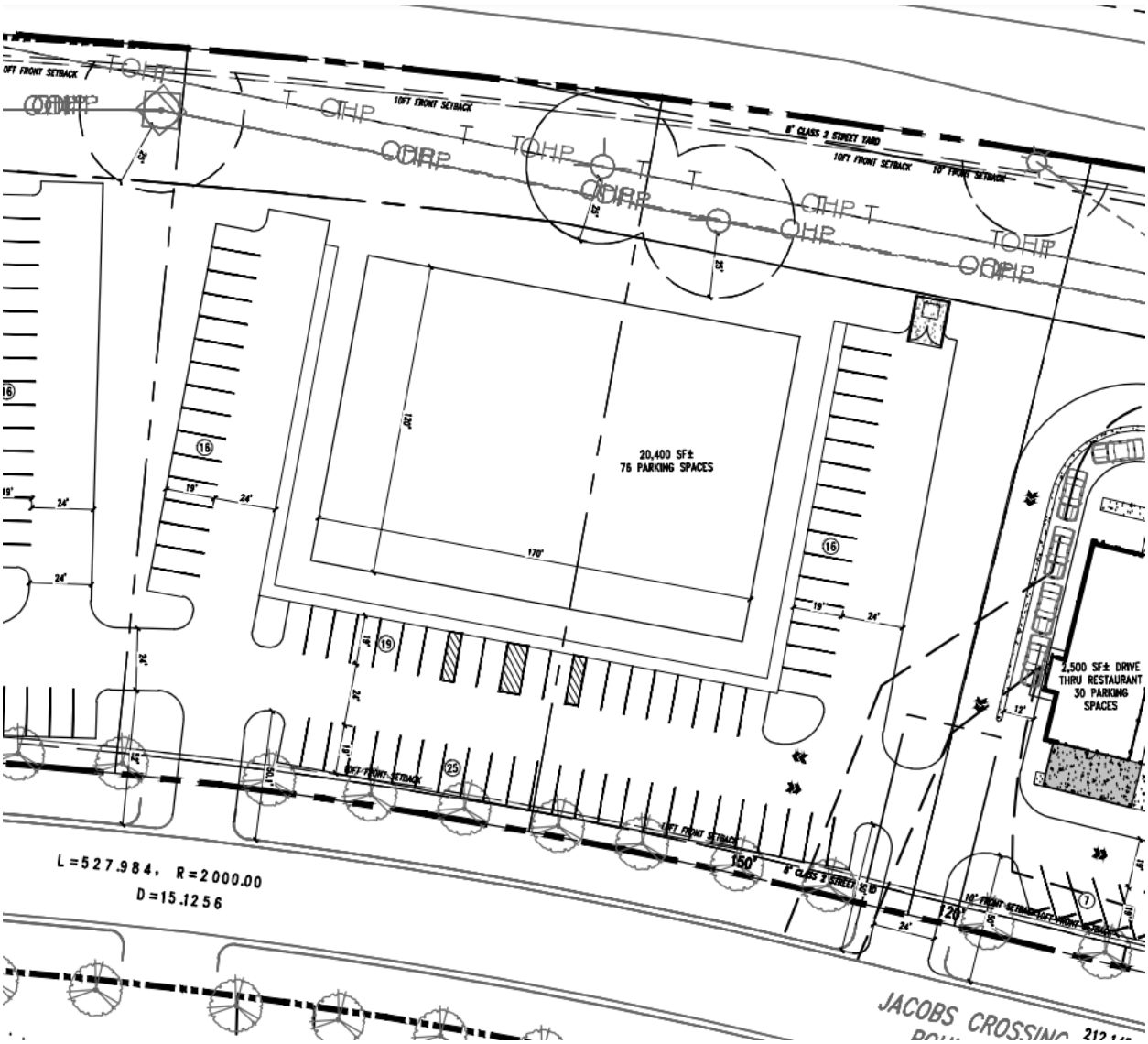
Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I Brian Edenfield (Printed Name), **the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.**

Signature: [signature] Date: 10.16.23

JACOBS CROSSING GENERAL OFFICE #3 – PROJECT NARRATIVE

This $6.1M project located on Jacob's Crossing Blvd. will be on a portion of a 8.98 acre parcel inside the Settlers Landing development near the intersection of Jacobs Crossing and Samuel Adams Circle. The current zoning is C-2. The parcel will be subdivided into 5 lots with this project residing on 1 of the lots. This lot will have a 20,400 square foot building and will be general office space and potentially for medical and retail.



GRAPHIC SCALE

60 0 30 60 120 240

1 INCH = 60 FEET

US HWY 29
120' PUBLIC R/W

R=4407.07'
L=958.15'
N49°12'51"E
956.32'

R=4474.07'
L=178.40'

CITY OF CONCORD 50' UTILITY R/W
DB. 5816 PG. 263

26,400 SF±
90 PARKING SPACES

25,000 SF±
85 PARKING SPACES

20,400 SF±
76 PARKING SPACES

2,500 SF± DRIVE THRU RESTAURANT
33 PARKING SPACES

2,500 SF± DRIVE THRU RESTAURANT
30 PARKING SPACES

L=527.984, R=2000.00
D=15.1256

JACOBS CROSSING BOULEVARD

SHULEY ADAMS CIRCLE S.W.

OUTPARCEL 4
1.968 AC

OUTPARCEL 5
2.091 AC

OUTPARCEL 6
2.293 AC

OUTPARCEL 7
3.094 AC

RODGERS WAY

60.40'

653.997
S38° 56' 00.76"W

N 51°05'33" W 336.80' TOTAL

276.40'

475.52'

305.89

212.145
S54° 03' 33.05"W

47.51'

57.73'

76.18'

S 24°33'11" W 315.38'

S 18°43'50" W

S 18°24'10" W

CONCORD SEVEN LLC
DB. 2420 PG. 221
DB. 6070 PG. 276
5509-54-4854

TURNPOLE

N37°18'41"E 155.71

N37°11'50"E 220.11

N54°28'26"E 242.20

30' SAN. SWR. EASEMENT

STREAM BUFFER
(NO DISTURBANCE
TO BUFFER AREA)

SITE DATA

STREET ADDRESS:	JACOBS CROSSING BLVD CONCORD, NC 28027 CABARRUS COUNTY
PIN NUMBER:	55094449700000

2,500 SF± DRIVE THRU RESTAURANT
33 PARKING SPACES

26,400 SF±
90 PARKING SPACES

25,000 SF±
85 PARKING SPACES

20,400 SF±
76 PARKING SPACES

2,500 SF± DRIVE THRU RESTAURANT
30 PARKING SPACES

Bowman

Bowman North Carolina Ltd.
400A BARRETT DR
Suite 101
RALEIGH, NC 27609
Phone: (919)553-6570
bowman.com
Bowman North Carolina Ltd.

JACOBS CROSSING BLVD
CONCORD, NC
CABARRUS COUNTY

PRELIMINARY
DO NOT
USE FOR
CONSTRUCTION

REVISIONS		
No.	Date	Desc.

Drawn
Checked
Approved

Project No. 000000
Date: OCTOBER 12, 2023

Title

CONCEPTUAL
SITE PLAN

Sheet No.

C1.0

Mixed Use

Berkeley Building- Afton Village (CN-PSA-2023-00096)

5370 Village Dr. NW

DRC	Entitled	Units	PRS Routed	Technically Approved
	Yes	3,237 sf of retail, restaurant, and condo space	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	No	No	No

Allocation Request

Total	2024
2,962	2,962

Project Scoring

Small Area Plan	Vertical Mixed Use	Redevelopment Site	Horizontal Mixed Use	Downtown (MSD)	Located Adjacent to Existing Sewer	Annex.	Total
0	2	0	0	0	1	0	3

Brief Summary

The applicant is proposing a mixed-use development located on Village Drive in the Afton Village Community. The applicant said that this parcel was part of the original planned project that was approved by City Council in the late 1990s. The first floor will be a commercial area and the second story is three one-bedroom condos. The entire design of this project will follow the established pattern of Afton Village.

CN-PSA-2023-00096

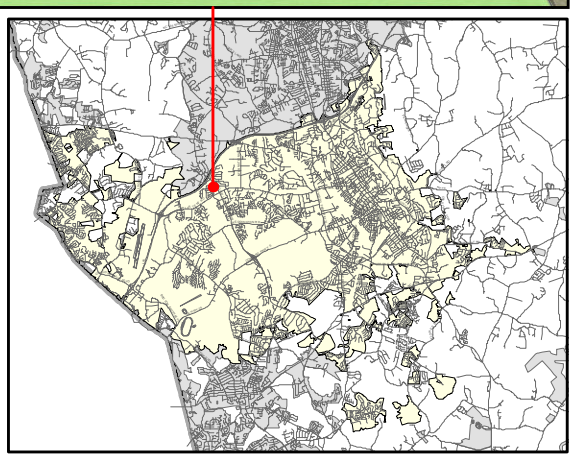
Type: Mixed Use

3,237 sf of retail, resturant, and condo space

Allocation Request: 2,962

Project Score: 3

Developments
Parcels
Rivers
Concord
Cabarrus County



Concord
NORTH CAROLINA

PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	**Project Title:**	Berkeley Building				
2.)	**Description of project location:**	Site located on Village Dr NW approximately 445 feet West of the intersection of Village Dr NW and George W Liles Pkwy (Example: Site located on (Road name) SR #####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR #####) and Road Name (SR ####)				
3.)	**Cabarrus County Parcel Identification Number:**	5601-20-5283-0002	3a.)	**Parcel Acreage:**	0.08 ac Building Pad	
4.)	**Site Zoning and use:**	TND	5.)	**Area Commercial or Industrial Building (sq. ft.)**	3,237	
6a.)	**Description of Facility to be served.**	Vertically Mixed Used Building	**6b.) Number of Lots**	1	**6c.) Number of Units**	
7d.)	**Additional description information:**	Vertically Mixed Use Building Bay Typical AV Configuration in the Afton Village Commercial Area. Sewer and water services approved and installed in 2005				

B. Applicant Information

Mayfield Development Corp (Title) (**Name** of **legal owner**, **board**, **council**, and/or **authorized official with title**; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	5570 Village Drive NW (Applicant's Street or Box Number)
Village Development Co LLC/NCLLC (**Name of Applicant's company, city, town, corporation, sanitary district, water company or other** defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	Concord, NC 28027 (Applicant's City, State, Zip Code)
704-791-8220 (Applicant's Phone Number)	(Applicant's Facsimile Number)
David Mayfield, Manager (Name) dm@mayfielddevelopment.com (Email) (Name with Title and Email of contact person, who can answer questions about application)	dm@mayfielddevelopment.com (Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

Kate Underwood , PhD, PE (Typed name of North Carolina Professional Engineer)	Daylight Engineering (Company Name)
033470 (NCPE Registration Number)	(Street or Box Number)
(980) 234-7500 (Phone Number)	Concord, NC, 28026-1804 (City, State, Zip Code)
Kate Underwood, PhD, PE (Name and affiliation of contact person, who can answer questions about **application & designs**)	kate@daylighteng.com (Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

☐	Residential Subdivision	☑	Retail (Stores, shopping centers)
☑	Apartments/Condominiums	☐	Institution
☐	Mobile Home Park	☐	Hospital, nursing home, dental
☐	School, preschool, daycare	☐	Church
☑	Restaurants (Food or drink facilities)	☐	Sports Centers
☐	Hotels or motels	☐	Business, offices, factories
☐	Other (specify):____		

2.) The type of wastewater is (indicate percentage):

8	**% Domestic**
92	**% Commercial**
	% Industrial
	% Other use (Specify) ____

3.) Pretreatment required:
- ◉ No
- ○ Yes **(Specify or attach effluent documentation)**

4.) **Volume of wastewater flow to be allocated for this particular project**: 2,737 gallons per day
*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**
(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**
- a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).
- b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)			No. of Units	Flow	
1st Floor: 2,118 sf Restaurant	40	gal/	seat	40 gal / seat * 60 seats	GPD	2,400
1st Floor: 1,119 sf Shops	100	gal/	1,000 sf floor space	100 gal/ 1,000 sf * 1,119 sf	GPD	112
3rd Floor: Condominiums	75	gal/	bedroom * 1 bedroom	3	GPD	225
		gal/			GPD	
		gal/			GPD	
		gal/			GPD	
				Total	GPD	2,737

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I David Mayfield (Printed Name) **, the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.**

Signature: [signature] Date: 10/13/23

The Berkeley Building

Located along Village Drive next to the Chelsea Building (Afton Pub and Pizza), the Berkeley Building is part of the original "main street" concept for Afton Village as I presented to City Council when the project was originally approved in the late 1990s. While the initial commercial buildings were being constructed in the Village Center 2001-2005, we engineered, had approved and installed the water and sewer services for this site in 2005.

The proposed Berkeley Building is based on the same 3 bay vertical mixed use building plan seen in the Chelsea Building (Afton Pub) and Rearden Building (Afton Tavern). I have modified the elevation slightly to add some diversity to the streetscape, but it is essentially the same format as the two previously mentioned buildings. For the Berkeley Building 1st floor commercial area, we are working with one of our current very successful restaurant operators on a Mexican fusion concept that we are very excited about. This proposal includes two of the three commercial bays, with the third being an independent retail shop.

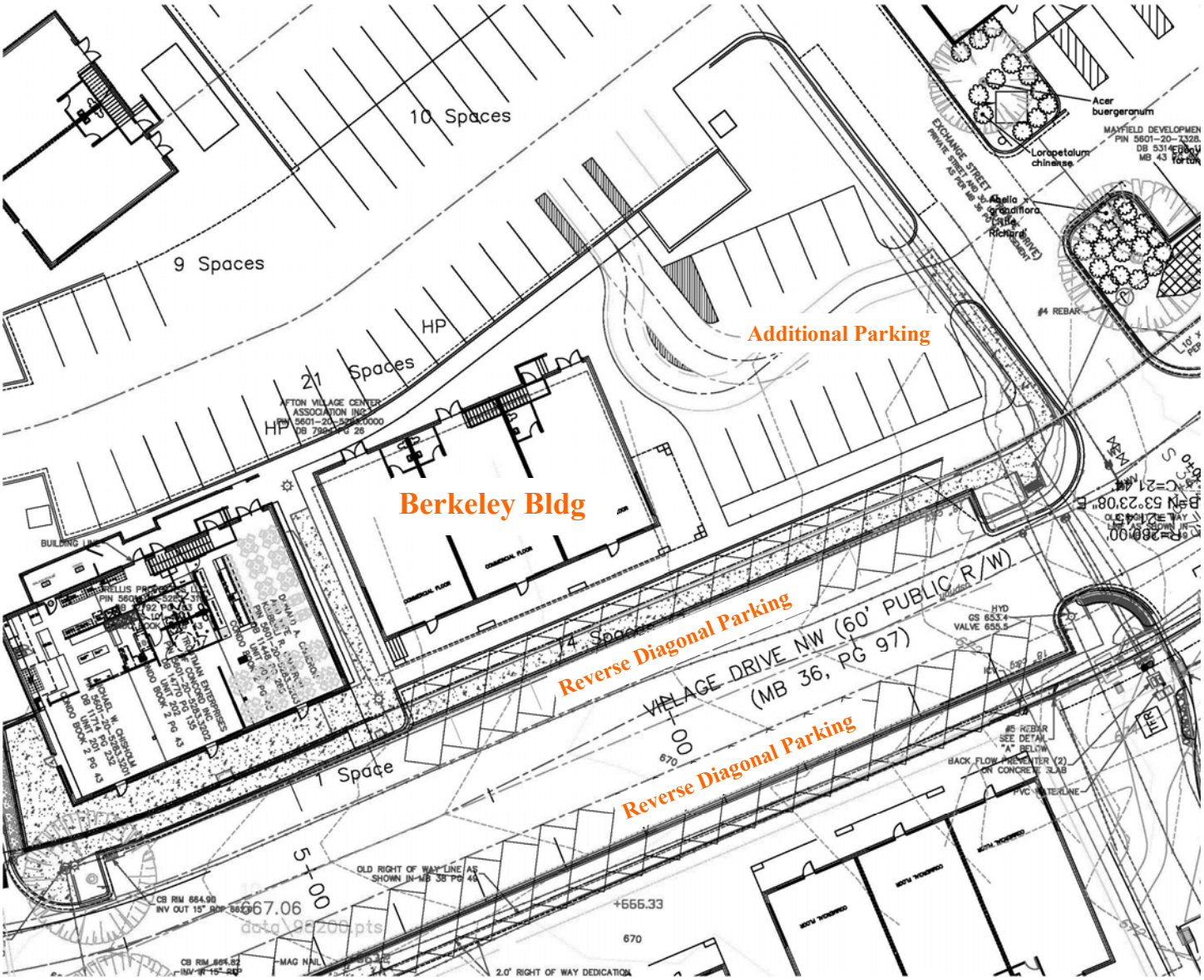
Our approach to our retail tenant mix has always focused on locally owned and operated businesses. I think this strategy contributed to the fact that we didn't lose a single tenant during COVID. We are on site and very engaged with the Village Center merchants, ensuring that they are in-sync with the Concord customer base.

The second story is made up of three one bedroom residential condos, following the same pattern that we used in the Chelsea and Rearden Buildings. We like having residential units (with porches) occupying the commercial area, overlooking and keeping an eye on Village Drive.

3D computer model of the Berkeley preliminary design, showing residential porches above the commercial area below.

*The existing **Chelsea Building** (above) represents the type vertical mixed-use 3 bay building format being proposed for the Berkeley Building shown below… commercial below, residential above.*

*The proposed **Berkeley Building** will add to the character and vitality of the Village Drive streetscape.*



*The proposed **Berkeley Building** Site Plan (above) will complete the north side of this block and help define and give character to the Village Drive streetscape.*

Mixed Use

Carnegie Building- Afton Village (CN-PSA-2023-00097)

5481 Village Dr. NW

DRC	Entitled	Units	PRS Routed	Technically Approved
	Yes	11,031 sf of retail, restaurant, and condo space	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	No	No	No

Allocation Request

Total	2024
1,500	1,500

Project Scoring

Small Area Plan	Vertical Mixed Use	Redevelopment Site	Horizontal Mixed Use	Downtown (MSD)	Located Adjacent to Existing Sewer	Annex.	Total
0	2	0	0	0	1	0	3

Brief Summary

The applicant had intended this to be the focal point of the of all who enter Afton Village when it was originally supposed to be a library. The applicant still plans for this building to be the focal point but is proposing will have 3 commercial spaces on the first floor with condo space on the second floor. The entire design of this project will follow the established pattern of Afton Village.

CN-PSA-2023-00097

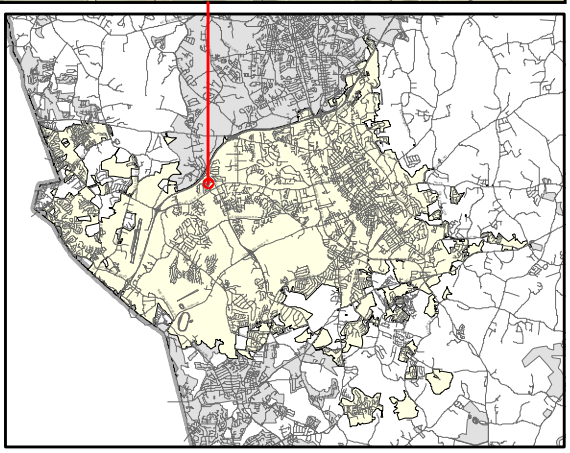
Type: Mixed Use

11,031 sf of office, retail, deli, and condo space

Allocation Request: 1,500

Project Score: 3

Developments
Parcels
Rivers
Concord
Cabarrus County



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	**Project Title:**	Carnegie Building				
2.)	**Description of project location:**	Site located on Village Dr NW approximately 0.17 miles West of the intersection of Village Dr NW and George W Liles Pkwy (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####)				
3.)	**Cabarrus County Parcel Identification Number:**	5600-29-2826	3a.)	**Parcel Acreage:**	0.57 ac	
4.)	**Site Zoning and use:**	TND	5.)	**Area Commercial or Industrial (Total Building SF) Building**	11,031	**(sq. ft.)**
6a.)	**Description of Facility to be served.**	Vertically Mixed Used Building	6b.) **Number of Lots**	1	6c.) **Number of Units**	
7d.)	**Additional description information:**	Vertically Mixed Use Building in the Afton Village Commercial Area. Focal point of the Afton Village commercial area. Worked with Councilman Hector Henry as a proposed site of a Concord Libray Branch. Sewer and water services approved and installed in 2000.				

B. Applicant Information

The Morgan Company of Carolina Inc. , (Title) (**Name** of **legal owner, board, council**, and/or **authorized official with title**; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	5570 Village Drive NW (Applicant's Street or Box Number)
Village Development Co LLC/NCLLC (**Name of Applicant's company, city, town, corporation, sanitary district, water company or other** defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	Concord, NC 28027 (Applicant's City, State, Zip Code)
704-791-8220 (Applicant's Phone Number)	(Applicant's Facsimile Number)
David Mayfield, Manager (Name) dm@mayfielddevelopment.com (Email) (Name with Title and Email of contact person, who can answer questions about application)	(Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

Kate Underwood , PhD, PE (Typed name of North Carolina Professional Engineer)	Daylight Engineering (Company Name)
033470 (NCPE Registration Number)	(Street or Box Number)
(980) 234-7500 (Phone Number)	Concord, NC, 28026-1804 (City, State, Zip Code)
Kate Underwood, PhD, PE (Name and affiliation of contact person, who can answer questions about **application & designs**)	kate@daylighteng.com (Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

☐	Residential Subdivision	☑	Retail (Stores, shopping centers)
☑	Apartments/Condominiums	☐	Institution
☐	Mobile Home Park	☐	Hospital, nursing home, dental
☐	School, preschool, daycare	☐	Church
☑	Restaurants (Food or drink facilities)	☐	Sports Centers
☐	Hotels or motels	☑	Business, offices, factories
☐	Other (specify):____		

2.) The type of wastewater is (indicate percentage):

19	**% Domestic**
81	**% Commercial**
	% Industrial
	% Other use (Specify) ____

3.) Pretreatment required:

◉ No

○ Yes **(Specify or attach effluent documentation)**

4.) **Volume of wastewater flow to be allocated for this particular project**: 1,275 gallons per day

*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**

(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**

a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{**Flow rates NOT listed in table 15A NCAC 2T .0114** must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)			No. of Units	Flow	
1st Floor: 3,546 sf Office Space	25	gal/	employee/shift	25 gal * 14 employees/shift * 1 shift	GPD	350
2nd Floor: 2,264 sf Shops	100	gal/	1,000 sf floor space	100 gal/ 1,000 sf * 2,264 sf	GPD	227
2nd Floor: 1,182 sf Deli	40	gal/	100 sf floor space	40 gal/100 sf * 1,182 sf	GPD	473
3rd Floor: Condominiums	75	gal/	bedroom * 1 bedroom	3	GPD	225
		gal/			GPD	
		gal/			GPD	
				Total	GPD	1,275

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I David Mayfield (Printed Name), **the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.**

Signature: _____ Date: 10/13/23

The Carnegie Building

By design, the **Carnegie Building** will become the architectural focal point as one enters Afton Village. Located along Village Drive in the heart of Afton Village, the Carnegie Building is adjacent to the Chesterfield Building (Wine Room) and in between the Village Center Plaza and the Village Green.

In the original Afton Village conceptual plan, I designated this site for a public library and had worked closely with Councilman Hector Henry toward that goal. Unfortunately during these discussions, the City Council made the organizational decision to transfer the Concord Library System to Cabarrus County. Apparently, at the time, Afton Village did not fit the County's library location objectives.

However the loss of the library did not change the visual importance of this site. As a result, we held off on developing the site until the right opportunity became available. Terminating the view coming into the site, the proposed building will have three 1 bedroom residential condos on the top floor and shops and businesses on the first and second floors … both lower floors will be accessible at grade due to the sloping grade of the site.

The Carnegie building is a critical part of the original "main street" concept for Afton Village that I presented to City Council when the project was originally approved in the late 1990s. In anticipation of the library, water and sewer was approved and installed to this site in 2000/2001.

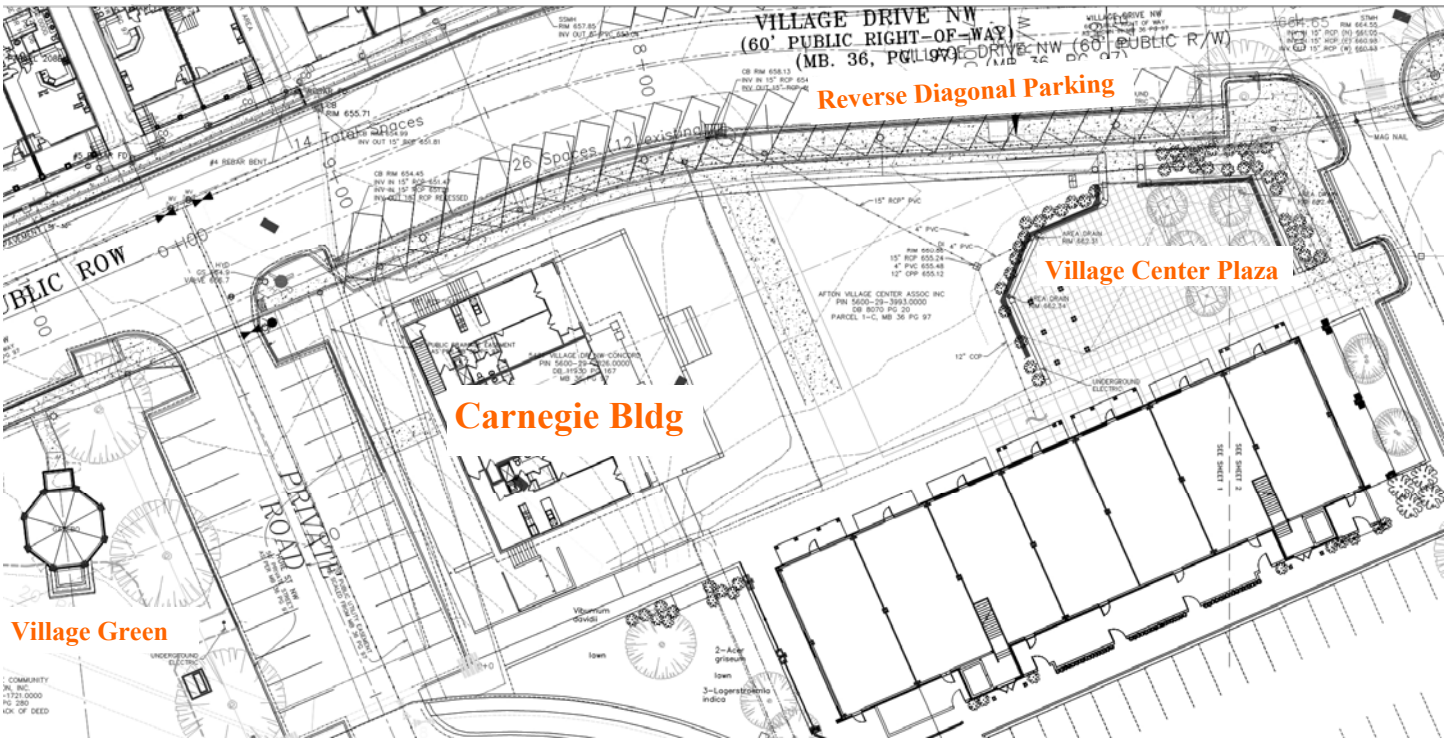
The Carnegie Building is based on the same 3 bay vertical mixed-use building plan seen in the Chelsea Building (Afton Pub), but with an additional floor that is set into the hillside and fronts on the Village Green.

As with all of our commercial spaces, our tenant mix is focused on locally owned and operated businesses. Our on-site management ensures that we are in close contact with all of our merchants which has contributed to Afton Village's tremendous stability.

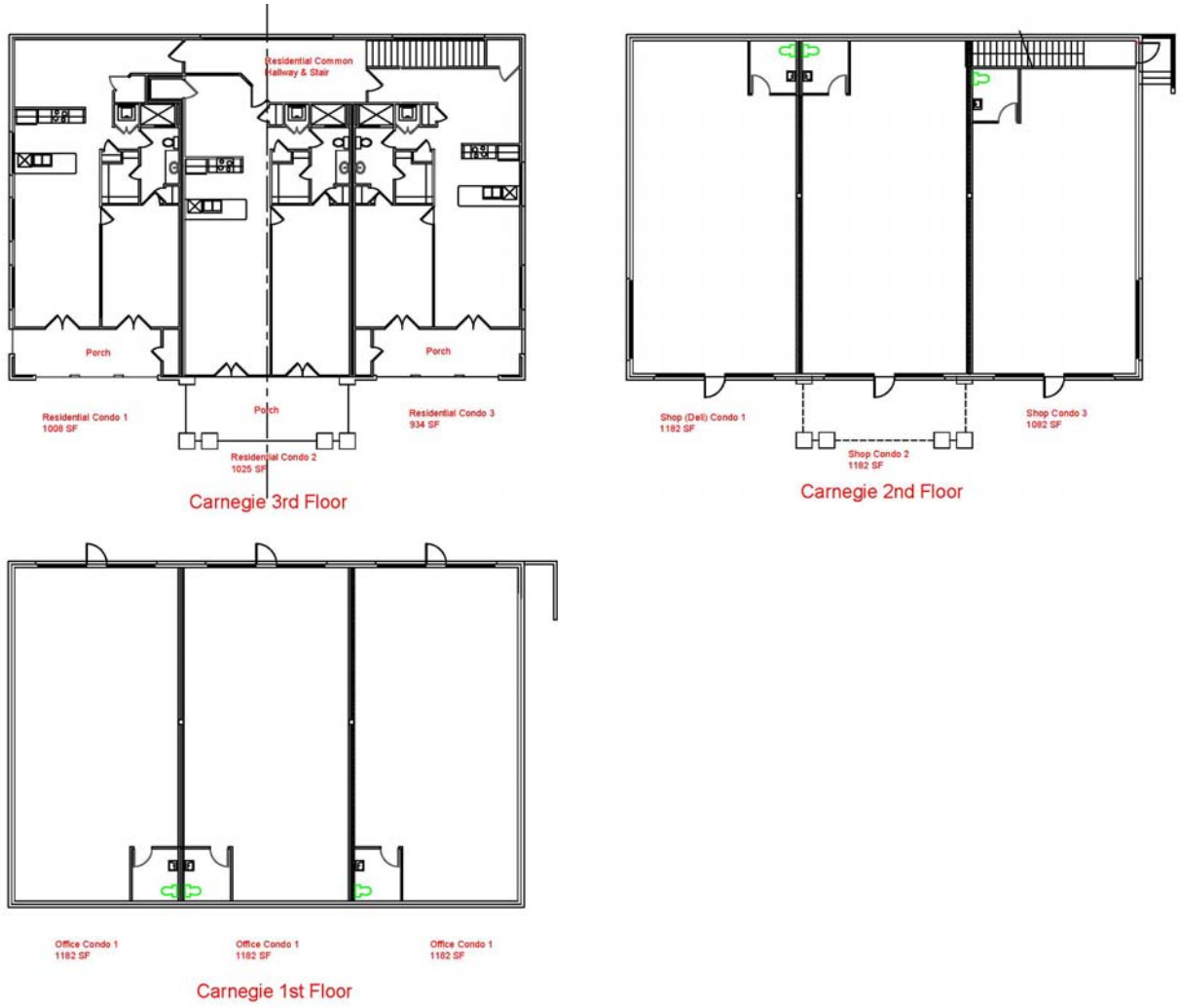
3D computer model of the view down Village Drive with the Carnegie Building as the focal point.

2001 Conceptual Rendering of the Carnegie Building site. Although the possibility of a public library dissolved when the Concord Library System was transferred to Cabarrus County, the importance of this prominent site remains. With the design of the proposed Carnegie Building, I hope to capture the character of the original library idea.

3D computer model showing the Plaza side of the Carnegie Building..



Site plan showing the Carnegie Building and its relationship to the Village Center Plaza and Village Drive.



Building plan of the Carnegie Building. Entries to the 1st floor are on the Village Green side of the building, 2nd floor off the Plaza side and 3rd floor along the side facing Village Drive.

Mixed Use

Morgan Building- Afton Village (CN-PSA-2023-00099)

5365 Village Dr. NW

DRC	Entitled	Units	PRS Routed	Technically Approved
	Yes	3,467 sf of dental office and condo space	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	No	No	No

Allocation Request

Total	2024
950	950

Project Scoring

Small Area Plan	Vertical Mixed Use	Redevelopment Site	Horizontal Mixed Use	Downtown (MSD)	Located Adjacent to Existing Sewer	Annex.	Total
0	2	0	0	0	1	0	3

Brief Summary

The applicant is proposing to have 3 commercial spaces on the first floor with condo space on the second floor. The entire design of this project will follow the established pattern of Afton Village.

CN-PSA-2023-00099

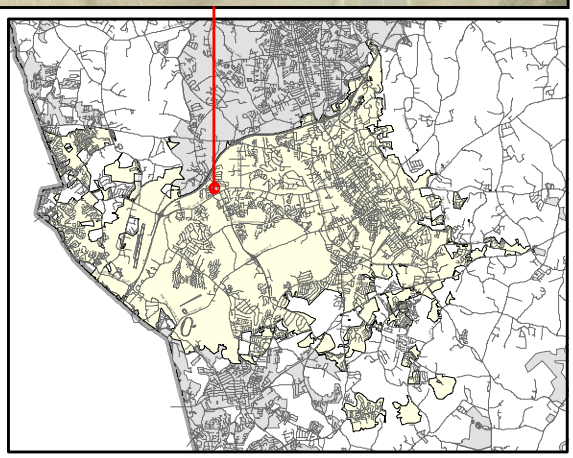
Type: Mixed Use

3,467sf of dental office and condo space

Allocation Request: 950

Project Score: 3

Developments
Parcels
Rivers
Concord
Cabarrus County



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	**Project Title:**	Morgan Building				
2.)	**Description of project location:**	Site located on Village Dr NW approximately 350 feet West of the intersection of Village Dr NW and George W Liles Pkwy (Example: Site located on (Road name) SR ####, approx ##### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####)				
3.)	**Cabarrus County Parcel Identification Number:**	5600-29-7953	3a.)	**Parcel Acreage:**	1.08	
4.)	**Site Zoning and use:**	TND	5.)	**Area Commercial or Industrial Building**	(sq. ft.) 3,467	
6a.)	**Description of Facility to be served.**	Vertically Mixed Used Building	6b.) **Number of Lots**	1	6c.) **Number of Units**	
7d.)	**Additional description information:**	Vertically Mixed Use Building Bay Typical AV Configuration in the Afton Village Commercial Area. Sewer and water services approved and installed in 2000				

B. Applicant Information

Afton Development Corp LLC (Title) (**Name** of **legal owner**, **board**, **council**, and/or **authorized official with title**, as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	5570 Village Drive NW (Applicant's Street or Box Number)
Village Development Co LLC/NCLLC (**Name of Applicant's company, city, town, corporation, sanitary district, water company or other** defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	Concord, NC 28027 (Applicant's City, State, Zip Code)
704-791-8220 (Applicant's Phone Number)	(Applicant's Facsimile Number)
David Mayfield, Manager (Name) dm@mayfielddevelopment.com (Email) (Name with Title and Email of contact person, who can answer questions about application)	dm@mayfielddevelopment.com (Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

Kate Underwood , PhD, PE (Typed name of North Carolina Professional Engineer)	Daylight Engineering (Company Name)
033470 (NCPE Registration Number)	(Street or Box Number)
(980) 234-7500 (Phone Number)	Concord, NC, 28026-1804 (City, State, Zip Code)
Kate Underwood, PhD, PE (Name and affiliation of contact person, who can answer questions about **application & designs**)	kate@daylighteng.com (Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

☐	Residential Subdivision	☐	Retail (Stores, shopping centers)
☑	Apartments/Condominiums	☐	Institution
☐	Mobile Home Park	☑	Hospital, nursing home, dental
☐	School, preschool, daycare	☐	Church
☐	Restaurants (Food or drink facilities)	☐	Sports Centers
☐	Hotels or motels	☐	Business, offices, factories
☐	Other (specify):____		

2.) The type of wastewater is (indicate percentage):

31	**% Domestic**
69	**% Commercial**
	% Industrial
	% Other use (Specify) ____

3.) Pretreatment required:
◉ No
○ Yes **(Specify or attach effluent documentation)**

4.) **Volume of wastewater flow to be allocated for this particular project:** 725 gallons per day
*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**
(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**

a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{**Flow rates NOT listed in table 15A NCAC 2T .0114** must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)		No. of Units	Flow	
1st Floor: 3,467 sf Dental Office	250 gal/	practitioner/shift	250 gal * 2 practitioners * 1 shift	GPD	500
2nd Floor: Condominiums	75 gal/	bedroom * 1 bedroom	3	GPD	225
	gal/			GPD	
	gal/			GPD	
	gal/			GPD	
	gal/			GPD	
			Total	GPD	725

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I David Mayfield (Printed Name), **the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.**

Signature: _____ Date: 10/13/23

The Morgan Building

Located along Village Drive next to the QT (Quik Trip), the Morgan Building is part of the original "main street" concept for Afton Village as I presented to City Council when the project was approved in the late 1990s. While the initial commercial buildings were being constructed in the Village Center, we engineered, had approved and installed the water and sewer services for this site in 2000/2001.

The proposed **Morgan Building** is based on the same 3 bay vertical mixed-use building plan as in the Chelsea Building (Afton Pub - see next page). The front elevation differs from the Chelsea Building, but otherwise the layout is the same. For the Morgan Building 1st floor commercial spaces, we are working with one of our current dental practices that is looking to expand their operation due to the success of their current Afton Village location.

Our approach to the commercial tenant mix in Afton Village has always been focused on locally owned and operated businesses. This approach has given Afton Village great stability as our on-site management works closely with all of our Village Center businesses.

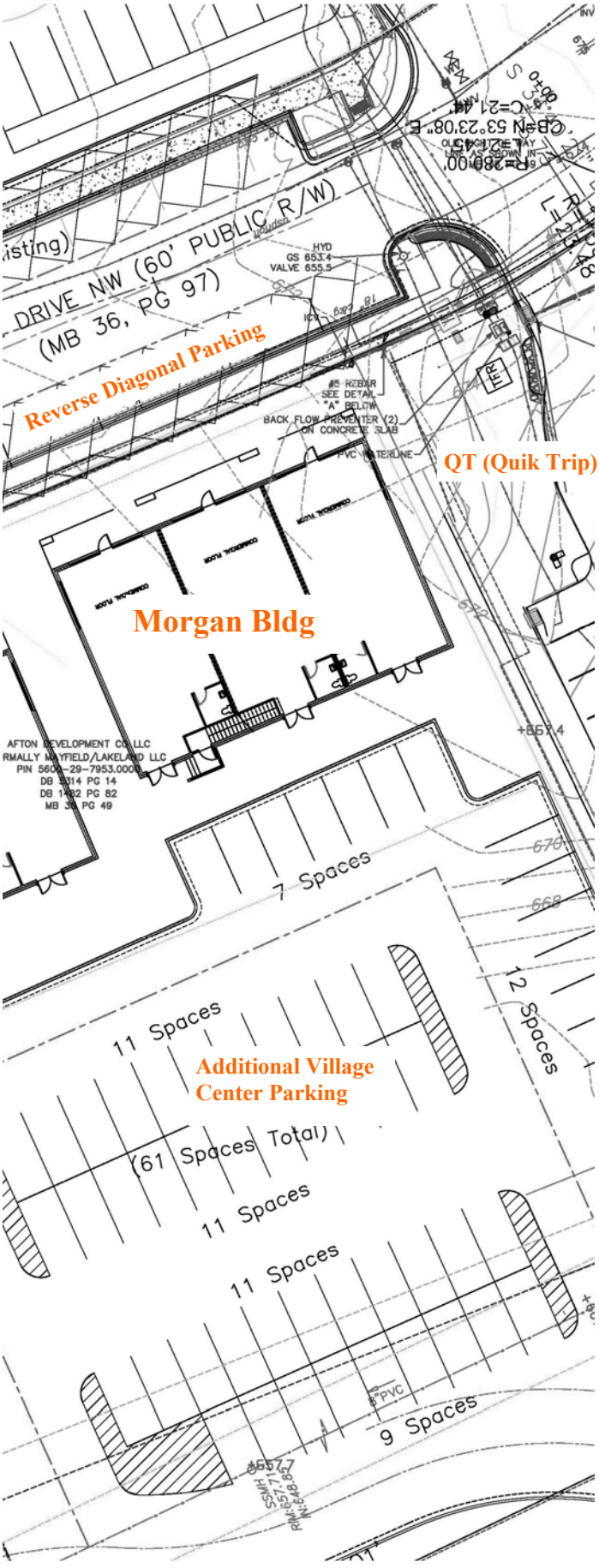
The second story of the **Morgan Building** is made up of three one bedroom residential condos, following the same pattern that we used in the Chelsea Building. We think that it is important to have residential units (with porches) in the commercial area, overlooking and keeping an eye the activities in the Village Center.

3D computer model of the Morgan Building preliminary design, showing residential porches above the commercial area below.

*The existing **Chelsea Building** represents the type vertical mixed-use 3 bay building being proposed for the **Morgan Building** shown below… commercial below, residential above.*

The **Morgan Building** is located next to the QT and is an important element in establishing the Village Drive street-scape.

As part of the overall Village Center development effort, we have been working with the Planning & Neighborhood Development Department and Transportation Department on adding reverse diagonal parking along Village Drive. This additional parking in conjunction with the large overflow lot to the rear of the Morgan Building will serve the Village Center during it's busiest times.



Public

Cabarrus Behavioral Health (CN-PSA-2023-00060)

1000 Progress PL. NE.

DRC	Entitled	Units	PRS Routed	Technically Approved
10/05/2023	Yes	59,900 sf Behavioral Health Facility	No	No

Previously Considered

Considered 3/22/22	Considered 7/19/22	Considered 9/20/22	Considered 12/20/22	Considered 3/21/23
No	No	No	No	No

Allocation Request

Total	2023
11,400	**11,400**

Office	Small Area Plan	Part of Approved Mixed Use	Annexation (Not ED)	Logistics/Distribution	Total
0	0	0	0	0	0

Brief Summary

Cabarrus County is looking to build a 59,900 sf Behavioral Health Facility located at the corner of Copperfield Blvd NE and Progress Place NE. This facility will provide assistance to adults, children, and adolescents experiencing a mental health crisis.

CN-PSA-2023-00060

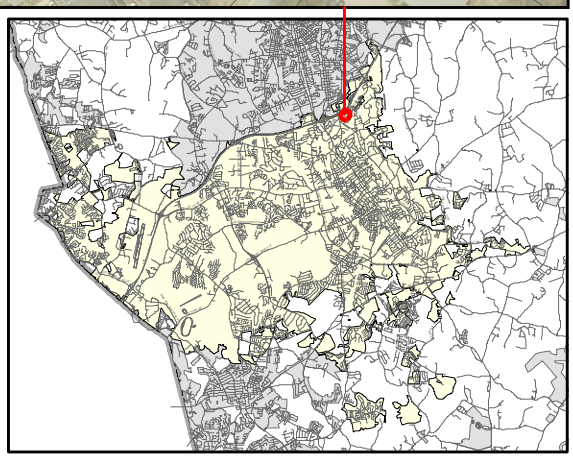
Type: Public

59,900 sf Behavioral Health Facility

Allocation Request: 11,400

Project Score: 0

Developments
Parcels
Rivers
Concord
Cabarrus County



Concord
NORTH CAROLINA

PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

TO BE COMPLETED BY THE CITY OF CONCORD	
Planning Case No:	
Engineering Project No:	
ATC No:	

A. Project Information

1.)	Project Title:	Cabarrus Behavioral Health					
2.)	Description of project location:	Site located approx. 0.25 miles northeast of the intersection of Copperfield Blvd. NE and Branchview Dr. NE heading towards Progress Pl. (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####))					
3.)	Cabarrus County Parcel Identification Number:	5622-42-5129	3a.)	Parcel Acreage:	16.70 ac		
4.)	Site Zoning and use:	C-2, Commercial	5.)	Area Commercial or Industrial Building (sq. ft.)	59,900		
6a.)	Description of Facility to be served.	Medical Facility	6b.) Number of Lots	1	6c.) Number of Units	1	
7d.)	Additional description information:	Behavioral Health Facility					

B. Applicant Information

Kyle Bilafer , Assistant County Manager (Title)	65 Church St. S
(Name of **legal owner**, **board**, **council**, and/or **authorized official with title**, as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)	(Applicant's Street or Box Number)
Cabarrus County	Concord, NC 28025
(Name of Applicant's company, city, town, corporation, sanitary district, water company or other defined in property records and/or as listed in the NC Secretary of State Corporation filings. as applicable.)	(Applicant's City, State, Zip Code)
704-920-2820	
(Applicant's Phone Number)	(Applicant's Facsimile Number)
Kate Underwood (Name) kate@daylighteng.com (Email)	kdbilafer@cabarruscounty.us
(Name with Title and Email of contact person, who can answer questions about application)	(Applicant's Email Address)

REQUIRED
Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner.

C. Design Engineer Information if available

Kate Underwood , PhD, PE	Daylight Engineering
(Typed name of North Carolina Professional Engineer)	(Company Name)
033470	
(NCPE Registration Number)	(Street or Box Number)
(980) 234-7500	Concord, NC, 28026-1804
(Phone Number)	(City, State, Zip Code)
Kate Underwood, PhD, PE	kate@daylighteng.com
(Name and affiliation of contact person, who can answer questions about **application & designs**)	(Engineer's Email Address)

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

☐	Residential Subdivision	☐	Retail (Stores, shopping centers)
☐	Apartments/Condominiums	☐	Institution
☐	Mobile Home Park	☑	Hospital, nursing home, dental
☐	School, preschool, daycare	☐	Church
☐	Restaurants (Food or drink facilities)	☐	Sports Centers
☐	Hotels or motels	☐	Business, offices, factories
☐	Other (specify):____		

2.) The type of wastewater is (indicate percentage):

	% Domestic
100	**% Commercial**
	% Industrial
	% Other use (Specify) ____

3.) Pretreatment required:

(●) No

( ) Yes **(Specify or attach effluent documentation)**

4.) **Volume of wastewater flow to be allocated for this particular project**: 11,400 gallons per day

*Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**

(Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**

a) **See 15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) **Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.**

{**Flow rates NOT listed in table 15A NCAC 2T .0114** must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

Established Type (See 02T.0114(f))	Daily Design Flow (a, b)	No. of Units	Flow
BHUC (Behavioral Health Urgent Care)	150 gal/ bed	150 GPD/Bed * 32 Beds	GPD 4,800
Hospitals, mental	150 gal/ bed	150 GPD/Bed * 44 Beds	GPD 6,600
	gal/		GPD
	gal/		GPD
	gal/		GPD
	gal/		GPD
		Total	GPD 11,400

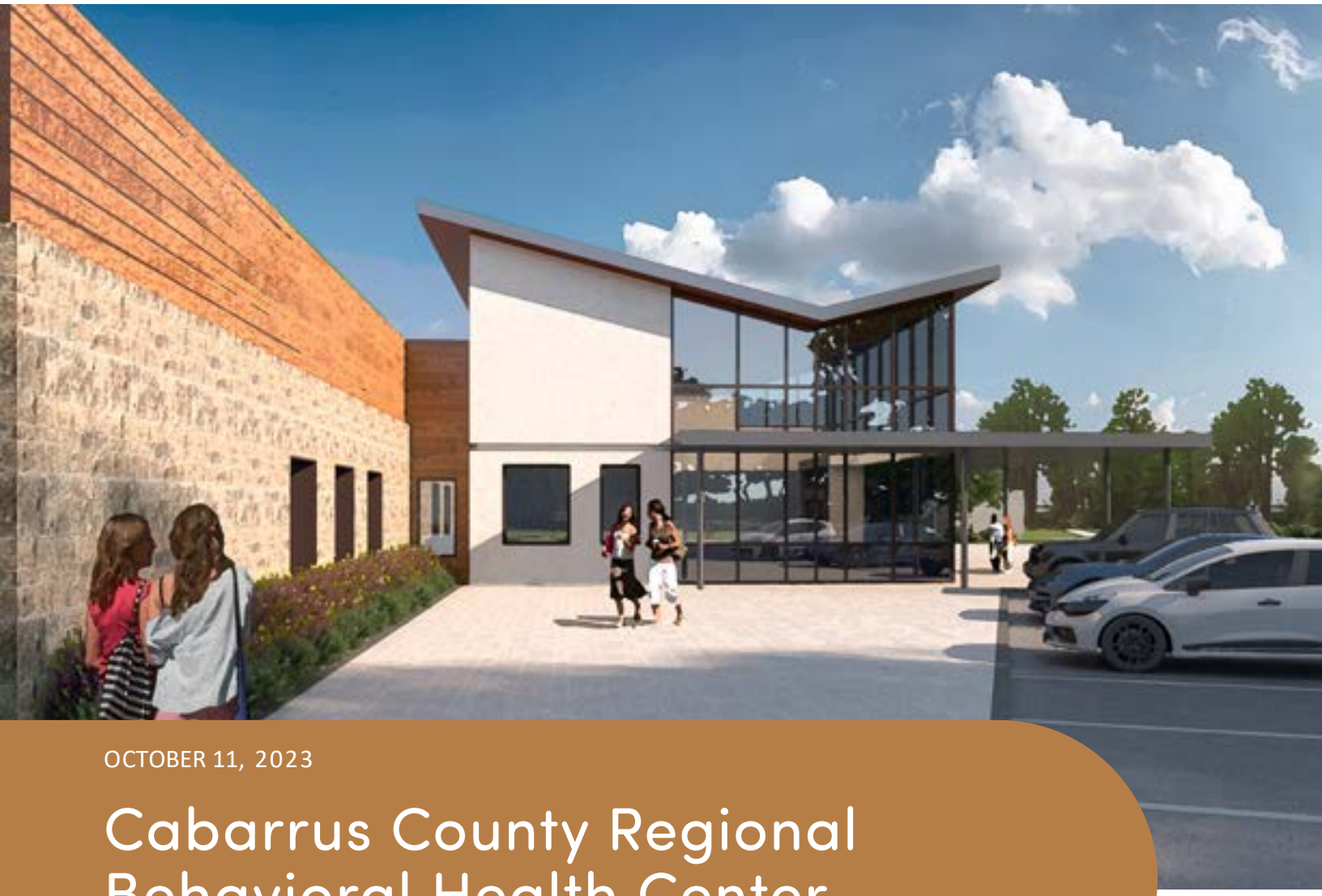
E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I Kyle Bilka (Printed Name), **the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.**

Signature: _____ Date: 9-29-23

human eXperience
Architects | Consultants | Thinkers



OCTOBER 11, 2023

Cabarrus County Regional Behavioral Health Center Schematic Design Narrative

SUBMITTED TO:
Cabarrus County

SUBMITTED BY:
human eXperience

1 PROJECT INTRODUCTION

Recognizing a rising tide of need, Cabarrus County decided to develop a new Regional Behavioral Health Center to provide a “no wrong door” center of care for adults, children, and adolescents experiencing a mental health crisis. The new facility will serve people at their most vulnerable moment, providing a safe, therapeutic, and dignified point of access for care. Guests may arrive voluntarily as walk in patients or they may be brought to the facility by first responders. Either way, the goal is to provide the help and support they need at a time of need.

The new Behavioral Health Center is located in Concord. The Center will occupy a corner of the former ACN Campus at the corner of Copperfield Blvd NE and Progress Place NE. It will be visible from Kannapolis Parkway with a clearly marked entrance to receive visitors and walk in patients.

The design team, led by human eXperience, was hired by the County to realize the vision for this project and create a clinically effective, operationally efficient, place of healing and dignity.

Executive Summary

Project Summary: The proposed new Behavioral Health Center serves both the Adult and Child & Adolescent populations of Cabarrus County. The Adult program includes a 10 bed FBC (Facility Based Crisis – 10A NCAC 27G.5000), a 10 bed SUD (Substance Use Disorder – 10A NCAC 27G.3100), and a BHUC (Behavioral Health Urgent Care) to serve up to 16 Adult patients. The Child & Adolescent program includes a 24 bed PRTF (Psychiatric Residential Treatment Facility – 10A NCAC 27G.1900) separated into (3) distinct neighborhoods and a BHUC to serve up to 16 Child & Adolescent patients.

Intended Functioning: The combination of BHUCs and Treatment beds is intended to provide a "no wrong door" center to receive walk-in and drop off patients experiencing a Behavioral Health Crisis in a humane and dignified manner. The goal of the facility is to provide initial treatment and stabilization leading to diversion of appropriate patients to less restrictive levels of care with only those who require 24-hour treatment being referred to the FBC, SUD, PRTF, or other beds in the region.

The treatment spaces (FBC, SUD, PRTF) within the facility will be designed to comply with FGI guidelines for inpatient treatment spaces to allow for flexibility in adjusting licensure and program types as the needs of the local population shift during the lifespan of the facility.

Separation of Adults from Children & Adolescents is a key driver through the planning and design phases of this project. Visible and audible separation will be maintained throughout the building once building occupants enter the intake process and become patients.

Effective and efficient staff circulation and shared support is critical to the hospital's long-term operational and financial success, as well as patient and staff safety, and therefore is a top consideration during design.

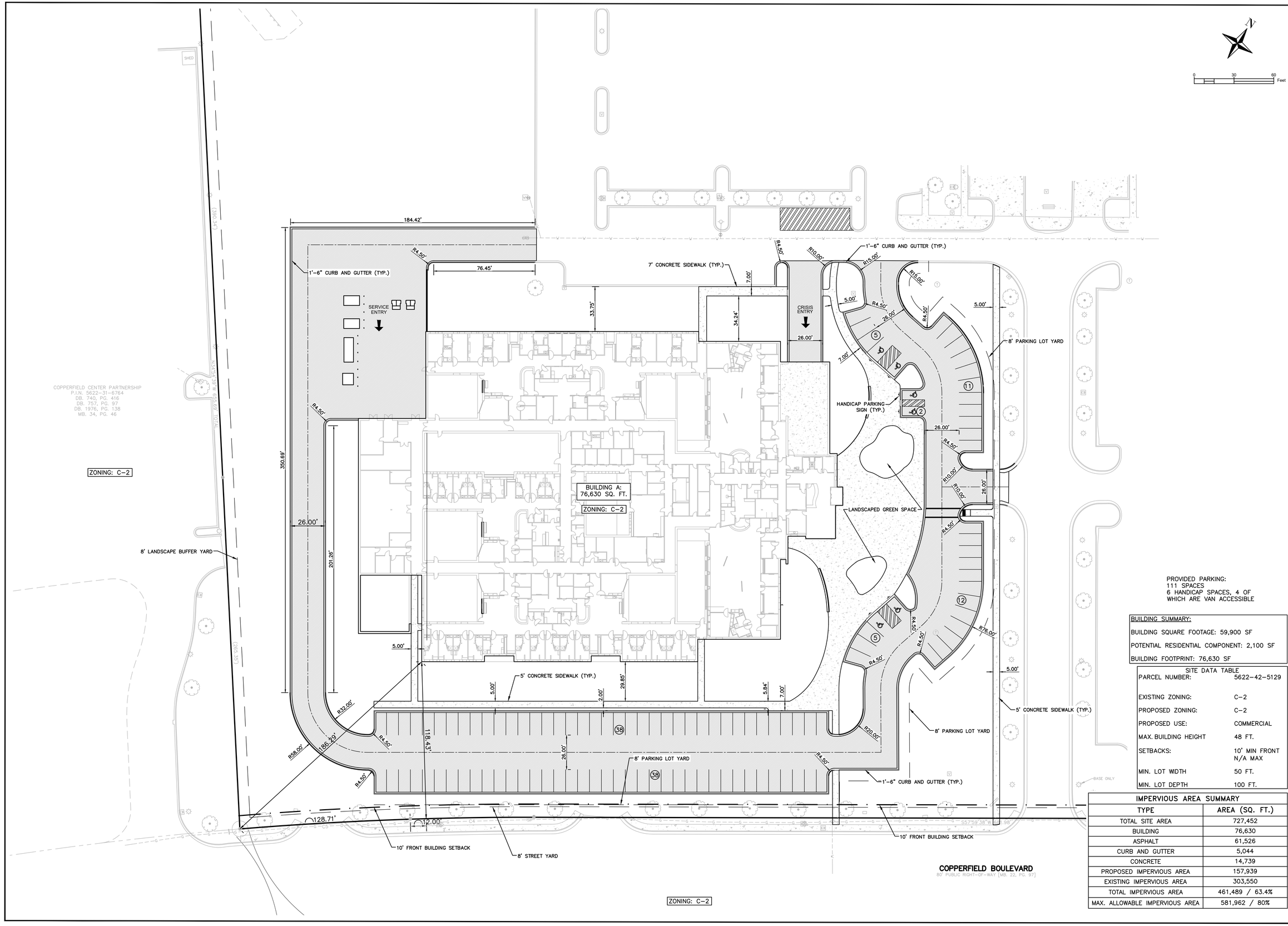
The building form, design, and material selection will prioritize longevity and maintainability.

Outdoor patient spaces are inaccessible to the public.

Code and Safety Features: The facility is designed to I-2 standards, meeting full psychiatric safety and security measures including durable materials, fixed or heavy furniture, ligature resistant features, and locked perimeter doors. Although not required for the projected initial programs, the facility is designed to FGI 2022 standards to allow for flexibility to address future needs in the community.

Licensure: .5000: Facility Based Crisis Services for Individuals of All Disability Groups
.3100: Nonhospital Medical Detoxification for Individuals Who Are Substance Abusers
.1900: Psychiatric Residential Treatment for Children and Adolescents
Behavioral Health Urgent Care (BHUC) – Tier IV

Project Size: 59,300 sf
Number of Stories: 1-Story
Number of Beds: 44
Construction Type: IIA
Occupancy: I-2
Fire Protection System: Fully Sprinklered



PROVIDED PARKING:
111 SPACES
6 HANDICAP SPACES, 4 OF WHICH ARE VAN ACCESSIBLE

BUILDING SUMMARY:
BUILDING SQUARE FOOTAGE: 59,900 SF
POTENTIAL RESIDENTIAL COMPONENT: 2,100 SF
BUILDING FOOTPRINT: 76,630 SF

SITE DATA TABLE

PARCEL NUMBER:	5622-42-5129
EXISTING ZONING:	C-2
PROPOSED ZONING:	C-2
PROPOSED USE:	COMMERCIAL
MAX. BUILDING HEIGHT	48 FT.
SETBACKS:	10' MIN FRONT N/A MAX
MIN. LOT WIDTH	50 FT.
MIN. LOT DEPTH	100 FT.

IMPERVIOUS AREA SUMMARY	
TYPE	AREA (SQ. FT.)
TOTAL SITE AREA	727,452
BUILDING	76,630
ASPHALT	61,526
CURB AND GUTTER	5,044
CONCRETE	14,739
PROPOSED IMPERVIOUS AREA	157,939
EXISTING IMPERVIOUS AREA	303,550
TOTAL IMPERVIOUS AREA	461,489 / 63.4%
MAX. ALLOWABLE IMPERVIOUS AREA	581,962 / 80%

REVISION	DATE	DESCRIPTION

CABARRUS BEHAVIORAL HEALTH

SITE PLAN

1000 PROGRESS PLACE NE, CONCORD, NC 28025
HUMAN EXPERIENCE WORKSHOP
PROJECT NO. 23036
PROJECT MANAGER: KWU

DAYLIGHT ENGINEERING
NCBELS LICENSE: P-2772
57 UNION STREET SOUTH, CONCORD, NC 28025 · (980) 234-7500 · WWW.DAYLIGHTENG.COM

ENGINEERS SEAL

PRELIMINARY NOT FOR CONSTRUCTION

09/27/2023

C200